
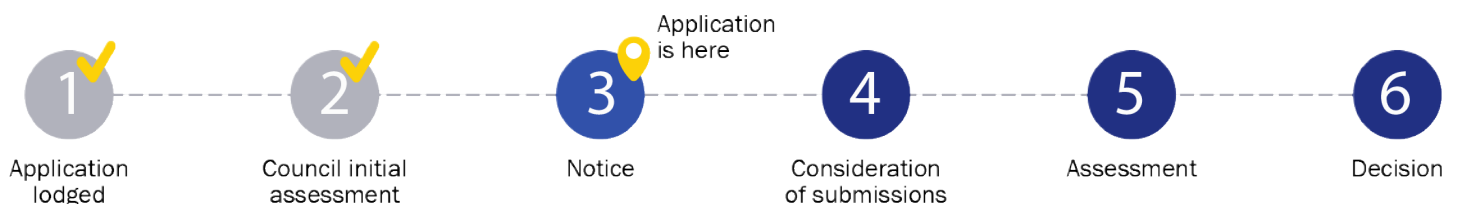


Notice of Application for a Planning Permit

The land affected by the application is located at:	L108 PS848743 V12580 F398 10 Sunny Vista, Pakenham VIC 3810
The application is for a permit to:	Buildings and Works (Construction of a Dwelling and a Fence)
A permit is required under the following clauses of the planning scheme:	
42.01-2	Construct a fence
42.01-2	Construct a building or construct or carry out works
APPLICATION DETAILS	
The applicant for the permit is:	Orbit Homes Australia Pty Ltd
Application number:	T240682
<p>You may look at the application and any documents that support the application at the office of the responsible authority:</p> <p>Cardinia Shire Council, 20 Siding Avenue, Officer 3809.</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.</p>	
	
HOW CAN I MAKE A SUBMISSION?	
This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:	
16 May 2025	
WHAT ARE MY OPTIONS? Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority. If you object, the Responsible Authority will notify you of the decision when it is issued.	<p>An objection must:</p> <ul style="list-style-type: none">• be made to the Responsible Authority in writing;• include the reasons for the objection; and• state how the objector would be affected. <p>The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.</p>





ePlanning

Application Summary

Portal Reference A42446SM

Basic Information

Proposed Use ESO
Current Use Vacant
Cost of Works \$438,051
Site Address 10 Sunny Vista Pakenham 3810

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

☐ Note: During the application process you may be required to provide more information in relation to any encumbrances.

Contacts

Type	Name	Address	Contact Details
Applicant	Orbit Homes Australia Pty Ltd	286 Mt Alexander Road, Ascot Vale VIC 3032	W: 9377-0067 E: marnie.obrien@orbithomes.com.au
Owner			
Preferred Contact	Orbit Homes Australia Pty Ltd	286 Mt Alexander Road, Ascot Vale VIC 3032	W: 9377-0067 E: marnie.obrien@orbithomes.com.au

Fees

Regulation Fee Condition	Amount	Modifier	Payable
9 - Class 8 VicSmart application more than \$10,000	\$473.60	100%	\$473.60
Total			\$473.60

Documents Uploaded

Date	Type	Filename
18-12-2024	A Copy of Title	Title.pdf



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am–
5pm

Phone: 1300 787 624

After Hours: 1300 787 624

Fax: 03 5941 3784

☐ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

Lodged By

Site User	<div></div> Orbit Homes	286 Mt Alexander Rd Ascot Vale 3042, Ascot Vale VIC 3042	W: 6-1937-7000 E: permitsadmin@orbithomes.com.au
Submission Date	18 December 2024 - 09:56:AM		

Declaration

☒ By ticking this checkbox, I, declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.



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Purton Road, Pakenham, Victoria

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Email: mail@cardinia.vic.gov.au

Monday to Friday

8.30amâ€”5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

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5pm
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After Hours: 1300 787 624
Fax: 03 5941 3784

Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

PERMIT APPLICATION DETAILS

Application No.:	T240682
Address of the Land:	10 Sunny Vista Pakenham

APPLICANT DETAILS

Name:	
Organisation:	Orbit Homes
Address:	286 Mt Alexander Road Ascot Vale
Phone:	93770067
Email:	marnie.obrien@orbithomes.com.au

AMENDMENT TYPE

Under which section of the Act is this amendment being made? (select one)	
Section 50 – Amendment to application at request of applicant before notice:	<input checked="" type="checkbox"/>
Section 50A – Amendment to application at request of responsible authority before notice:	<input type="checkbox"/>
Section 57A – Amendment to application after notice is given:	<input type="checkbox"/>

AMENDMENT DETAILS

What is being amended? (select all that apply)		
What is being applied for <input checked="" type="checkbox"/>	Plans / other documents <input type="checkbox"/>	Applicant / owner details <input type="checkbox"/>
Land affected <input type="checkbox"/>	Other <input type="checkbox"/>	
Describe the changes. If you need more space, please attach a separate page.		
Amendment to include construct dwelling and fence		

Specify the estimated cost of any development for which the permit is required:		
Not applicable <input type="checkbox"/>	Unchanged <input checked="" type="checkbox"/>	New amount \$

DECLARATION

I declare that all the information in this request is true and correct and the owner (if not myself) has been notified of this request to amend the application.		
Name:		
Signature:		
Date:	3/04/2025	

LODGEMENT

<p>Please submit this form, including all amended plans/documents, to mail@cardinia.vic.gov.au</p> <p>You can also make amendments to your application via the Cardinia ePlanning Portal at https://eplanning.cardinia.vic.gov.au/</p> <p>If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.</p>
--

IMPORTANT INFORMATION

<p>It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application.</p> <p>Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed.</p> <p>No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the <i>Planning and Environment (Fees) Regulations 2016</i> for more information.</p> <p>The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant.</p> <p>Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.</p> <p>Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the <i>Planning and Environment Act 1987</i>.</p>
--

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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 12580 FOLIO 398

Security no : 124119500097T
Produced 31/10/2024 04:14 PM

LAND DESCRIPTION

Lot 108 on Plan of Subdivision 848743W.
PARENT TITLE Volume 12330 Folio 801
Created by instrument PS848743W 31/10/2024

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REGISTERED PROPRIETOR

ENCUMBRANCES, CAVEATS AND NOTICES

COVENANT PS848743W 31/10/2024

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987
AX385769J 25/10/2023

DIAGRAM LOCATION

SEE PS848743W FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER	PLAN OF SUBDIVISION	STATUS	DATE
PS848743W (B)		Registered	31/10/2024

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 10 SUNNY VISTA PAKENHAM VIC 3810

ADMINISTRATIVE NOTICES

NIL

DOCUMENT END



Department of Environment, Land, Water & Planning

Electronic Instrument Statement

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

Produced 31/10/2024 04:14:00 PM

Status	Registered	Dealing Number	AX385769J
Date and Time Lodged	25/10/2023 12:57:26 PM		

Lodger Details

Lodger Code	21884L
Name	SETTLE CONNECT PTY LTD
Address	
Lodger Box	
Phone	
Email	
Reference	Cardinia (12330/801)

APPLICATION TO RECORD AN INSTRUMENT

Jurisdiction	VICTORIA
--------------	----------

Privacy Collection Statement

The information in this form is collected under statutory authority and used for the purpose of maintaining publicly searchable registers and indexes.

Estate and/or Interest

FEE SIMPLE

Land Title Reference

12330/800
12330/801

Instrument and/or legislation

RECORD - AGREEMENT - SECTION 173
Planning & Environment Act - section 173

Applicant(s)

Name	CARDINIA SHIRE COUNCIL
Address	
Property Name	CARDINIA SHIRE OFFICE
Street Number	20
Street Name	SIDING
Street Type	AVENUE
Locality	OFFICER
State	VIC

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Department of Environment, Land, Water & Planning

Electronic Instrument Statement

Postcode 3809

Additional Details

Refer Image Instrument

The applicant requests the recording of this Instrument in the Register.

Execution

1. The Certifier has taken reasonable steps to verify the identity of the applicant or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of	CARDINIA SHIRE COUNCIL
Signer Name	
Signer Organisation	DYE & DURHAM LEGAL PTY LTD
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	25 OCTOBER 2023

File Notes:

NIL

This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.

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Document Assembled	31/10/2024 16:14

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HWL
EBSWORTH
LAWYERS

Deed of Agreement

**Under s173 of the
*Planning and Environment Act 1987***

Cardinia Shire Council

and

BNG (Pakenham) Pty Ltd (ACN 640125686)

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Ref: DV:NB:1050250

Doc ID 1115801193/v1

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PO Box 3, Collins Street West VIC 8007 Australia
DX 564 Melbourne

Telephone +61 3 8644 3500
Facsimile 1300 365 323 (Australia) +61 3 9034 3257 (International)
hwlebsworth.com.au

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Deed of Agreement

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Date 06/10/2023

Parties	Cardinia Shire Council of 20 Siding Avenue, Officer 3809 (Council)
	BNG (PAKENHAM) PTY LTD (ACN 640125686) of Level 5, 991 Whitehorse Road, Box Hill VIC 3128 (Owner)

Recitals	<p>A. Council is the Responsible Authority pursuant to the Act for the administration and enforcement of the Planning Scheme, which applies to the Subject Land.</p> <p>B. The Owner is or is entitled to be the registered proprietor of the Subject Land, which is the land over which this Agreement is intended to be registered.</p> <p>C. On 19 December 2017 Council issued Planning Permit No. T160690 (Planning Permit), which allows for the subdivision of the Subject Land, associated works, fencing, removal of native vegetation and altering access to a road in a Road Zone Category 1, generally in accordance with the approved plans.</p> <p>D. On 9 June 2021 Council amended the Planning Permit (T160690-2) (Amended Planning Permit).</p> <p>E. Condition 41 of the Amended Planning Permit provides that:</p> <p><i>Prior to the issuing of a Statement of Compliance for each stage, the owner must enter into an agreement pursuant to Section 173 of the Planning and Environment Act 1987 to provide for the following:</i></p> <p>a) <i>A plan of subdivision to show the location and dimensions of the plantation reserve as well as the building envelopes.</i></p> <p>b) <i>A requirement that each land owner must maintain the</i></p>
----------	--

plantation reserve in perpetuity at the owner's cost. A separate maintenance/weed control schedule is required.

- c) A requirement that any fencing within the plantation reserve must be wire or similar material to the satisfaction of the Responsible Authority.*
- d) A requirement that each lot affected by the plantation reserve must comply with the relevant Building Design Guidelines registered on title.*

F. The Parties have agreed to enter into this Agreement:

- (a) to give effect to the requirements of the Amended Planning Permit;
- (b) that the Building Envelopes referred to in this Agreement relate only to the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land; and
- (c) to achieve and advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Subject Land.

This deed witnesses that in consideration of, among other things, the mutual promises contained in this deed the parties agree as follows:

1. Definitions and interpretation clauses

1.1 Definitions

In this deed the following definitions apply:

Act means the *Planning and Environment Act 1987* (Vic).

Agreement means this Deed of Agreement and any Agreement executed by the Parties expressed to be supplemental to this Agreement.

Building Design Guidelines means the Building Design Guidelines required by conditions 6 and 7 of the Planning Permit.

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Building Envelopes	means the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land.
Building Envelope Plan	means the plan showing the location and dimensions of the Building Envelopes attached at Schedule 1.
Business Day	means a day that is not a Saturday, Sunday or public holiday in Melbourne.
Claim	means any claim, action, proceeding or demand made against the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
Council	means Cardinia Shire Council in its capacity as responsible authority.
Development	means the buildings and works authorised under the Planning Permit.
Endorsed Plans	means the plans and/or other documents that are endorsed pursuant to the Planning Permit from time to time.
Loss	means any loss, damage, cost, expense or liability incurred by the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
Owner	means the person or persons registered or entitled from time to time to be registered by the Registrar of Titles as proprietor or proprietors of an estate in fee simple in the Subject Land or any part of it and includes a Mortgagee-in-possession.
Party or Parties	means the Owner and Council under this Agreement as appropriate.
Planning Permit	means Planning Permit No. T160690 issued by Council on 19 December 2017 referred to in Background C of this Agreement, and as amended from time to time (currently T160690-2 issued on 9 June 2021) and including any Endorsed Plans.

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Planning Scheme	means the Cardinia Planning Scheme and any other Planning Scheme which applies to the Subject Land.
Plantation Reserve	means the area marked 'plantation reserve' forming part of the Subject Land as detailed in the Building Envelope Plan.
Subject Land	means Volume 12330 Folio 801 (Lot 3 on Plan of Subdivision 6710) and Volume 12330 Folio 800 (Lot 2 on Plan of Subdivision 86652). Any reference to the Subject Land in this Agreement includes any lot created by the subdivision of the Subject Land or any part of it.
VCAT	means the Victorian Civil and Administrative Tribunal.
Vegetation Plan	means the vegetation plan attached at Schedule 2..

1.2 Interpretation

- (a) In this document, unless the context otherwise requires:
- (i) The singular includes the plural and vice versa.
 - (ii) A reference to a gender includes a reference to each other gender.
 - (iii) A reference to a person includes a reference to a firm, corporation or other corporate body and that person's successors in law.
 - (iv) If a Party consists of more than one person this Agreement binds them jointly and each of them severally.
 - (v) A term used in this Agreement has its ordinary meaning unless that term is defined in this Agreement. If a term is not defined in this Agreement and it is defined in the Act it has the meaning as defined in the Act.
 - (vi) A reference to an Act, Regulation or the Planning Scheme includes any Acts, Regulations or amendments amending, consolidating or replacing the Act, Regulation or Planning Scheme.
 - (vii) The introductory clauses to this Agreement are and will be deemed to form part of this Agreement.
 - (viii) Headings are for guidance only and do not affect the interpretation of this Agreement.

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- (b) The obligations of the Owner under this Agreement, will take effect as separate and several covenants which are annexed to and run at law and equity with the Subject Land; and
 - (i) bind the Owner, its successors, transferees and permitted assigns, the registered proprietor or proprietors for the time being of the Subject Land; and
 - (ii) if the Subject Land is subdivided further, this Agreement must be read and applied so that each subsequent Owner of a lot is only responsible for those covenants and obligations which relate to that Owner's lot.

2. Owner's obligations

2.1 Plans showing the location of the Plantation Reserve and the Building Envelopes

The Owner covenants and agrees that the Building Envelope Plan shows the location and dimensions of the Plantation Reserve, as well as, the relevant Building Envelopes.

2.2 Maintenance of the Plantation Reserve

The Owner covenants and agrees that it will maintain the plantation reserve:

- (a) in perpetuity;
- (b) at the its own cost; and
- (c) in accordance with the Vegetation Plan.

2.3 Fencing within the Plantation Reserve

The Owner covenants and agrees to construct all fencing within the Plantation Reserve of wire or similar material to the satisfaction of the Responsible Authority.

2.4 Building Design Guidelines

The Owner covenants and agrees that the construction of buildings on each lot affected by the Plantation Reserve must comply with the Building Design Guidelines.

3. Further obligations

3.1 Notice and registration

The Owner will bring this Agreement to the notice of all prospective purchasers, Mortgagees, lessees, charges, transferees and assigns of the Subject Land.

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3.2 Giving effect to this Agreement

The Owner will do all things necessary to give effect to this Agreement, including executing any further documents and will comply with its obligations under this Agreement.

3.3 Recording by Registrar of Titles

The Owner will consent to Council making application to the Registrar of Titles to make a recording of this Agreement in the Register on the Certificate of Title of the Subject Land in accordance with s181 of the Act and do all things necessary to enable Council to do so including signing any further agreement, acknowledgement or document or procuring the consent to this Agreement of any Mortgagee or caveator to enable the recording to be made in the Register under that section.

3.4 Council's costs to be paid

- (a) The Owner will immediately pay to Council, Council's reasonable costs and expenses (including legal expenses) of and incidental to the preparation, drafting, finalisation, engrossment, execution, registration and enforcement of this Agreement which are and until paid will remain a debt due to Council by the Owner.
- (b) If in dispute, Council may have the costs assessed by the Law Institute of Victoria Costing Service and the Parties will be bound by any assessment, and the cost of any assessment will be paid equally by the Parties.

