
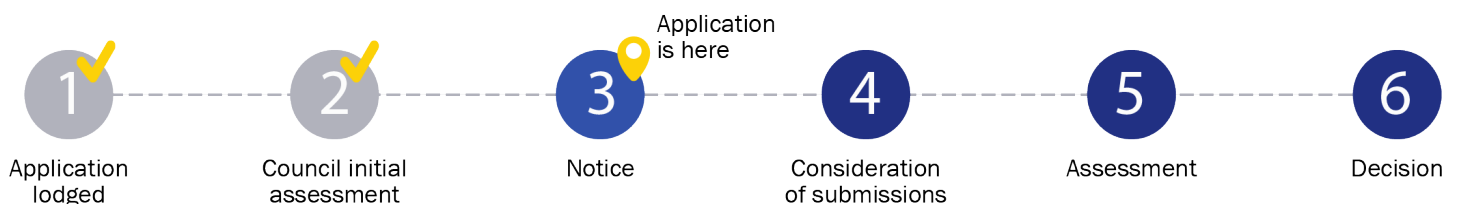


Notice of Application for a Planning Permit

The land affected by the application is located at:	L203 PS902144 V12580 F621 7 Monterey Way, Pakenham VIC 3810