3.5 Mortgagee to be Bound

The Owner covenants to obtain the consent of any Mortgagee to be bound by the covenants in this Agreement if the Mortgagee becomes Mortgagee in possession of the Subject Land.

3.6 Covenants run with the Subject Land

The Owner's obligation in this Agreement are intended to take effect as covenants which shall be annexed to and run at law and in equity with the Subject Land and every part of it, and bind the Owner and its successors, assignees and transferees, the registered proprietor or proprietors for the time being of the Subject Land and every part of the Subject Land.

4. Agreement under Section 173 of the Act

Council and the Owner agree without limiting or restricting their respective powers to enter into this Agreement and, insofar as it can be so treated, this Agreement is made pursuant to section 173 of the Act.

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5. Owner's warranties

Without limiting the operation or effect which this Agreement has, the Owner warrants that apart from the Owner and any other person which has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Subject Land which may be affected by this Agreement.

6. Successors in title

6.1 Successors in title

Without limiting the operation or effect which this Agreement has, the Owner must ensure that until such time as a memorandum of this Agreement is registered on the title to the Subject Land, successors in title shall be required to:

- (a) give effect to and do all acts and sign all documents which will require those successors to give effect to this Agreement; and
- (b) execute a deed agreeing to be bound by the terms of this Agreement.

7. Notices

7.1 Service

A notice or other communication required or permitted to be served by a Party on another Party must be in writing and may be served:

- (a) by delivering it personally to that Party;
- (b) by sending it by prepaid post addressed to that Party at the address set out in this Agreement or subsequently notified to each Party from time to time; or
- (c) by sending it by electronic mail to that Party using the email address set out in this Agreement or subsequently notified to each Party from time to time.

7.2 Time of service

A notice or other communication is deemed served:

- (a) if delivered, on the following business day;
- (b) if posted, on the expiration of two business days after the date of posting; or
- (c) if emailed, when the electronic communication becomes capable of being retrieved by the addressee at an electronic address designated by the addressee.

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8. Miscellaneous

8.1 Commencement of Agreement

Unless otherwise provided in this Agreement, this Agreement commences from the date of this Agreement.

8.2 Default

- (a) If the Owner fails to comply with the provisions of this Agreement, Council may serve a notice on the Owner specifying the works, matters and things in respect of which the Owner is in default.
- (b) If the alleged default continues for 30 days after the service of such notice, Council may, by its officers, employees, agents and contractors, enter the Subject Land and ensure that the works, matters and things are carried out.
- (c) The costs incurred by the Council in undertaking the works as a result of the Owner's default will be payable by the Owner.

8.3 Ending of Agreement

This Agreement ends:

- (a) on the date that the Council confirms in writing that this Agreement can be ended; or
- (b) otherwise in accordance with the Act.

8.4 Application to Registrar

As soon as reasonably practicable after the Agreement has ended, Council will, at the request and at the cost of the Owner make application to the Registrar of Titles under s183(2) of the Act to cancel the recording of this Agreement on the register.

8.5 No fettering of Council's powers

It is acknowledged and agreed that this Agreement does not fetter or restrict the power or discretion of Council to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision applicable to the Subject Land or relating to any use or development of the Subject Land.

8.6 No waiver

Any time or other indulgence granted by Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of Council in relation to the terms of this Agreement.

8.7 Severability

- (a) If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it must be severed and the other provisions of this Agreement will remain operative.
- (b) Clause 8.7(a) will not apply if to do so will materially affect the commercial arrangement formed by this Agreement.

8.8 Proper law

This Agreement is governed by and the Owner submits to the laws of the State of Victoria.

8.9 Counterparts

This Agreement may be executed in counterparts, and is binding on the parties upon the counterparts being exchanged. A copy of the original executed counterpart sent by email is to be treated as an original counterpart for all intents and purposes.

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Schedule

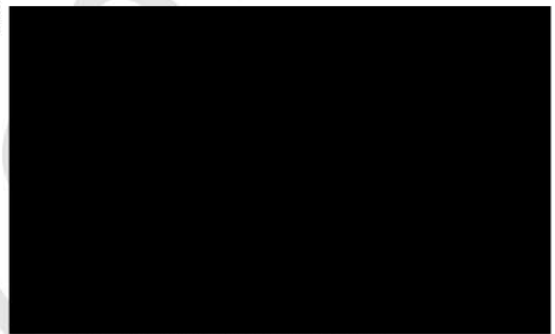
Mortgagee's Consent

Daiwa Capital Markets Australia Ltd as Mortgagee of registered Mortgage No AW944856J consents to the Owner entering into this Agreement and agrees to be bound by the terms and conditions of this Agreement as if it were the Owner of the Subject Land.

Executed by Daiwa Capital Markets Australia Ltd)
ACN 006 461 356 in accordance with s 127(1) of the)
Corporations Act 2001;



Print full name



Print full name

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Executed as a deed

Signed, sealed and delivered as a deed by the parties

Signed sealed and delivered by

Manager Planning and Design, on behalf of)
Cardinia Shire Council in the exercise of a)
Power conferred by an Instrument of Delegation)
in the presence of:)

Signature of witness

The execution of this document has been witnessed by me
in accordance with the requirements for witnessing by
audio-visual link under section 12 of the Electronic
Transactions (Victoria) Act 2000.
(Strike out if inapplicable)

Vanessa Neep

Name of witness
(BLOCK LETTERS)

Executed by BNG (PAKENHAM) PTY LTD
(ACN 640125686) in accordance with
section 127 of the *Corporations Act 2001* (Cth)
by:

Full name (print)

Full name (print)

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Schedule 1

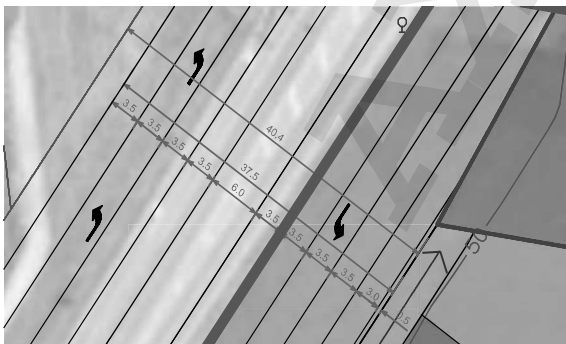
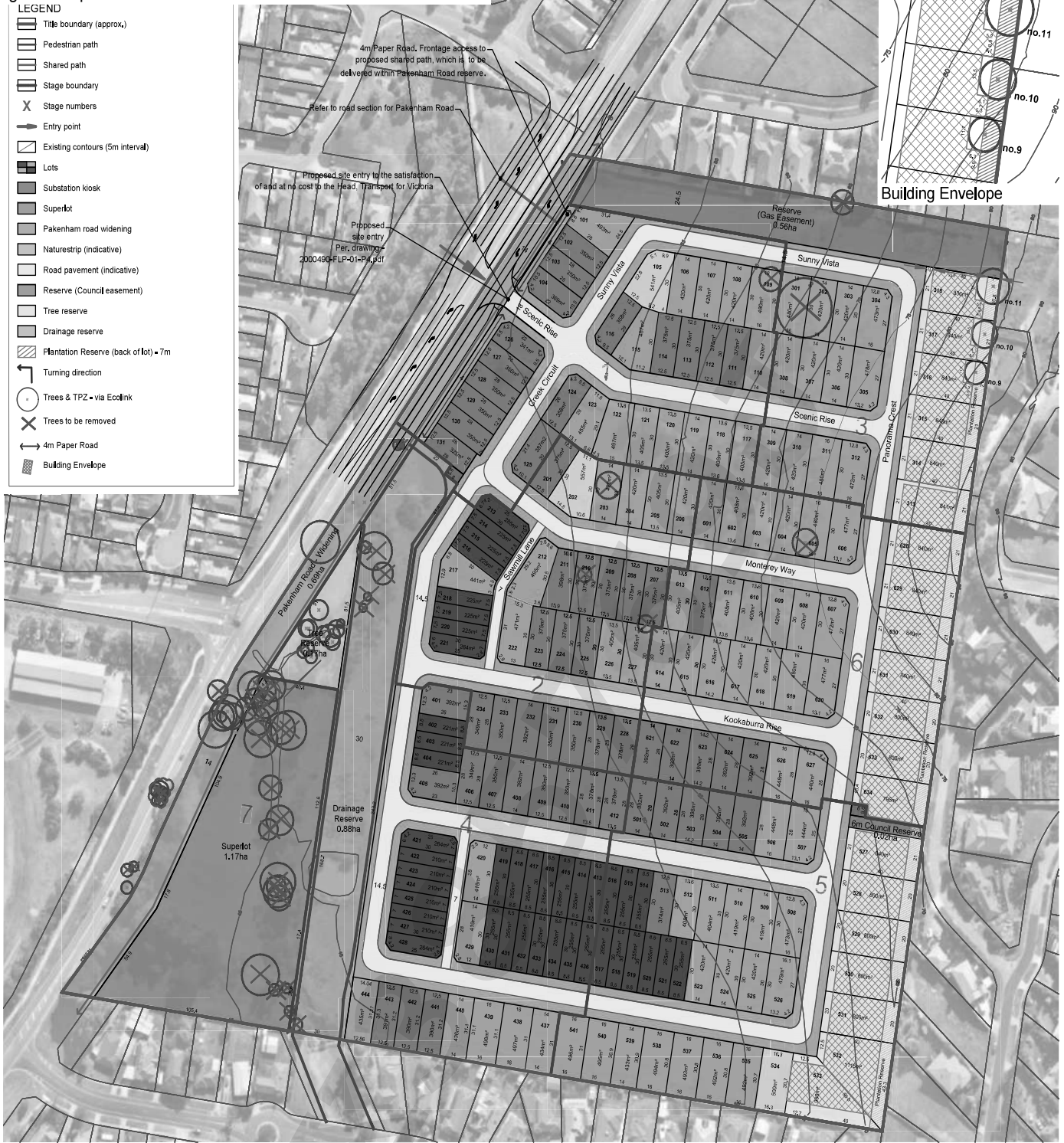
Building Envelope Plan

AX385769J

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LEGEND

- Title boundary (approx.)
- Pedestrian path
- Shared path
- Stage boundary
- Stage numbers
- Entry point
- Existing contours (5m interval)
- Lots
- Substation kiosk
- Superlot
- Pakenham road widening
- Naturestrip (indicative)
- Road pavement (indicative)
- Reserve (Council easement)
- Tree reserve
- Drainage reserve
- Plantation Reserve (back of lot) = 7m
- Turning direction
- Trees & TPZ via Ecolink
- Trees to be removed
- 4m Paper Road
- Building Envelope



Pakenham Road - Cross Section

Notes:

- This plan is subject to Council approval.
- All dimensions and areas are subject to survey and final computations.
- The drainage reserve shown has been preliminarily sized for the treatment and detention of stormwater to Council requirements. The layout and area required will be subject to detailed design and Council approval.
- All roads are 16m local access level 1 unless noted otherwise.
- Road pavement is indicative only and subject to detailed engineering design.
- Arc dimensions shown are length of arc (not chord).

Total number of lots	203
Stage 1	31
Stage 2	34
Stage 3	18
Stage 4	44
Stage 5	41
Stage 6	34
Stage 7*	1

* Stage includes 1 Superlot

Lot Size	Number of Lots	%
0-299m ²	42	20.8
300-399m ²	56	27.7
400-499m ²	81	40.1
500-599m ²	3	1.5
600-699m ²	0	0.0
700m ² +	20	9.9

Site (Approx.)	15,307 ha
* Standard Density Lots	7,515 ha
* Medium Density Lots	1,021 ha
* Superlot	1,168 ha
* Kiosk	0,009 ha
* Tree Reserve	0,165 ha
* Non-Arterial Roads	3,274 ha
Arterial Roads (Pakenham road widening)	0,693 ha
Reserve (Council Easement)	0,580 ha
Drainage Reserve	0,884 ha
Net Developable Area	13,150 ha
Lot Yield (Standard Density)	160 lots 470m ² average lot size
Lot Yield (Medium Density)	42 lots 243m ² average lot size
** Lot Yield (Overall)	202 lots @ 16.9 lots per ha 423m ² average lot size
Superlot	1
Total Number of Lots (Inc. 1 superlot)	203

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Subdivision Plan
110 Pakenham Road, Pakenham
BNG Group

APPROVED AMENDED PLAN
PLANNING AND ENVIRONMENT ACT 1987
CARDINIA PLANNING SCHEME
PERMIT No. T160690-2
SHEET 1 OF 1
APPROVED BY: Dean Haessler
CARDINIA SHIRE COUNCIL

Version	Date	Description	Drafted	Approved
12		Pakenham road layout	KT	KT
13		Added building envelopes	KT	KT
14		Updated road and staging boundary	KT	KT
15		Updated staging boundary	KT	KT
16		Updated lot numbers, building envelope and tables	OX	KT

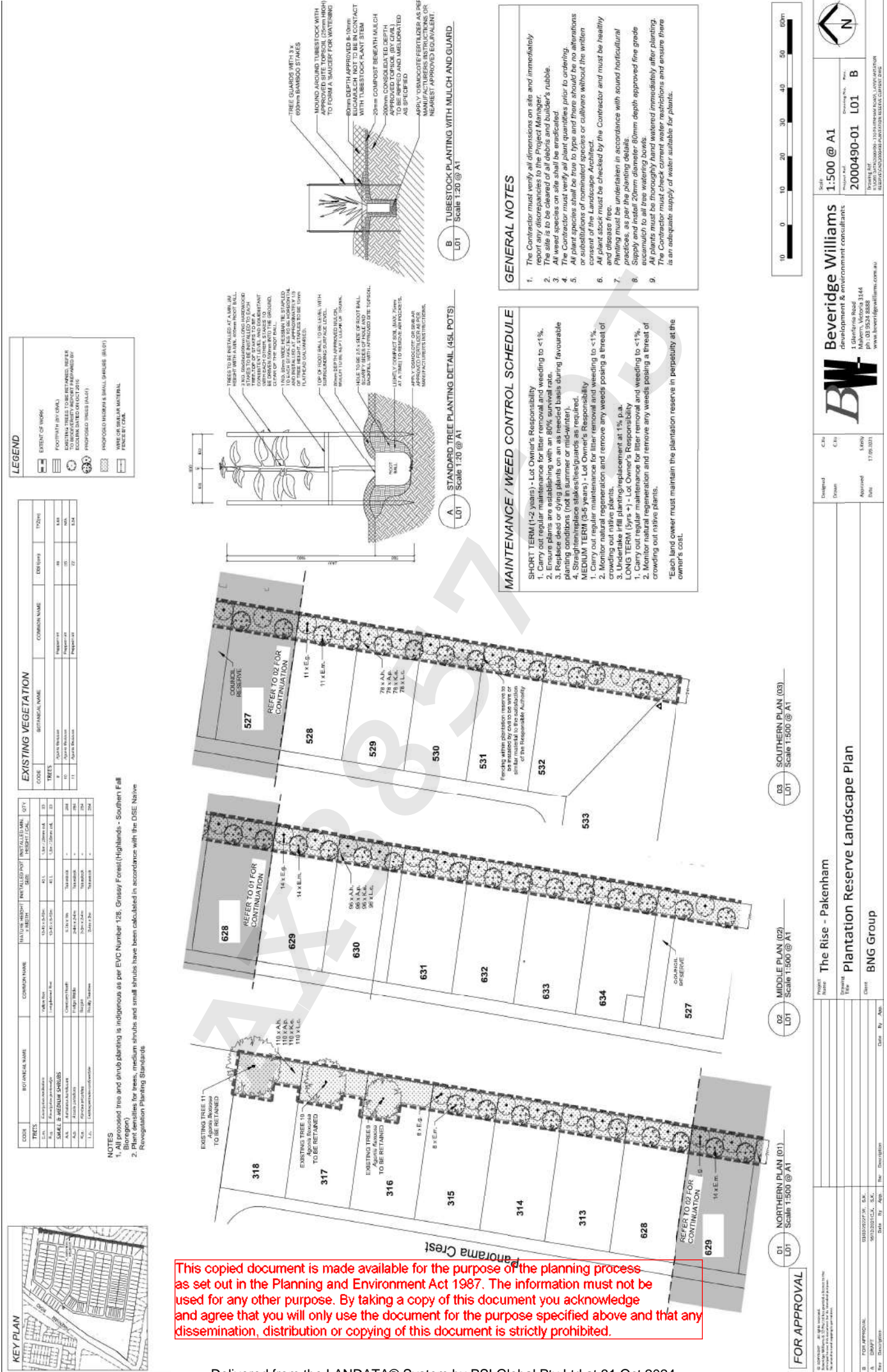
Date: 01.09.2022
Version No: 16
Job No: 2000490
Scale (A1): 1:1000
(A3): 1:2000

Schedule 2

Vegetation Plan

AX385769J

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Document Identification	PS848743W
Number of Pages (excluding this cover sheet)	4
Document Assembled	31/10/2024 16:14

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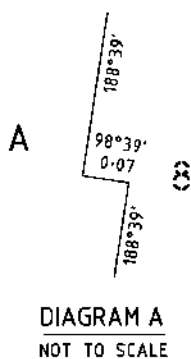
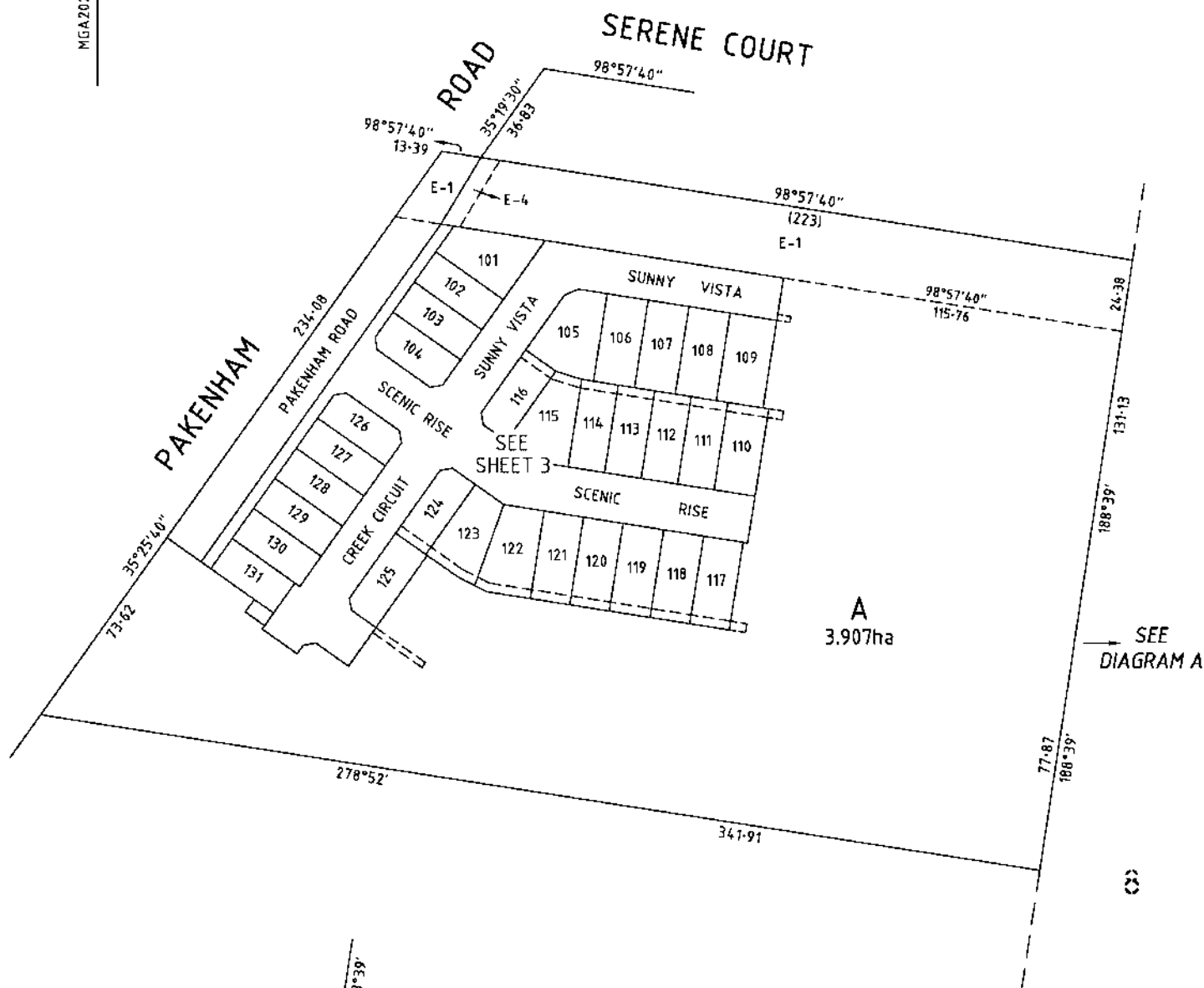
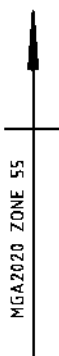
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PLAN OF SUBDIVISION			EDITION 1	PS848743W	
LOCATION OF LAND PARISH: NAR NAR GOON TOWNSHIP: PAKENHAM SECTION: — CROWN ALLOTMENT: 32(PT) & 33(PT) TITLE REFERENCE: VOL. 12230 FOL. 801 LAST PLAN REFERENCE: LP6710 (LOT 3) POSTAL ADDRESS: 110 PAKENHAM ROAD (at time of subdivision) PAKENHAM 3810 MGA CO-ORDINATES: E: 366 250 ZONE: 55 (of approx centre of land N: 5 786 580 GDA 2020 in plan)			Council Name: Cardinia Shire Council Council Reference Number: S21-146 Planning Permit Reference: T160690-2 SPEAR Reference Number: S182115M Certification This plan is certified under section 11 (7) of the Subdivision Act 1988 Date of original certification under section 6 of the Subdivision Act 1988: 21/04/2023 Public Open Space A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has not been satisfied at Certification Digitally signed by: Fiona Shadforth for Cardinia Shire Council on 30/05/2024 Statement of Compliance issued: 28/10/2024 Public Open Space A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has been satisfied at Statement of Compliance		
VESTING OF ROADS AND/OR RESERVES			NOTATIONS		
IDENTIFIER		COUNCIL/BODY/PERSON		LOTS 1 TO 100 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN. LOTS IN THIS PLAN MAY BE AFFECTED BY ONE OR MORE RESTRICTIONS. FOR DETAILS OF RESTRICTIONS INCLUDING BURDENED LOTS & BENEFITING LOTS, SEE CREATION OF RESTRICTIONS ON SHEET 4. WARNING: The restrictive covenant(s)/restriction(s) in this plan may have been varied or removed. For current information, please refer to the relevant folio(s) of the Register, noting section 88(3) of the Transfer of Land Act 1958	
ROAD R1 ROAD R2 RESERVE No.1		CARDINIA SHIRE COUNCIL HEAD TRANSPORT FOR VICTORIA AUSNET ELECTRICITY SERVICES PTY LTD			
NOTATIONS		NOTATIONS			
DEPTH LIMITATION: DOES NOT APPLY					
STAGING: This is not a staged subdivision. Planning Permit No. T160690 SURVEY: This plan is based on survey. This survey has been connected to permanent marks No(s). 89, 199, 213, 285, 286, 287, 295, 319, 320, 354, 355, 363, 674, 675 <div>Estate: The Rise - Pakenham Phase No.: 01 No. of Lots: 31 + Lot A PHASE AREA: 2.142ha</div>					
EASEMENT INFORMATION					
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)					
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of	
E-1, E-4 E-2 E-2, E-3 E-4	PIPELINE DRAINAGE SEWERAGE SUPPLY OF WATER (THROUGH UNDERGROUND PIPES)	24.38 3 SEE DIAG. 6	INST. D613929 THIS PLAN THIS PLAN THIS PLAN	VICTORIA PIPELINES COMMISSION CARDINIA SHIRE COUNCIL SOUTH EAST WATER CORPORATION SOUTH EAST WATER CORPORATION	
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 Beveridge Williams development & environment consultants Melbourne ph : 03 9524 8888 www.beveridgewilliams.com.au		SURVEYORS FILE REF: 2000490/01 2000490-01-PS-V11.DWG Digitally signed by: ADRIAN JAMES FREEMAN, Licensed Surveyor, Surveyor's Plan Version (11), 24/05/2024, SPEAR Ref: S182115M		ORIGINAL SHEET SIZE: A3	SHEET 1 OF 4
		Land Use Victoria Plan Registered 02:18 PM 31/10/2024 Assistant Registrar of Titles			

PS848743W



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development & environment consultants
Melbourne ph : 03 9524 8888
www.beveridgewilliams.com.au

SURVEYORS REF
2000490/01

SCALE
1 : 1500

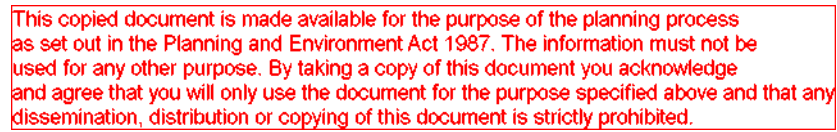
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LENGTHS ARE IN METRES

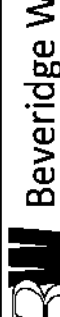
ORIGINAL SHEET
SIZE: A3

SHEET 2

Digitally signed by: ADRIAN JAMES FREEMAN, Licensed Surveyor,
Surveyor's Plan Version (11),
24/05/2024, SPEAR Ref: S182115M

Digitally signed by:
Cardinia Shire Council,
30/05/2024,
SPEAR Ref: S182115M



 Beveridge Williams development & environment consultants Melbourne ph : 03 9524 8888 www.beveridgewilliams.com.au	SURVEYORS REFERENCE 2000490 /01		SCALE 1 : 750	7.5 0 7.5 15 22.5 30 LENGTHS ARE IN METRES	ORIGINAL SHEET SIZE: A3	SHEET 3
			Digitally signed by: Surveyor, Surveyor's Plan Version (11): 24/05/2024, SPEAR Ref: S182115M		Digitally signed by: Cardinia Shire Council, 30/05/2024, SPEAR Ref: S182115M	

SUBDIVISION ACT 1988

CREATION OF RESTRICTION 'A'

PS848743W

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

BENEFITING LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THE PLAN OF SUBDIVISION SHALL NOT:

- (1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE OTHER THAN A BUILDING OR STRUCTURE THAT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RISE (PAKENHAM) ESTATE DESIGN GUIDELINES AS AMENDED FROM TIME TO TIME.

A COPY OF THE DESIGN GUIDELINES AND BUILDING ENVELOPE PLAN IS AVAILABLE at <http://www.beveridgewilliams.com.au/design-application/>

- (2) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE ON THE LOT PRIOR TO:

- (A) COPIES OF BUILDING PLANS, ELEVATION, ROOF PLANS, SITE PLANS (INCORPORATING SETBACKS FROM ALL BOUNDARIES, EXISTING CONTOURS, PROPOSED FINISHED FLOOR LEVELS AND SITE LEVELS, ALL PROPOSED DRIVEWAYS AND PATHS, DETAILS OF FENCES AND OUTBUILDINGS AND LANDSCAPING) AND SCHEDULES OF EXTERNAL COLOURS AND MATERIALS HAVE BEEN SUBMITTED VIA THE DESIGN PORTAL AT THE ABOVE ADDRESS OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME;
- (B) THE DESIGN ASSESSMENT PANEL OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME HAVE GIVEN ITS WRITTEN APPROVAL TO THE PLANS PRIOR TO THE COMMENCEMENT OF WORKS.

VARIATION:

ANY VARIATION TO CONDITIONS 1 AND 2 OF RESTRICTION 'A' WILL REQUIRE THE CONSENT OF THE DESIGN ASSESSMENT PANEL.

EXPIRY:

THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER;

- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 (OR SIMILAR) IN RESPECT OF A BUILDING ON EVERY RESIDENTIAL LOT ON THIS PLAN.
- (ii) 31 DECEMBER 2039.

CREATION OF RESTRICTION 'B'

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

BENEFITING LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THE PLAN OF SUBDIVISION SHALL NOT:

- 1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE WITH PARTY WALLS UNLESS THE PARTY WALLS ARE CONSTRUCTED SIMULTANEOUSLY WITH THE ABUTTING LOTS

EXPIRY:

THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER;

- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 (OR SIMILAR) IN RESPECT OF A BUILDING ON EVERY RESIDENTIAL LOT ON THIS PLAN.
- (ii) 31 DECEMBER 2039.

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development & environment consultants

Melbourne ph : 03 9524 8888

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Surveyor's Plan Version (11),
24/05/2024, SPEAR Ref: S182115M

ORIGINAL SHEET
SIZE: A3

SHEET 4

Digitally signed by:
Cardinia Shire Council,
30/05/2024,
SPEAR Ref: S182115M

Property Overview:

The property located at 10 Sunny Vista, Pakenham, is subject to certain registered restrictions and covenants that must be adhered to for any proposed development. In order to ensure compliance with these restrictions, the following steps have been taken:

1. Review of Registered Restrictions:

The title of the property has been reviewed in detail to identify any restrictions that may affect the proposed development. Key points of consideration include:

- **Zoning Restrictions:** The property is zoned for residential use, which allows for single-family homes but places limitations on the type and scale of development. The proposal for the construction of a single-family residence is fully compliant with this zoning requirement.
- **Setback and Building Envelope:** The title specifies a minimum setback of 4 meters from the front boundary, and the building envelope is clearly delineated to ensure that any construction remains within the approved boundaries. The proposed development adheres to these setback requirements, ensuring a 4720mm setback from the front boundary.
- **Covenants and Aesthetic Restrictions:** There are no commercial activities allowed on the property, and the design of the proposed residential home is consistent with the aesthetic requirements stipulated by the covenants. All materials and external finishes will align with the guidelines set forth by the title.

3. Proposed Development Details:

The proposal involves the construction of a single story, single-family home. Key features of the proposal include:

- The design respects all **covenants** related to the use of the land, ensuring that the property is used solely for residential purposes with no commercial activities.
- The architectural style and materials of the proposed development are consistent with the aesthetic guidelines of the covenants, ensuring visual harmony with neighbouring properties.

4. Planning Application Submission:

A planning application has been prepared for submission to the Cardinia Shire Council. This application includes:

- Site plans indicating the proposed location of the house in relation to the boundaries and easements.
- Design plans that comply with setback, height, and aesthetic requirements.
- A written statement demonstrating how the proposal complies with all title restrictions and local planning regulations.

Conclusion:

The proposed development at 10 Sunny Vista, Pakenham, complies with all the restrictions and covenants registered on the title of the property. The design and construction plans respect the setback, landscaping zoning, and aesthetic requirements outlined in the title.

Compliance with *The Rise (Pakenham) Estate Design Guidelines*

Property Overview:

The property located at 10 Sunny Vista, Pakenham, is part of *The Rise (Pakenham) Estate*, which has a set of design guidelines aimed at maintaining the visual cohesion, character, and aesthetic quality of the neighbourhood. In reviewing the proposal for a new residential development, we have ensured that it aligns with the key objectives and requirements set forth by the estate's design guidelines.

1. Site and Building Design

- **Building Form and Materials:** The proposal for the new single-family home uses modern, high-quality materials that are consistent with the design principles of *The Rise* estate. The design includes a combination of **brick and rendered finishes**,
- **Roof Design:** The roof design incorporates **pitched roof with a modern profile**, which is in keeping with the estate's preference for homes with pitched roofs, contributing to the architectural consistency of the neighbourhood. The materials selected for the roofing are **tiles** ensuring durability and compatibility with the overall aesthetic.

2. Setbacks and Building Envelope

- **Front Setback:** The proposed development adheres to the **4-meter front setback** requirement specified in the estate guidelines. This allows for consistent streetscape continuity, ensuring that the front of the home aligns with neighbouring properties in the estate.
- **Side and Rear Setbacks:** The side setbacks have been designed in accordance with the guidelines, ensuring ample space between the building and property boundaries. This maintains the estate's character and privacy between neighbouring homes. The rear setback complies with the required distance to ensure that we maintain open space.

3. Landscaping and Open Spaces

- **Landscaping Requirements:** The proposal includes a landscaping plan that incorporates **drought-tolerant plants** and **low-maintenance features**, in line with the estate's focus on creating sustainable and aesthetically pleasing gardens. The landscape design also includes **feature trees** and a **garden bed** to provide visual interest and contribute to the overall greenery of the neighbourhood.
- **Private Open Space:** The development includes sufficient **private open space** at the rear of the property, allowing for outdoor living areas that comply with the estate's minimum requirements. The design emphasizes a connection to the outdoors, which is in keeping with the estate's focus on promoting outdoor living and family-friendly environments.

4. Driveway and Car Parking

- **Driveway Design:** The driveway design is in line with the guidelines, utilising **exposed aggregate** materials that complement the home's overall design. The layout ensures that there is sufficient space for **two car parks**, fulfilling the estate's parking requirements.
- **Garaging:** The proposal includes a **double garage** located at the side of the property, ensuring that the garage is not a dominant feature when viewed from the street. The design

follows the estate's requirement for garages to be integrated into the overall design, with **flush garage doors** that are aesthetically aligned with the home's exterior.

5. Sustainability Features

- **Energy Efficiency:** The home has been designed with sustainability in mind, including **double glazed windows, insulation, and energy-efficient lighting**. These features not only comply with the estate's sustainability guidelines but also contribute to the long-term energy efficiency of the home.

6. Architectural and Streetscape Consistency

- **Architectural Style:** The architectural style of the proposal is consistent with the estate's overall vision for contemporary, aesthetically pleasing homes. The combination of clean lines, modern materials, and the use of natural elements ensures that the home complements the streetscape while maintaining individuality.
- **Colour Palette:** The colour scheme adheres to the deep warm greys to charcoal colour palette recommended by the estate's guidelines, which helps maintain a cohesive and harmonious streetscape. The chosen palette integrates seamlessly with the surrounding properties.

Conclusion:

The proposed development at 10 Sunny Vista, Pakenham, fully complies with the requirements outlined in *The Rise (Pakenham) Estate Design Guidelines*. The architectural design, landscaping, sustainability features, and overall site planning have been carefully considered to ensure alignment with the estate's vision for high-quality, aesthetically cohesive residential development.

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NOTE: ALL PAVING TO BE 200mm OFF BOUNDARY UNLESS OTHERWISE NOTED. PAVING ADJACENT TO HOUSE TO BE SET DOWN 170mm FROM FFL UNLESS OTHERWISE NOTED.

PROPOSED DRIVEWAY GRADIENT IS 1 : 6.65

☒ DENOTES METER BOX (& GAS METER WHEN IN SAME LOCATION).
▲ DENOTES GAS METER WHEN IN SEPARATE LOCATION.

NOTE: STORMWATER & DRAINAGE DESIGN IS SHOWN INDICATIVE ONLY & IS SUBJECT TO CHANGE ON SITE.

NOTE: ANY RETAINING WALLS SHOWN ON OR NEAR THE BOUNDARIES ARE TO BE CONSTRUCTED COMPLETELY WITHIN THE SUBJECT PROPERTY INCLUDING ALL ASSOCIATED FOOTINGS AND AG DRAINS

NOTE: ALL WORK SHOWN TO BE CARRIES OUT IN GOOD WORKMAN LIKE MANNER IN ACCORDANCE WITH "NATIONAL CONSTRUCTION CODE - 2022"

NOTE: PRE PROVISIONING FOR FIBRE TO THE PREMISES REQUIRED, REFER TO THE ELECTRICAL PLAN FOR FUTHER INFORMATION.

INDICATIVE G/W TAPPING LOCATION T.B.C BY WATER AUTHORITY / CONSTRUCTION PRIOR TO START
PROVIDE UP TO 600mm RELOCATION AWAY FROM DRIVEWAY IF REQUIRED

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SITE INFORMATION

BUILDING PAD CUT/SCRAPE LEVEL: RL 100.350 APPROX.
HOUSE FFL: RL 100.660
GARAGE FFL: RL 100.488
PORCH FFL: RL 100.470
O.LIVING FFL: RL 100.470

WHEN RETAINING WALLS ARE INDICATED ON THE PLANS AN AG DRAIN MUST BE PLACED TO THE REAR OF THE WALL AND SILT PITS TO BE PROVIDED TO EITHER END OF WALL FOR CONNECTION TO LPOD.

SOIL REPORT INFORMATION

	HOLE 1	HOLE 2	HOLE 3
FILL DETECTED:	YES	YES	YES
DEPTH:	700	500	1300
COMPACTION REPORTED RECEIVED:	TBA		
ROCK:	YES	YES	YES
DEPTH OF ROCK:	1000	700	1600
REFUSAL:	NO	NO	NO

STORMWATER DETAILS

DIA: 300Φ
DEPTH: X.Xm
OFFSET: X.Xm

LOT 111
VACANT
AS OF 04.11.24

SEWER DETAILS

DIA: 150mm UPVC
DEPTH: 2.63m
OFFSET: 1.98m

LOT AREAS:-

SITE:	420.00m ²	
BUILDING COVERAGE:	244.03m ²	58.10%
GARDEN AREA:	142.97m ²	34.04%
PERMEABILITY:	142.97m ²	34.04%

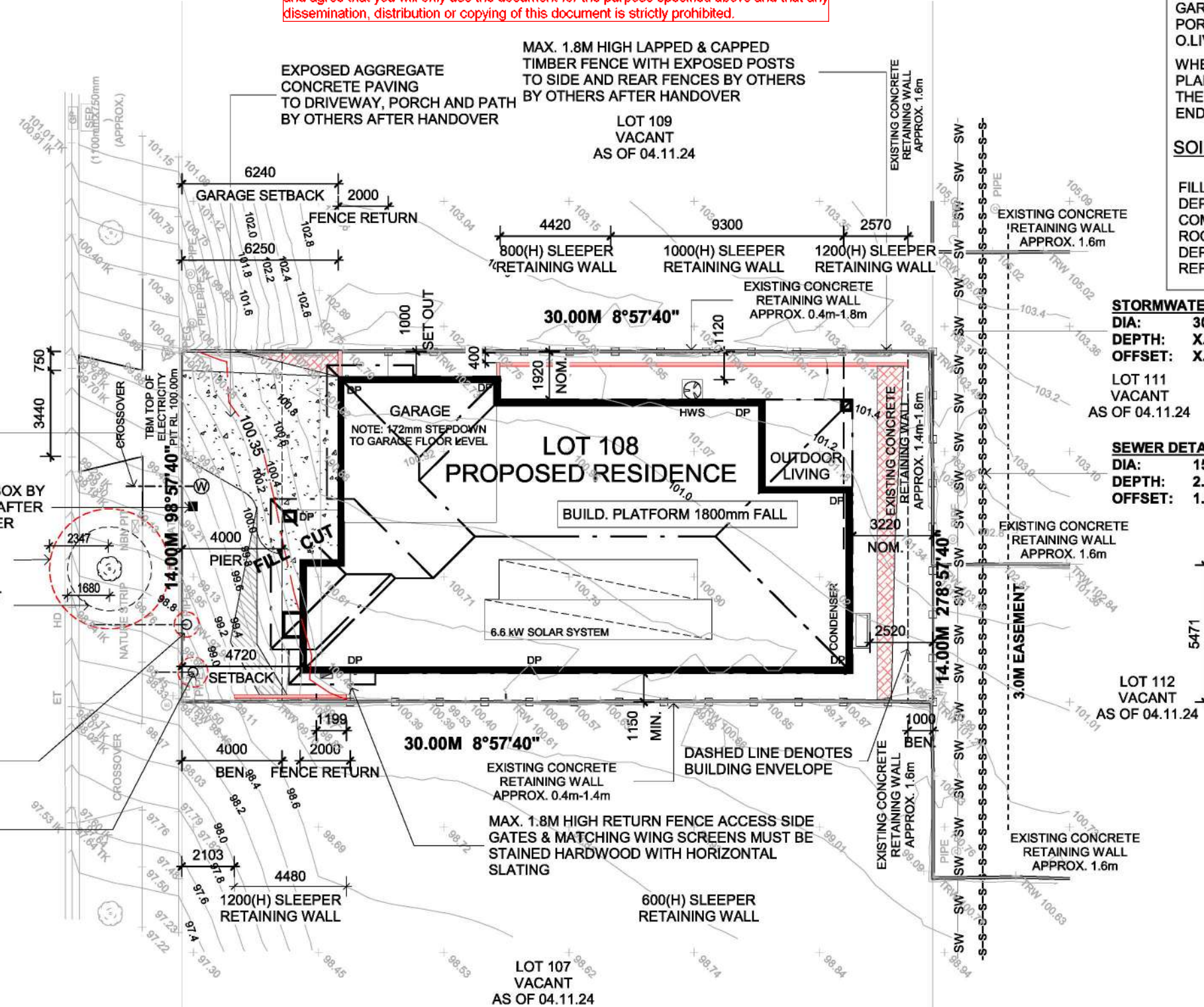
PAVING:-

DRIVEWAY & PATH:	33.00m ²
PORCH:	5.64m ²
OUTDOOR LIVING:	N/A m ²
L'DRY PATH:	N/A m ²
CROSSOVER:	N/A m ²
TOTAL:	38.64m ²

	EXPOSED AGG. CONCRETE
	CUT BATTER
	FILL BATTER
	SLEEPER RET. WALL
	WATER MARKER & RUN IN
	GAS MARKER & RUN IN
	GRATE DRAIN

SUNNY VISTA

LETTER BOX BY OTHERS AFTER HANDOVER
TREE PROTECTION ZONE
STRUCTURAL ROOT ZONE
LPD LOCATION - TBC ON SITE
SEWER TIE LOCATION - TBC ON SITE



AMM	TYPE	DATE	SIGN
004	DAKB, LEVELS ADDED	13.12.24	KMO
005	PCV/001 ADDED	07.01.25	JKL
006	ENERGY ADDED	31.01.25	LMD
007	PCV003 & PCV004 ADDED	10.02.25	WIM
008	AMENDMENT ADDED	13.03.25	LMD
009	GARAGE AMENDMENT ADDED	19.03.25	LMD
010	FFL UPDATE ADDED	21.03.25	LMD
011	AMENDMENT ADDED	31.03.25	LMD
012	PLANNING PERMIT RFI	01.04.25	JKL

* NOTE DO NOT SCALE THESE DRAWINGS *

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CONTRACT DRAWINGS	DATE
ORBIT HOMES	DATE
CLIENT	DATE
CLIENT	DATE

PROPOSED RESIDENCE
FOR [REDACTED]
AT: LOT 108 #10 SUNNY VISTA,
PAKENHAM - VIC 3810
MEL REF: .
PERMIT N°: .
JOB N°: 17540

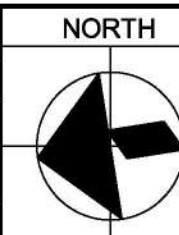
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286 MT ALEXANDER ROAD
ASCOT VALE. 3032
TEL: (03) 9377 0000 FAX: (03) 9375 4632
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SITE PLAN

TERMITES	YES
BUSHFIRE	LOW
FLOODING	NO
CORROSIVE	NO
TOWN PLANNING	NO



DRAWN: TRANG	DATE: 25.10.24
CHECK: LACHLAN	DATE: 13.12.24
SCALE: 1 : 200	SHEET No: 1 / 19
DESIGN	CAULFIELD 26A
ELEVATION	VOGUE
SPECIFICATION PREMIUM 2024	REVISION 12

NOTE: LANDSCAPE IS SHOWN INDICATIVE AND IS SUBJECT TO CHANGE PENDING ANY SITE CONSTRAINTS

NOTE: LANDSCAPING TO BE PROVIDED BY OTHERS IN FULL ACCORDANCE WITH THE DESIGN GUIDELINES.

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SUNNY VISTA

LETTER BOX BY OTHERS AFTER HANDOVER

EXPOSED AGGREGATE CONCRETE PAVING TO DRIVEWAY, PORCH AND PATH BY OTHERS AFTER HANDOVER

MAX. 1.8M HIGH LAPPED & CAPPED TIMBER FENCE WITH EXPOSED POSTS TO SIDE AND REAR FENCES BY OTHERS BY OTHERS AFTER HANDOVER

EXISTING CONCRETE RETAINING WALL APPROX. 0.4m-1.8m

EXISTING CONCRETE RETAINING WALL APPROX. 1.4m-1.6m

30.00M 8°57'40"

14.00M 278°57'40"

30.00M 8°57'40"

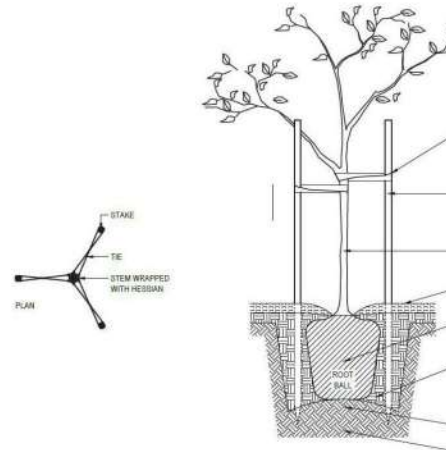
EXISTING CONCRETE RETAINING WALL APPROX. 0.4m-1.4m

MAX. 1.8M HIGH RETURN FENCE ACCESS SIDE GATES & MATCHING WING SCREENS MUST BE STAINED HARDWOOD WITH HORIZONTAL SLATING

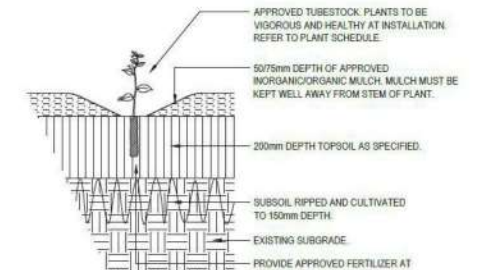
FRONT GARDENS MUST INCLUDE A MINIMUM OF ONE CANOPY TREE

NOTE: LIMIT THE AMOUNT OF HARD SURFACES AND UTILISE 'SOFT' COVERINGS SUCH AS GARDEN BEDS, SHRUBS, GROUND COVER AND TREES.

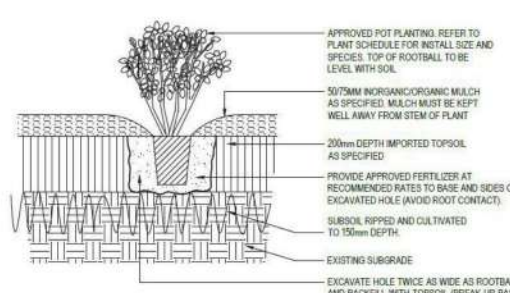
GENERAL NOTES
01. ALL TREE PRUNING IS TO BE CARRIED OUT BY A QUALIFIED AND EXPERIENCED ARBORIST WHO HAS A THOROUGH KNOWLEDGE OF TREE PHYSIOLOGY AND PRUNING METHODS. PRUNING MUST BE CARRIED OUT IN ACCORDANCE WITH AUSTRALIAN STANDARD AS4373:2007 PRUNING OF AMENITY TREES.
02. IF PRUNING WORKS ARE TO BE UNDERTAKEN THEN THESE WORKS SHOULD BE CARRIED OUT PRIOR TO ANY CONSTRUCTION WORKS BEGINNING ON SITE. ANY PRUNING OF TREES LOCATED ON A NEIGHBOURING PROPERTY SHOULD BE UNDERTAKEN IN CONSULTATION WITH THE PROPERTY OWNER.
03. PRUNE PLANTS TO CONTROL THEIR SIZE, GIVE THEM AN APPROPRIATE FORM AND MAINTAIN THEIR VIGOR. TREES SHOULD BE PRUNED TO MAINTAIN STRONG BRANCH FRAMEWORKS AND SHRUBS TO OBTAIN THEIR DESIRED DENSITY AND HEIGHT.
04. USE EUCALYPTUS TO PREPARE GARDEN BEDS AT A MIN 75MM DEPTH.
05. ALL EXISTING ENVIRONMENTAL WEED SPECIES ARE TO BE REMOVED FROM THE SITE AND ENVIRONMENTAL AND NOXIOUS WEEDS FOUND IN CITY COUNCIL BOOKLET ARE NOT TO BE PLANTED.
06. ALL GARDEN BEDS TO BE FORMED WITH TIMBER EDGING.
07. IN-GROUND IRRIGATION SYSTEM TO BE PROVIDED TO ALL LANDSCAPED AREAS.
08. HIGH QUALITY STOCK TO BE SELECTED WITH STRAIGHT TRUNK AND SINGLE LEADER.
09. ALL TREE STOCK USED MUST BE IN ACCORDANCE WITH AS2303:2015 TREE STOCK FOR LANDSCAPE USE.
10. WATERING OF TREES SHALL BE COMPLETED THE SAME DAY AS PLANTING, SUFFICIENTLY TO CONSOLIDATE THE BACKFILL AROUND THE ROOTS.
11. EXCAVATE PLANTING HOLE 400MM GREATER THAN ROOT BALL DIAMETER. PLANT TREE AT GROUND LEVEL WITH ROOT BALL RESTING ON THE BASE OF HOLE.
12. CONTRACTOR TO SUPPLY AND INSTALL ALL TREES.
13. FERTILIZE LAWNS TO MAINTAIN VIGOR. MORE REGULARLY TO PROVIDE A USEABLE AND NEAT SURFACE.
14. CULTIVATE ALL GARDEN BED AREAS TO A DEPTH OF 200MM WHERE SAFE TO DO SO (IE AWAY FROM PIPES AND TREE PROTECTION ZONES) AND ADD CYPSUM AT AN APPLICATION RATE OF 1KG / SQ METER DURING CULTIVATION PROCEDURE.
15. APPROVED TOP SOIL SHALL BE FREE FROM CLODS, STONES AND OTHER EXTRANEOUS MATERIALS GREATER THAN 20MM.
16. LANDSCAPE CONTRACTOR TO SUPPLY AND SPREAD APPROVED TOPSOIL TO GARDEN BEDS AREAS. IMPORTED TOPSOIL, IF REQUIRED, SHALL BE SANDY LOAM TEXTURE WITH PH OF 6-7 AND BE FREE FROM RUBBLE STONE AND EXTRANEOUS MATERIAL.
17. GARDEN BEDS SHALL HAVE A DEPTH OF 150MM TOPSOIL AND GRASSED AREAS A DEPTH OF 75MM.
18. ALL EXISTING ENVIRONMENTAL WEED SPECIES ARE TO BE REMOVED FROM THE SITE AND ENVIRONMENTAL AND NOXIOUS WEEDS FOUND IN THE CITY COUNCIL INVASIVE SPECIES GUIDE ARE NOT TO BE PLANTED.



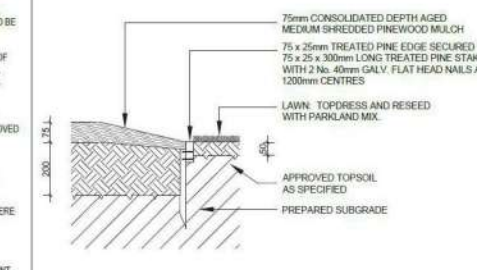
TREE PLANTING DETAIL



TIMBER EDGE DETAIL



TUBESTOCK PLANTING DETAIL



SHRUB PLANTING DETAIL

LANDSCAPING INCLUSIONS			
FRONT LANDSCAPING	<input checked="" type="checkbox"/> BY OTHERS	<input type="checkbox"/> BY BUILDERS	
REAR LANDSCAPING	<input checked="" type="checkbox"/> BY OTHERS	<input type="checkbox"/> BY BUILDERS	
PAVING	<input checked="" type="checkbox"/> BY OTHERS	<input type="checkbox"/> BY BUILDERS	
FENCING	<input checked="" type="checkbox"/> BY OTHERS	<input type="checkbox"/> BY BUILDERS	
LETTERBOX	<input checked="" type="checkbox"/> BY OTHERS	<input type="checkbox"/> BY BUILDERS	

LEGEND	DESCRIPTION	TOTAL AREA m ²	PLANTING SCHEDULE			
	EXPOSED AGG. CONCRETE	39.70m ²	BLACKWOOD - MIN. 2.0M HIGH @ PLANTING 400mm POT SIZE - 6-30m MATURE HEIGHT (ACACIA MELANOXYLON)	SILVER BANKSIA 150mm POT SIZE - 1- 12m MATURE HEIGHT (BANKSIA MARGINATA)	NATIVE FUCHSIA 150MM POT SIZE - .05m MATURE HEIGHT (CORREA REFLEXA)	RUNNING POSTMAN 150MM POT SIZE - .03m MATURE HEIGHT (KENNEDIA PROSTRATA)
	PLANTED GARDEN BED	26.09m ²				
	TURF	44.3m ²				
	TOPPING	71.31m ²				

AMM	TYPE	DATE	SIGN
004	DAKB, LEVELS ADDED	13.12.24	KMO
005	PCV/001 ADDED	07.01.25	JKL
006	ENERGY ADDED	31.01.25	LMD
007	PCV003 & PCV004 ADDED	10.02.25	WIM
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011	AMENDMENT ADDED	31.03.25	LMD
012	PLANNING PERMIT RFI	01.04.25	JKL
* NOTE DO NOT SCALE THESE DRAWINGS *			

CONTRACT DRAWINGS	
ORBIT HOMES	DATE
CLIENT	DATE
CLIENT	DATE

PROPOSED RESIDENCE FOR

AT: LOT 108 #10 SUNNY VISTA, PAKENHAM - VIC 3810

MEL REF: .

PERMIT N°: .

JOB N°: 17540

Orbit HOMES

ORBIT HOMES AUSTRALIA PTY. LTD.

286 MT ALEXANDER ROAD
ASCOT VALE. 3032

TEL: (03) 9377 0000 FAX: (03) 9375 4632
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LANDSCAPE PLAN	
DRAWN: TRANG	DATE: 25.10.24
CHECK: LACHLAN	DATE: 13.12.24
SCALE: 1 : 200	SHEET No: 2 / 19
DESIGN	CAULFIELD 26A
ELEVATION	VOGUE
SPECIFICATION PREMIUM 2024	REVISION 12

FLOORPLAN

DIMENSIONS ARE SHOWN TO TIMBER FRAME ONLY AND DO NOT ALLOW FOR PLASTER BOARD SHEETING OR OTHER SUCH FINISHES.

BH DENOTES BULKHEAD OVER OPENINGS. BULKHEADS ARE TO BE 200mm DEEP.

MASONARY CONTROL JOINTS TO BE AS PER ENGINEERS DESIGN

■ DENOTES METER BOX, TELEPHONE & GAS METER (IF REQUIRED)

▨ DENOTES INSULATION IN WALL BETWEEN GARAGE & HOUSE. WALL TO HAVE PLASTERBOARD BOTH SIDES.

INSULATION REQUIREMENTS TO BE AS PER PLANS & TO BE READ IN CONJUNCTION WITH ENERGY REPORT

● INDICATES LOCATION OF SMOKE ALARMS. SMOKE ALARMS TO BE INTERCONNECTED AND INSTALLED IN ACCORDANCE WITH NCC 2022 PART H3D6 AND A.S. 3786 - 2014.

----- DENOTES CONDUIT UNDER SLAB FOR POWER, WATER OR BOTH TO ISLAND BENCH. TO RUN ADJACENT TO SINK WASTE.

⊠ DENOTES HOT WATER SERVICE SOLAR PANEL LOCATION ON ROOF. NUMBER OF SYMBOLS REFERS TO NUMBER OF PANELS REQUIRED. IF SOLAR PANEL REQUIRED, LOCATION IS NOMINAL ONLY. INSTALLERS TO LOCATE AND TO COMPLY WITH MANUFACTURERS REQUIREMENTS AND AS/NAS 3500-PLUMBING AND DRAINAGE

MFH 565x565mm PERSONAL ACCESS OPENING TO BE LOCATED AS PER PLAN & TO SUIT TRUSS SETOUT. LOCATION IS INDICATIVE ONLY AND IS TO BE CONFIRMED BY BUILDING SUPERVISOR IN CONJUNCTION WITH PLACEMENT OF DUCTED HEATING UNIT.

⊠ RA INDICATES HEATING SYSTEM RETURN AIR VENT

W1 ST DENOTES THE WINDOW & DOOR NUMBER, AND SHEET NUMBER FOR WINDOW & DOOR SCHEDULE. SCHEDULE NOMINATES WINDOW SIZES AND HEAD HEIGHTS

D1 S16 DENOTES THE DETAIL NUMBER & SHEET NUMBER FOR DETAILS REFERENCED IN THE DRAWING SET.

ALL NOTES ARE TO BE READ IN CONJUNCTION WITH NOTES ON PLANS. WHERE THERE IS A DISCREPANCY BETWEEN THESE NOTES & NOTES ON THE PLAN, THE PLAN SHALL TAKE PRECEDENCE.

CHECK AND VERIFY ALL MEASUREMENTS, DIMENSIONS & INTENT PRIOR TO CONSTRUCTION OR FABRICATION.

DO NOT SCALE DRAWINGS, FIGURED DIMENSIONS ARE TO TAKE PRECEDENCE OVER ALL.

ALL WORK MUST COMPLY WITH THE BUILDING CODE OF AUSTRALIA & ALL OTHER RELEVANT BY LAWS AND AUTHORITIES.

SKIRTINGS ARE 67x18 SINGLE BEVEL MDF SKIRTING BOARD UNLESS OTHERWISE NOTED IN SPECS.

ARCHITRAVES ARE 67x18 SINGLE BEVEL MDF SKIRTING BOARD UNLESS OTHERWISE NOTED IN SPECS.

WINDOWS ADJACENT TO BATHS SHOWING A DASHED SILL LINE ARE TO BE SET AT HOB HEIGHT WITH NO BOTTOM REVEAL & BE SQUARE SET UNLESS NOMINATED OTHERWISE. REFER TO DETAILS ON PLAN.

ENSUITE WINDOWS THAT ARE OVER VANITY ARE TO BE SET AT BENCH HEIGHT WITH NO BOTTOM REVEAL & SQUARE SET. VANITY TOP IS TO RUN INTO WINDOW. REFER DETAILS ON PLANS.

KITCHEN WINDOWS OVER BENCHTOPS ARE TO BE SET AT BENCH LEVEL WITH NO BOTTOM REVEAL. BENCHTOP IS TO RUN INTO WINDOW. REFER DETAILS ON PLANS.

DOORS TO SANITARY COMPARTMENTS MUST BE HINGED WITH LIFT OFF HINGES UNLESS THE DISTANCE FROM DOOR ARCH TO CLOSET PAN IS 1200mm OR GREATER, TO ALLOW THE DOOR TO BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT.

WALLS BEHIND WET AREA VESSELS (e.g. BATHS & BASINS) MUST BE PROVIDED WITH IMPERVIOUS SURFACE FOR A HEIGHT OF 150mm MIN. WALLS TO SHOWER COMPARTMENTS TO BE PROVIDED WITH IMPERVIOUS SURFACE TO A HEIGHT OF 1800mm MIN. ABOVE SHOWER BASE.

FOR GARAGE BEAM LOCATION & CONNECTIONS REFER DETAILS OR ENGINEERING AS APPLICABLE.

GARAGE DOORS ARE SECTIONAL PANELS UNLESS OTHERWISE SPECIFIED. WIDTH AS NOMINATED ON PLAN.

BRICK PIERS TO PORCHES & PORTICOS REQUIRE A 90x90mm TREATED PINE POST TO CENTRE POSITION AS SHOWN ON PLAN.

DOORS TO ROBES ARE VINYL SLIDING UNLESS OTHERWISE NOMINATED. NUMBER OF DOOR LEAFS AS INDICATED. FOR ROBE & LINEN DETAILS REFER DETAILS ON PLANS.

FRONT WATER TAP TO BE LOCATED AT METER UNLESS OTHERWISE NOTED.

PROVIDE LANDINGS TO EXTERNAL DOORS HAVING A MINIMUM SIZE OF THE WIDTH OF THE DOOR WHERE FALL FROM DWELLING EXCEEDS 230mm.

REFER TO SITEPLAN FOR WHETHER TERMITE TREATMENT IS REQUIRED.

GAS METER TO BE LOCATED 500mm MINIMUM FROM THE ELECTRICAL EARTH STAKE.

WHERE OUTDOOR LIVING IS AT REAR OF GARAGE, A 1N" BRICK DEEPER REBATE IS REQUIRED FOR 2000mm FROM BACK OF GARAGE WALL.

OPENABLE WINDOWS WITH A FALL GREATER THAN 1m FROM THE FINISHED FLOOR LEVEL (APPLICABLE TO FIRST FLOOR WINDOWS) TO HAVE A RESTRICTED OPENING OF MAX 125mm.

WHEN 600mm EAVES ARE NOMINATED TO BRICK VENEER WALLS, TRUSS PITCHING POINT TO BE CANTILEVERED 150mm.

STAIR CONSTRUCTION TO CONSIST OF RISERS OF 190mm MAX. AND GOINGS OF 240mm MIN. ALL BALUSTRADING TO STAIRS TO BE 865mm MIN. ABOVE STAIR NOSING AND 1000mm MIN. ABOVE LANDINGS. BALUSTRADES TO BE SPACED AT 125mm MAX.

STAIRS TO HAVE A SURFACE OR NOSING STRIP WITH A SLIP-RESISTANCE CLASSIFICATION NOT LESS THAN P3 AS LISTED IN NCC TABLE 11.2.4 WHEN TESTED IN ACCORDANCE WITH AS4586.

ALL STAIRWAY, BARRIER AND HANDRAIL CONSTRUCTION IS TO BE INSTALLED AND COMPLETED IN ACCORDANCE WITH NCC 2022 VOLUME 2 PARTS 11.2 - STAIRWAY AND RAMP CONSTRUCTION AND 11.3 - BARRIERS AND HANDRAILS.

THE BUILDER RESERVES THE RIGHT TO MAKE MINOR ALTERATIONS TO FLOOR LEVELS, WINDOW POSITIONS, SITE EXCAVATION, HEATING DUCTS DURING CONSTRUCTION IN THE INTEREST OF PRODUCT IMPROVEMENT.

CLEARANCE IS TO BE MAINTAINED BETWEEN TOP OF CEILING BATTS AND UNDERSIDE OF ROOF COVER. WHERE CEILING BATTS AND ROOF COVER MAKE CONTACT A LAYER OF SISALATION IS TO BE PROVIDED TO THE AFFECTED AREA TO ELIMINATE MOISTURE TRANSFER

NO PART OF FOOTING OR WALL TO ENCROACH BOUNDARY LINE.

ALL SECTIONS OF THE SPECIFICATION & DRAWING SHALL BE TAKEN IN CONJUNCTION & ANY PROVISIONS OR CLAUSES IN ANY ONE SECTION SHALL BE TAKEN AS REFERRING TO ALL OTHER SECTIONS. IF SUCH PROVISIONS AND CLAUSES ARE IN ANY WAY APPLICABLE.

WHERE AN ITEM IS USUAL OR NECESSARY OR IS REASONABLE OR PROPERLY INFERRED IN THE TYPE OF WORK GENERALISED IN THIS SPECIFICATION BUT NOT SPECIFICALLY MENTIONED, IT SHALL BE DEEMED TO BE INCLUDED IN THE SPECIFICATION.

UNDER NO CIRCUMSTANCES IS ANYTHING (INCLUDING BASKETBALL HOOPS) TO BE FIXED TO WALLS ABOVE ANY BRICKWORK OPENINGS (e.g. WINDOWS AND GARAGE DOOR)

BALCONIES

BALCONY WATERPROOFING IN ACCORDANCE WITH AS4654

ELEVATIONS

ANY RENDER FINISH SUBSEQUENTLY APPLIED TO THE SURFACE, SHALL NOT BE ALLOWED TO BRIDGE A DAMP PROOF COURSE, OR MAKE INEFFECTIVE ANY OTHER MOISTURE PROTECTION MEASURES. DAMP PROOF COURSE TO BE CUT HORIZONTALLY THROUGH THE RENDER.

ELECTRICAL

SLIDE OUT RANGEHOOD SGPO TO BE MOUNTED IN CUPBOARD ABOVE.

CANOPY RANGEHOOD SGPO TO BE MOUNTED AS PER MANUFACTURERS RECOMMENDATIONS.

OVEN ISOLATOR SWITCH IS TO BE INCORPORATED IN CLOSET DGPO IF REQUIRED.

COOKTOP SGPO TO BE PLACED IN ADJACENT CUPBOARD.

DISHWASHER SGPO TO BE PLACED IN ADJACENT CUPBOARD.

PROVIDE SGPO TO MICROWAVE SPACE.

BATHROOM DGPO TO BE MOUNTED ON PLASTERBOARD WALL BETWEEN VANITY & SHOWER. ENSUITE DGPO TO BE MOUNTED ON WALL TO SIDE OF VANITY ABOVE TILING.

GENERAL ROOM GPOs, TV & TELEPHONE OUTLETS TO BE MOUNTED 300mm ABOVE FFL.

REFRIGERATOR SGPO TO BE @ 1500mm ABOVE FFL.

MASTER BEDROOM DGPOs TO BE 300mm ABOVE FFL & APPROX. 1000mm FROM CENTRE OF WALL.

LIGHT SWITCHES TO BE @ 1050mm ABOVE FFL.

ALL MEASUREMENTS ARE TO CENTRELINE OF SWITCH PLATE.

EXTERNAL FLOODLIGHTS TO BE MOUNTED 50mm BELOW THE FASCIA UNLESS OTHERWISE NOTED.

INTERNALS

VANITY DEPTHS TO BE 560mm UNLESS OTHERWISE NOTED.

AUSTRALIAN STANDARDS

AS 1288 – 2021 "GLASS IN BUILDINGS—SELECTION AND INSTALLATION"

ALL GLAZING TO DOORS & WINDOWS ARE TO FULLY COMPLY IN ACCORDANCE WITH AS 2047 – 2014

AS 1562 PART 1 – 2018 METAL COLOURBOND "DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING"

AS/NZS 1562 PART 2 - 1999 CORRUGATED FIBRE-REINFORCED CEMENT "DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING"
AS/NZS 1562 PART 3 – 1996 PLASTICS "DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING"

AS 2049 – 2002 "ROOF TILES"

AS 2050 – 2018 "INSTALLATION OF ROOF TILES"

AS/NZS 2904 – 1995 "DAMP-PROOF COURSES AND FLASHINGS"

AS/NZS 3500 "PLUMBING AND DRAINAGE"
PART 3 – 2021 "STORM WATER DRAINAGE"

AS 3600 - 2018 "CONCRETE STRUCTURES"

AS 3660 "TERMITE MANAGEMENT"
PART 1 – 2014 "NEW BUILDING WORK"
PART 3 – 2014 "ASSESSMENT CRITERIA FOR TERMITE MANAGEMENT SYSTEMS"

AS 3700 – 2018 "MASONRY STRUCTURES"

AS 3470 – 2021 "WATERPROOFING OF DOMESTIC WET AREAS"

AS 3786 – 2014 "SMOKE ALARMS USING SCATTERED LIGHT, TRANSMITTED LIGHT OR IONIZATION"

AS 3786 – 2014 "SMOKE ALARMS"

AS 3959 – 2018 "CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS"

AS 4586 – 2013 "SLIP RESISTANCE CLASSIFICATION OF NEW PEDESTRIAN SURFACE MATERIALS"

AS/NZS 4859 - "MATERIALS FOR THE THERMAL INSULATION OF BUILDINGS"

PART 1 – 2018 "GENERAL CRITERIA AND TECHNICAL PROVISIONS"

PART 2 – 2018 "DESIGN"

WET AREAS TO BE WATERPROOFED IN ACCORDANCE WITH NCC CLAUSE 10.1 AND AS 3740
ALL GLASS TO COMPLY WITH A.S. 1288 - 2021
ALL TIMBER TO COMPLY WITH A.S. 1684.2 - 2021.
ALL MASONRY TO COMPLY WITH A.S. 3700 - 2018. AND A.S. 4773.2 - 2015.

AS PER CLAUSE 10.8.1 OF NCC 2022 A PLIABLE BUILDING MEMBRANE TO BE INSTALLED THAT COMPLIES WITH AS/NZS 4200.1 AND TO BE INSTALLED IN ACCORDANCE WITH AS/NZS 4200.2 AND MUST NE A VAPOUR PERMEABLE MEMBRANE FOR CLIMATE ZONES 6/7/8.

AS PER CLAUSE 10.8.2 OF NCC 2022 EXHAUST FROM A BATHROM, SANITARY COMPARTMENT, OR LAUNDRY MUST BE DISCHARGED DIRECTLY VIA A SHAFT OR DUCT TO OUTDOOR AIR; OR TO A ROOF SPACE THAT IS VENTILATED IN ACCORDANCE WITH 10.8.3.

WET AREAS TO BE PROVIDED WITH ADDITIONAL NOGGINGS AS PER LIVEABLE HOUSING DESIGN STANDARDS PART 6 2022, REFER TO LOCATION DETAILS

HEATING AND COOLING DUCTWORK

a) HEATING AND COOLING DUCTWORK AND FITTINGS MUST-
(i) ACHIEVE THE R-VALUE IN TABLE 13.7.3; AND
(ii) BE SEALED AGAINST AIR LOSS -
(A) BY CLOSING ALL OPENINGS IN THE SURFACE, JOINTS AND SEAMS OF DUCTWORK WITH ADHESIVES, MASTICS, SEALANTS OR GASKETS IN ACCORDANCE WITH AS 4254 FOR A CLASS C SEAL; OR
(B) FOR FLEXIBLE DUCTWORK, WITH A DRAW BAND IN CONJUNCTION WITH A SEALANT OR ADHESIVE TAPE.
b) DUCT INSULATION MUST -
(i) ABUT ADJOINING DUCT INSULATION TO FORM A CONTINUOUS BARRIER; AND
(ii) BE INSTALLED SO THAT IT MAINTAINS ITS POSITION AND THICKNESS, OTHER THAN AT FLANGES AND SUPPORTS; AND
(iii) WHERE LOCATED OUTSIDE THE BUILDING, UNDER A SUSPENDED FLOOR, IN AN ATTACHED CLASS 10A BUILDING OR IN A ROOF SPACE -
(A) BE PROTECTED BY AN OUTER SLEEVE OF PROTECTIVE SHEETING TO PREVENT THE INSULATION BECOMING DAMP; AND
(B) HAVE THE OUTER PROTECTIVE SLEEVE SEALED WITH ADHESIVE TAPE NOT LESS THAN 48MM WIDE CREATING AN AIRTIGHT AND WATERPROOF SEAL.
c) THE REQUIREMENTS OF (a) DO NOT APPLY TO HEATING AND COOLING DUCTWORK AND FITTINGS LOCATED WITHIN THE INSULATED BUILDING ENVELOPE INCLUDING A SERVICE RISER WITHIN THE CONDITIONED SPACE, INTERNAL FLOORS BETWEEN STORIES AND THE LIKE.
TABLE 13.7.3
HEATING AND COOLING DUCTWORK AND FITTINGS - MINIMUM MATERIAL R-VALUE
ELECTRIC RESISTANCE SPACE HEATING
AN ELECTRIC SPACE HEATING SYSTEM THAT SERVES MORE THAN ONE ROOM MUST HAVE -
(a) SEPARATE ISOLATING SWITCHES FOR EACH ROOM; AND
(b) A SEPARATE TEMPERATURE CONTROLLER AND TIME SWITCH FOR EACH GROUP OF ROOMS WITH COMMON HEATING NEEDS; AND
(c) POWER LOADS OF NOT MORE THAN 110 W/m² FOR LIVING AREAS AND 150 W/m² FOR BATHROOMS.
ARTIFICIAL LIGHTING
(a) THE LAMP POWER DENSITY OR ILLUMINATION POWER DENSITY OF ARTIFICIAL LIGHTING, EXCLUDING HEATERS THAT EMIT LIGHT, MUST NOT EXCEED -
(i) IN A CLASS 1 BUILDING 5W/m²; AND
(ii) ON A VERANDAH OR BALCONY ATTACHED TO A CLASS 1 BUILDING, 4 W/m²; AND
(iii) IN A CLASS 10 BUILDING, 3W/m²; AND
THE LAMP POWER DENSITY IS A WHOLE HOUSE CALCULATION BASED ON AN OVERALL SQUARE METERAGE AND NOT ROOM BY ROOM OR AREA BY AREA METERAGE.
CALCULATION EXCLUSIONS INCLUDE:
(i) BATHROOM HEAT LAMPS,
(ii) A LIGHT POINT WITHIN A CEILING SPACE,
(iii) EXTERNAL SECURITY LIGHTING.

Ductwork element	Minimum material R-Value for ductwork and fittings in each climate zone					
	heating-only system or cooling only system including an evaporative cooling system		combined heating and refrigerated cooling system			
	1,2,3,4,5,6 and 7	8	1,3,4,6 and 7	2 and 5	8	
	1	1.5	1.5 (see note)	1	1.5	
Ductwork						
Fittings	0.4					
NOTE: The minimum material R-Value required for ductwork may be reduced by 0.5 for combined heating and refrigerated cooling systems in climate						
(a)	under a suspended floor with an enclosed perimeter; or					
(b)	in a roof space that has insulation of not less than R0.5 directly beneath the roofing					

AMM	TYPE	DATE	SIGN
004	DAKB, LEVELS ADDED	13.12.24	KMO
005	PCV/001 ADDED	07.01.25	JKL
006	ENERGY ADDED	31.01.25	LMC
007	PCV003 & PCV004 ADDED	10.02.25	WIM
008	AMENDMENT ADDED	13.03.25	LMC
009	GARAGE AMENDMENT ADDED	19.03.25	LMC
010	FFL UPDATE ADDED	21.03.25	LMC
011	AMENDMENT ADDED	31.03.25	LMC
012	PLANNING PERMIT RFI	01.04.25	JKL
* NOTE DO NOT SCALE THESE DRAWINGS *			

CONTRACT DRAWINGS	
ORBIT HOMES	DATE
CLIENT	DATE
CLIENT	DATE

PROPOSED RESIDENCE FOR: [REDACTED]
AT: LOT 108 #10 SUNNY VISTA, PAKENHAM - VIC 3810
MEL REF: .
PERMIT N°: . JOB N°: 17540



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GENERAL NOTES

DRAWN: TRANG	DATE: 25.10.24
CHECK: LACHLAN	DATE: 13.12.24
SCALE: N/A	SHEET No: 3 / 19
DESIGN	CAULFIELD 26A
ELEVATION	VOGUE
SPECIFICATION PREMIUM 2024	REVISION 12

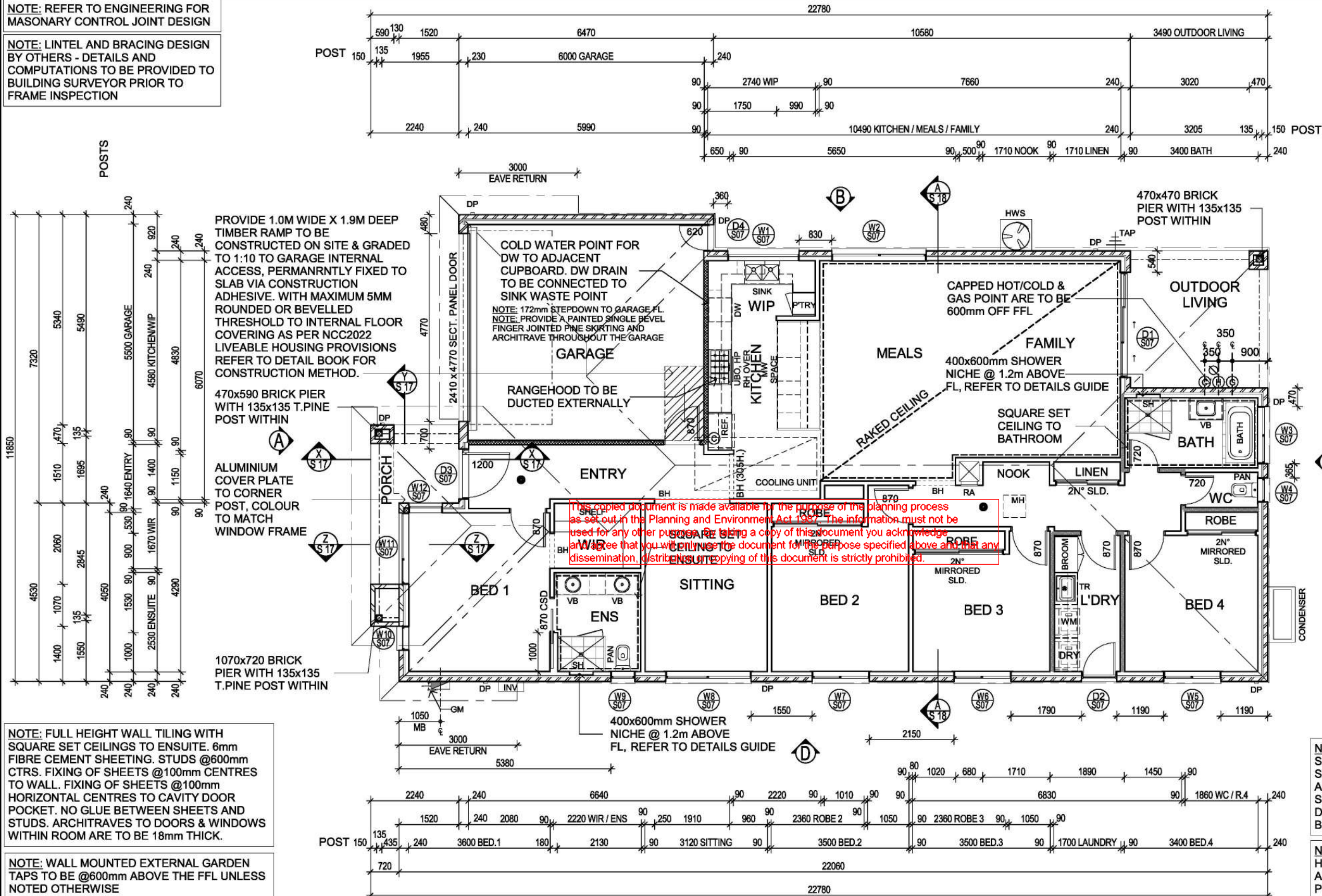
NOTE: REFER TO ENGINEERING FOR MASONRY CONTROL JOINT DESIGN

NOTE: LINTEL AND BRACING DESIGN BY OTHERS - DETAILS AND COMPUTATIONS TO BE PROVIDED TO BUILDING SURVEYOR PRIOR TO FRAME INSPECTION

NOTE: PROVIDE LASER BATTENING TO CEILINGS THROUGHOUT ENTRY, LIVING/KITCHEN/MEALS AREA, AND CONTINUING INTO ANY CONTIGUOUS CEILING AREAS NOT SEPARATED BY BULKHEADS AND/OR WALLS.

LEGEND

Ⓢ	CAPPED COLD WATER POINT
Ⓜ	CAPPED HOT WATER POINT
Ⓢ	CAPPED GAS POINT
Ⓢ	CAPPED RISER POINT



NOTE: FULL HEIGHT WALL TILING WITH SQUARE SET CEILINGS TO ENSUITE. 6mm FIBRE CEMENT SHEETING. STUDS @600mm CTRS. FIXING OF SHEETS @100mm CENTRES TO WALL. FIXING OF SHEETS @100mm HORIZONTAL CENTRES TO CAVITY DOOR POCKET. NO GLUE BETWEEN SHEETS AND STUDS. ARCHITRAVES TO DOORS & WINDOWS WITHIN ROOM ARE TO BE 18mm THICK.

NOTE: WALL MOUNTED EXTERNAL GARDEN TAPS TO BE @600mm ABOVE THE FFL UNLESS NOTED OTHERWISE

NOTE: FULL HEIGHT WALL TILING WITH SQUARE SET CEILINGS TO BATHROOM. STUDS @ 300mm CTRS. FIXING OF SHEETS AT 100mm CENTRES. NO GLUE BETWEEN SHEETS AND STUDS. ARCHITRAVES TO DOORS & WINDOWS WITHIN ROOM ARE TO BE 18mm THICK.

NOTE: PROVIDE 270L AMBIHEAT ELECTRIC HEAT PUMP (MODEL NO: 551270), COMPLIES AND INSTALLED IN ACCORDANCE WITH PLUMBING REGULATIONS 2018

AMM	TYPE	DATE	SIGN
004	DAKB, LEVELS ADDED	13.12.24	KMO
005	PCV001 ADDED	07.01.25	JKL
006	ENERGY ADDED	31.01.25	LMD
007	PCV003 & PCV004 ADDED	10.02.25	WIM
008	AMENDMENT ADDED	13.03.25	LMD
009	GARAGE AMENDMENT ADDED	19.03.25	LMD
010	FFL UPDATE ADDED	21.03.25	LMD
011	AMENDMENT ADDED	31.03.25	LMD
012	PLANNING PERMIT RFI	01.04.25	JKL

* NOTE DO NOT SCALE THESE DRAWINGS *

CONTRACT DRAWINGS	
ORBIT HOMES	DATE
CLIENT	DATE
CLIENT	DATE

PROPOSED RESIDENCE
FOR: [REDACTED]
AT: LOT 108 #10 SUNNY VISTA,
PAKENHAM - VIC 3810
MEL REF: .
PERMIT N°: .
JOB N°: 17540

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FLOOR PLAN	
AREAS	
GROUND FLOOR	189.21 m²
GARAGE	35.98 m²
PORCH	6.69 m²
O. LIVING	12.15 m²
TOTAL	244.03 m²

DRAWN: TRANG	DATE: 25.10.24
CHECK: LACHLAN	DATE: 13.12.24
SCALE: 1 : 100	SHEET No: 4 / 19
DESIGN	CAULFIELD 26A
ELEVATION	VOGUE
SPECIFICATION PREMIUM 2024	REVISION 12

FRONT ELEVATION MATERIALS TABLE AND PERCENTAGE

MATERIAL	AREA	PERCENTAGE
FACE BRICKWORK	7.91m ²	52.98%
RENDERED TONE 1	4.10m ²	27.46%
RENDERED TONE 2	2.92m ²	19.56%
TOTAL	14.93m ²	100.00%

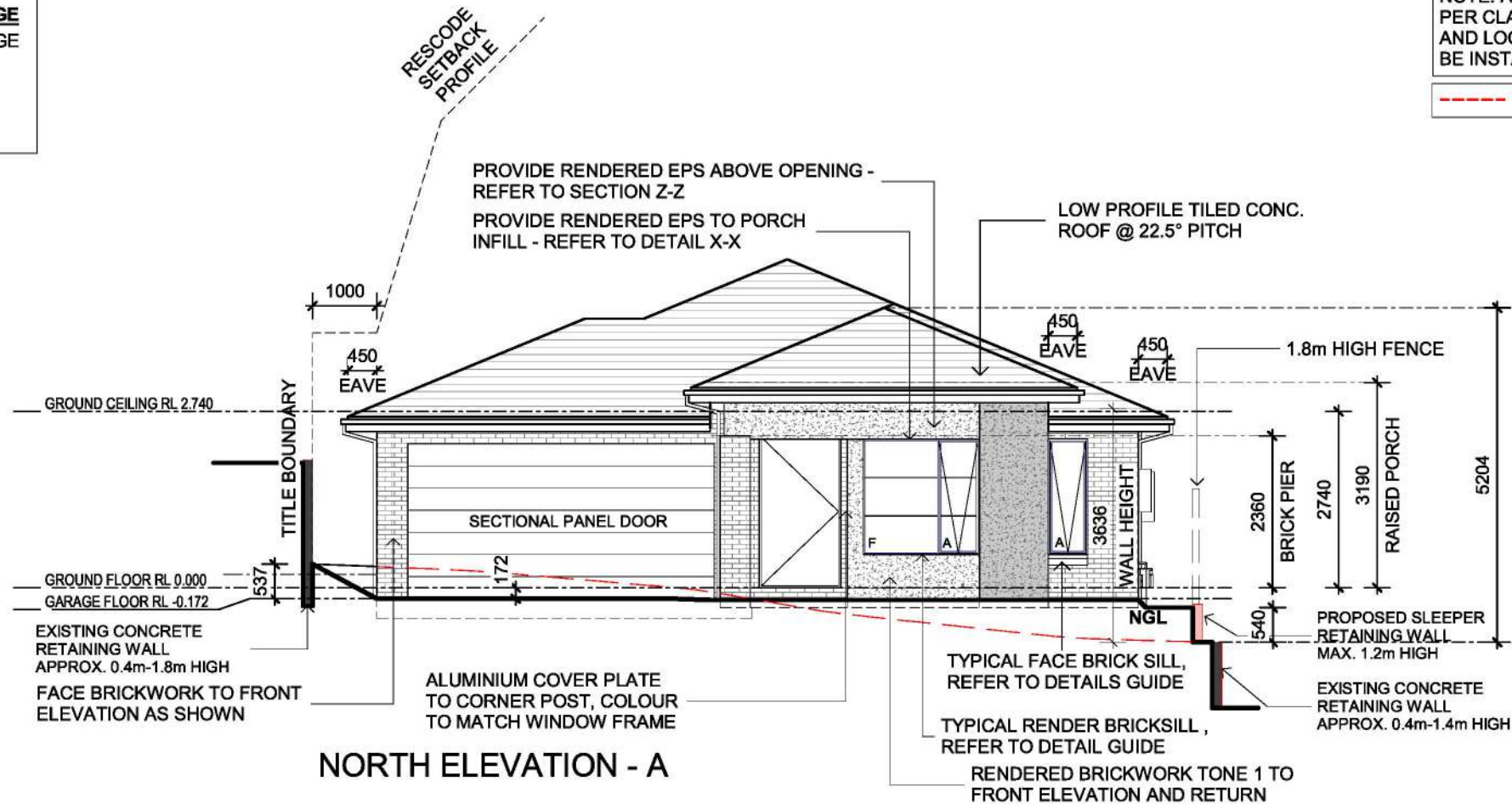
RENDER LEGEND

RENDER (1)

RENDER (2)

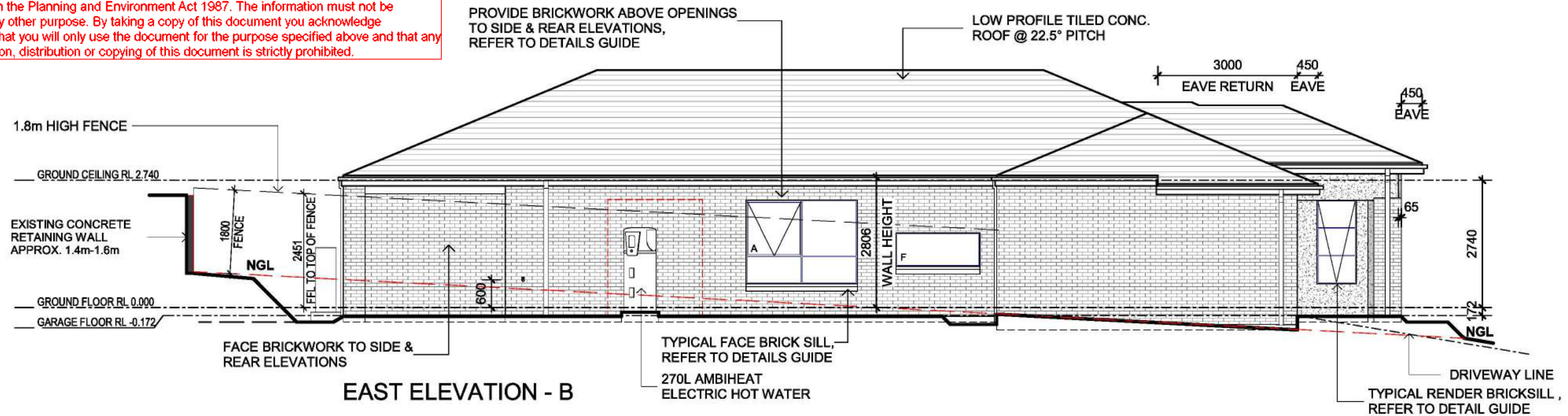
NOTE: ALL EXHAUST FANS TO BE DUCTED EXTERNALLY AS PER CLAUSE 10.8.2 OF NCC 2022. ROOF COWLS TO BE INSTALLED AND LOCATED AT INSTALLERS DISCRETION. COWLS NOT TO BE INSTALLED IN FRONT PORTION OF HOUSE.

SERVICES EXCLUSION ZONES



NORTH ELEVATION - A

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EAST ELEVATION - B

AMM	TYPE	DATE	SIGN
004	DAKB, LEVELS ADDED	13.12.24	KMO
005	PCV/001 ADDED	07.01.25	JKL
006	ENERGY ADDED	31.01.25	LMD
007	PCV003 & PCV004 ADDED	10.02.25	WIM
008	AMENDMENT ADDED	13.03.25	LMD
009	GARAGE AMENDMENT ADDED	19.03.25	LMD
010	FFL UPDATE ADDED	21.03.25	LMD
011	AMENDMENT ADDED	31.03.25	LMD
012	PLANNING PERMIT RFI	01.04.25	JKL

* NOTE DO NOT SCALE THESE DRAWINGS *

CONTRACT DRAWINGS

ORBIT HOMES DATE

CLIENT DATE

CLIENT DATE

PROPOSED RESIDENCE

FOR

AT: LOT 108 #10 SUNNY VISTA,
PAKENHAM - VIC 3810

MEL REF: .

PERMIT N°: .

JOB N°: 17540

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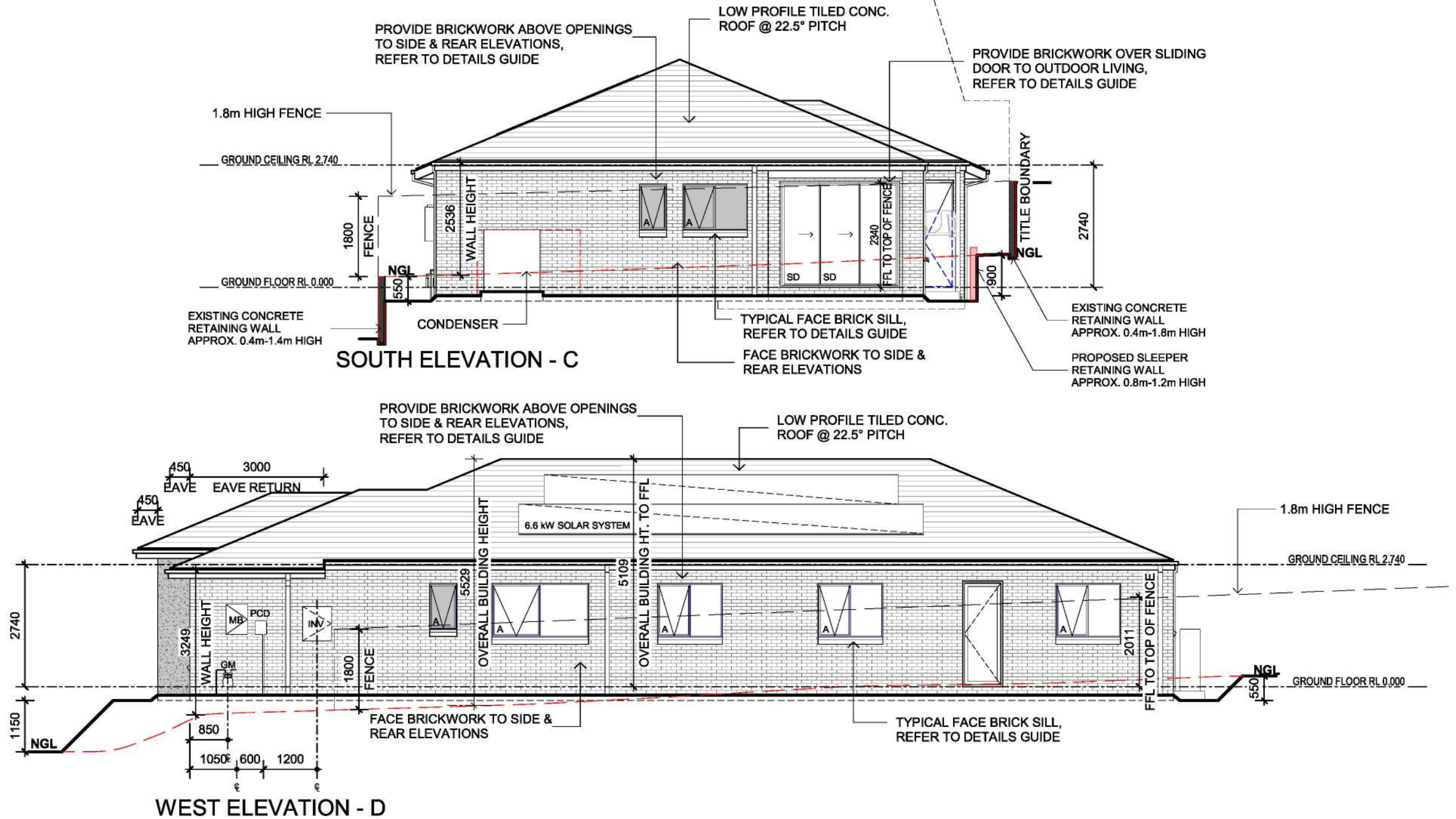
ELEVATIONS

DRAWN: TRANG	DATE: 25.10.24
CHECK: LACHLAN	DATE: 13.12.24
SCALE: 1 : 100	SHEET No: 5 / 19
DESIGN	CAULFIELD 26A
ELEVATION	VOGUE
SPECIFICATION PREMIUM 2024	REVISION 12

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--- SERVICES EXCLUSION ZONES



AMM	TYPE	DATE	SIGN
004	DAKB, LEVELS ADDED	13.12.24	KMO
005	PCV/001 ADDED	07.01.25	JKL
006	ENERGY ADDED	31.01.25	LMD
007	PCV003 & PCV004 ADDED	10.02.25	WIM
008	AMENDMENT ADDED	13.03.25	LMD
009	GARAGE AMENDMENT ADDED	19.03.25	LMD
010	FFL UPDATE ADDED	21.03.25	LMD
011	AMENDMENT ADDED	31.03.25	LMD
012	PLANNING PERMIT RFI	01.04.25	JKL

* NOTE DO NOT SCALE THESE DRAWINGS *

CONTRACT DRAWINGS	DATE
ORBIT HOMES	DATE
CLIENT	DATE
CLIENT	DATE

PROPOSED RESIDENCE
FOR [REDACTED]
AT: LOT 108 #10 SUNNY VISTA,
PAKENHAM - VIC 3810
MEL REF: .
PERMIT N°: .
JOB N°: 17540

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ELEVATIONS	DRAWN: TRANG	DATE: 25.10.24
	CHECK: LACHLAN	DATE: 13.12.24
	SCALE: 1 : 100	SHEET No: 6 / 19
	DESIGN	CAULFIELD 26A
	ELEVATION	VOGUE
	SPECIFICATION PREMIUM 2024	REVISION 12

FRONT ELEVATION MATERIALS TABLE AND PERCENTAGE

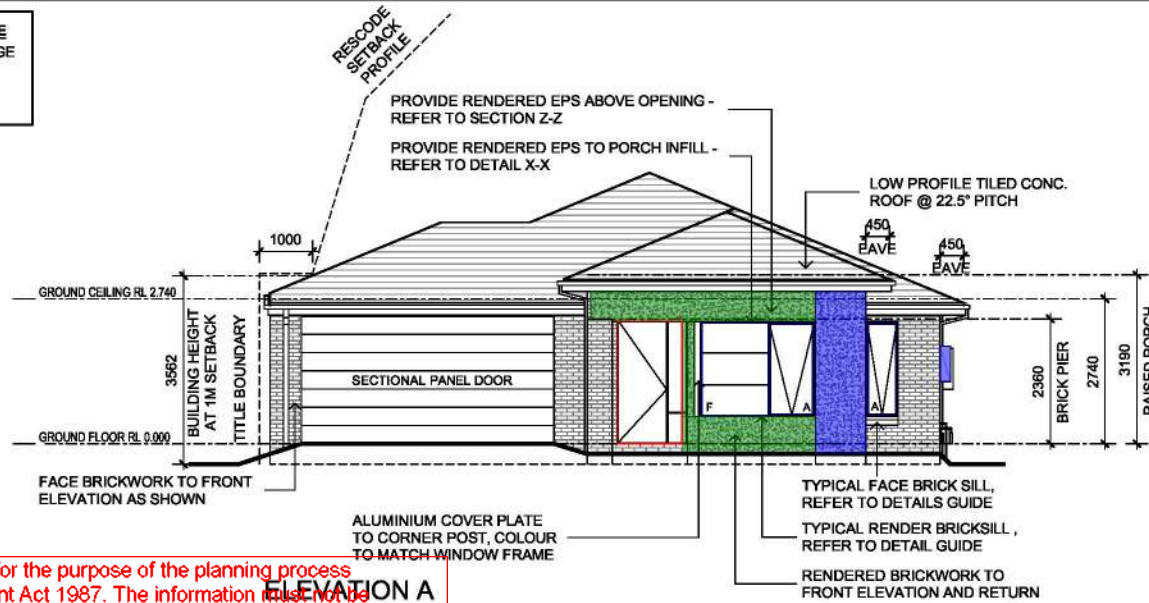
MATERIAL	AREA	PERCENTAGE
FACE BRICKWORK	6.87m²	49.46%
RENDERED MATERIALS	7.02m²	50.54%
TOTAL	13.89m²	100.00%



BILLY THE KID



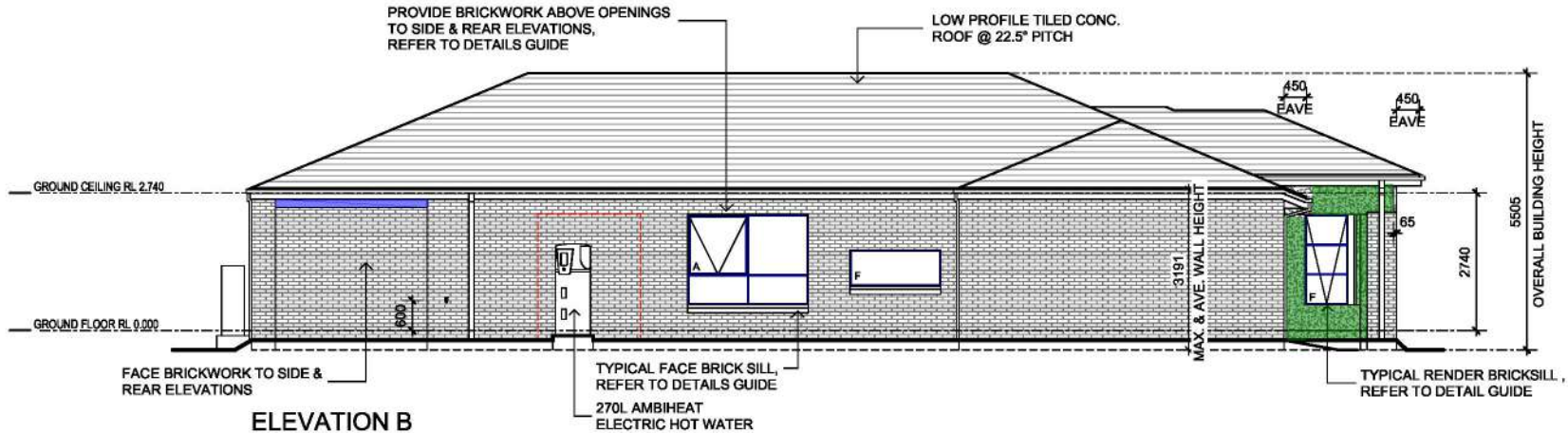
COLORBOND BASALT



NOTE: ALL EXHAUST FANS TO BE DUCTED EXTERNALLY AS PER CLAUSE 10.8.2 OF NCC 2022. ROOF COWLS TO BE INSTALLED AND LOCATED AT INSTALLERS DISCRETION. COWLS NOT TO BE INSTALLED IN FRONT PORTION OF HOUSE.

SERVICES EXCLUSION ZONES

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ELEVATION B

AMM	TYPE	DATE	SIGN
001	QA DTC	28.10.24	LMD
002	H&C LAYOUT ADDED	07.11.24	LMD

* NOTE DO NOT SCALE THESE DRAWINGS *

CONTRACT DRAWINGS

ORBIT HOMES	DATE
CLIENT	DATE
CLIENT	DATE

PROPOSED RESIDENCE FOR

AT: LOT 108 #10 SUNNY VISTA,
PAKENHAM - VIC 3810

MEL REF: .
PERMIT N°: .

JOB N°: 17540

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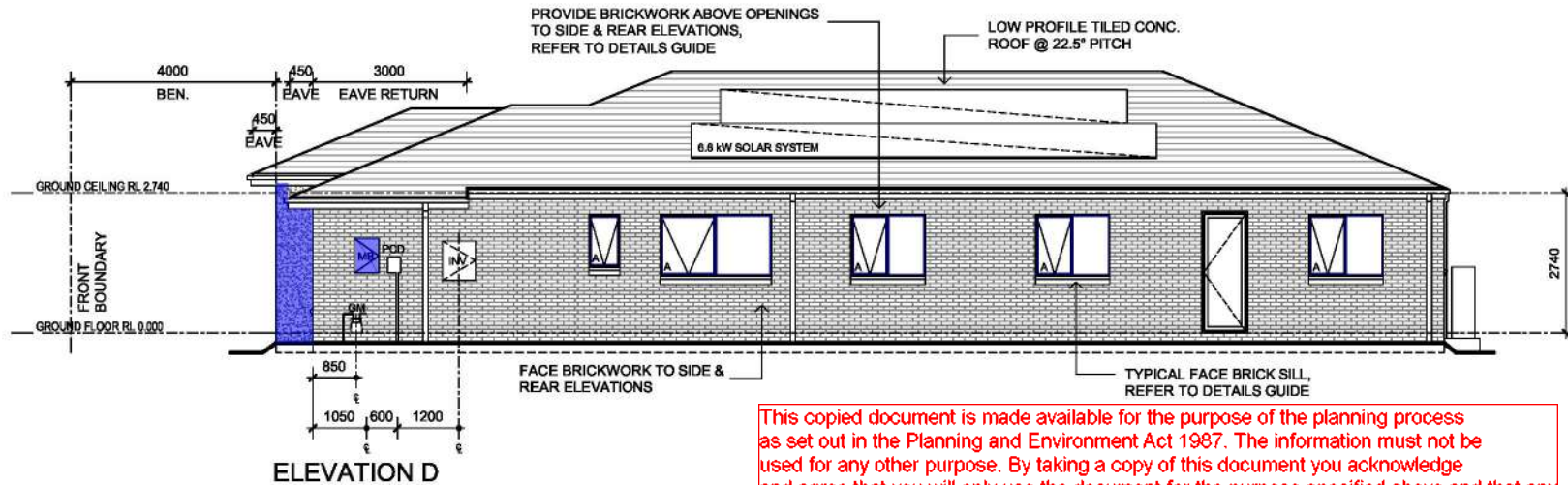
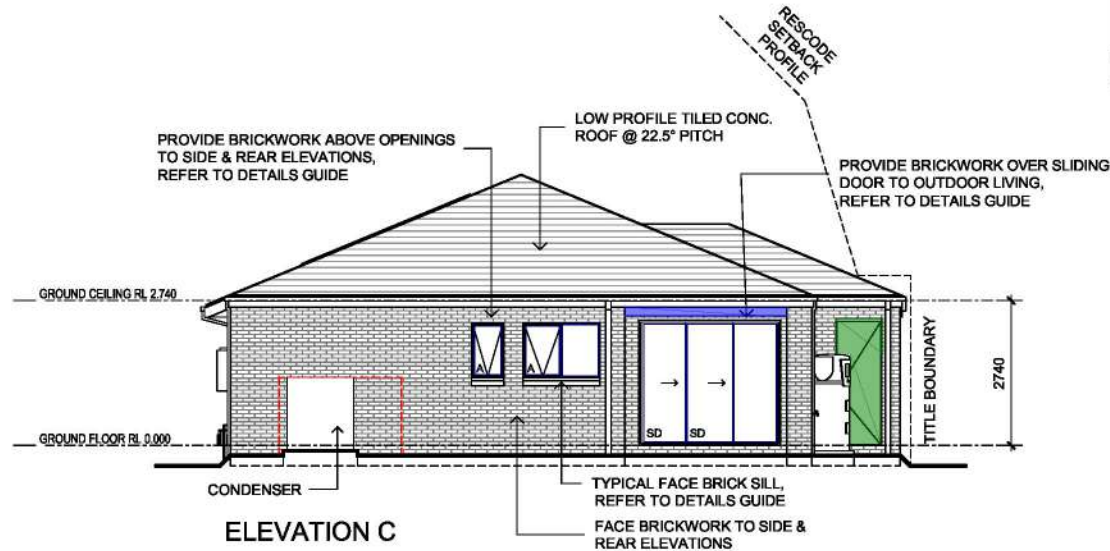
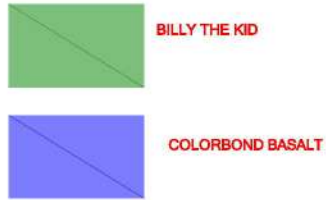
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ELEVATIONS

DRAWN: TRANG	DATE: 25.10.24
CHECK: LACHLAN	DATE: XXX
SCALE: 1 : 100	SHEET No: 5 / 19
DESIGN	CAULFIELD 26A
ELEVATION	VOGUE
SPECIFICATION PREMIUM 2024	REVISION 0

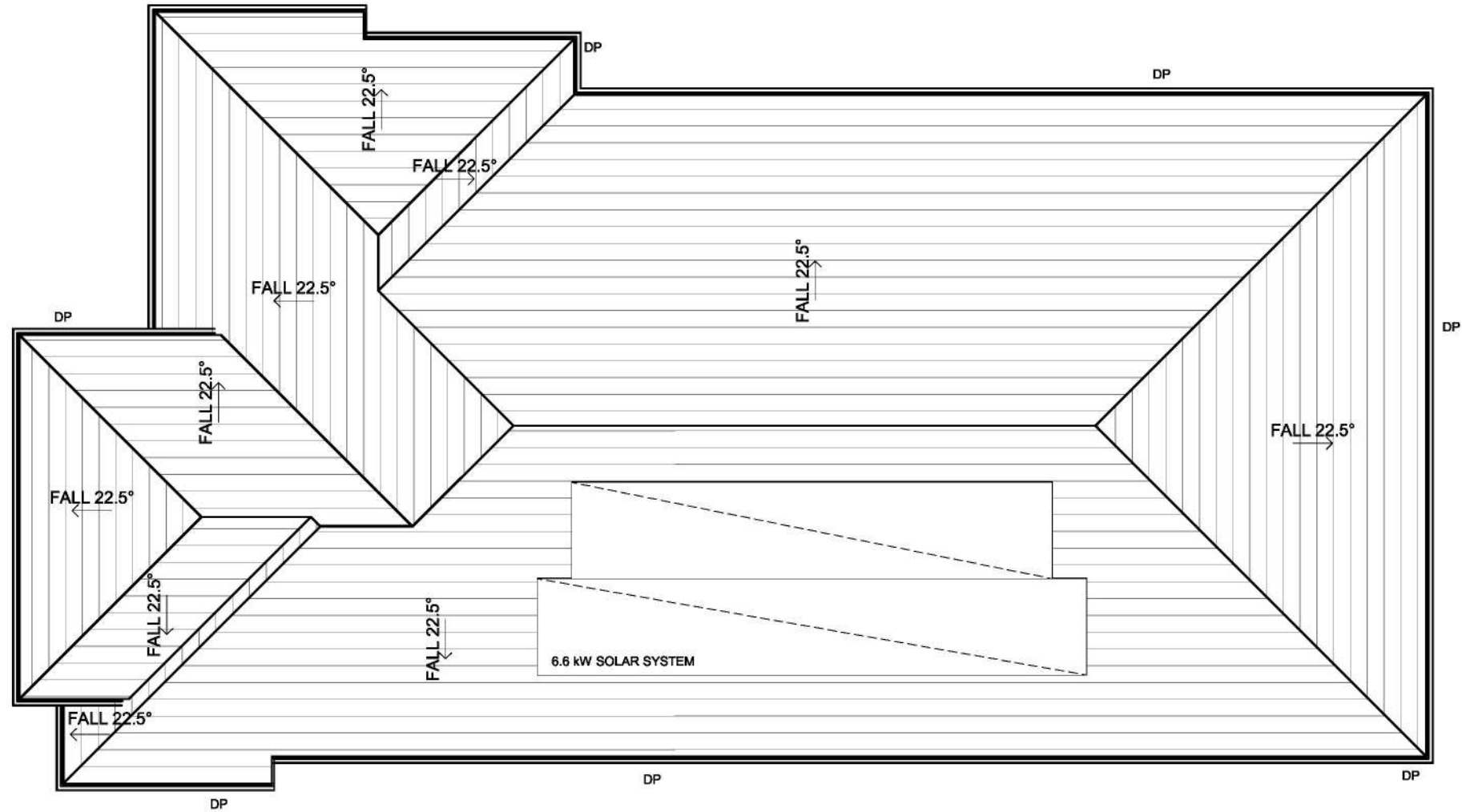
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AMM	TYPE	DATE	SIGN	CONTRACT DRAWINGS	PROPOSED RESIDENCE	Orbit HOMES	ELEVATIONS	DRAWN: TRANG	DATE: 25.10.24
001	QA DTC	28.10.24	LMD		FOR: [REDACTED]			CHECK: LACHLAN	DATE: XXX
002	H&C LAYOUT ADDED	07.11.24	LMD		AT: LOT 108 #10 SUNNY VISTA, PAKENHAM - VIC 3810			SCALE: 1 : 100	SHEET No: 6 / 19
				ORBIT HOMES	MEL REF: .			DESIGN	CAULFIELD 26A
				CLIENT	PERMIT N°: .			ELEVATION	VOGUE
				CLIENT	JOB N°: 17540			SPECIFICATION	REVISION
								PREMIUM 2024	0
* NOTE DO NOT SCALE THESE DRAWINGS *									



NOTE: R2.5 INSULATION BATTS TO BE INSTALLED TO THE FULL PERIMETER OF THE CEILING (500MM), NCC2022-H4P7 REQUIRES THAT A MINIMUM GAP OF 20MM BE MAINTAINED ACROSS THE ENTIRE ROOF SPACE

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AMM	TYPE	DATE	SIGN	CONTRACT DRAWINGS	PROPOSED RESIDENCE	Orbit HOMES	ROOF PLAN	DRAWN: TRANG	DATE: 25.10.24
004	DAKB, LEVELS ADDED	13.12.24	KMO		FOR: [REDACTED]			CHECK: LACHLAN	DATE: 13.12.24
005	PCV/001 ADDED	07.01.25	JKL					SCALE: 1 : 100	SHEET No: 15 /19
006	ENERGY ADDED	31.01.25	LMD	ORBIT HOMES	AT: [REDACTED] SUNNY VISTA,			DESIGN	CAULFIELD 26A
007	PCV003 & PCV004 ADDED	10.02.25	WIM		PAKENHAM - VIC 3810			ELEVATION	VOGUE
008	AMENDMENT ADDED	13.03.25	LMD	CLIENT	MEL REF: .			SPECIFICATION	REVISION
009	GARAGE AMENDMENT ADDED	19.03.25	LMD		PERMIT N°: .			PREMIUM 2024	12
010	FFL UPDATE ADDED	21.03.25	LMD	CLIENT	JOB N°: 17540				
011	AMENDMENT ADDED	31.03.25	LMD						
012	PLANNING PERMIT RFI	01.04.25	JKL						
* NOTE DO NOT SCALE THESE DRAWINGS *									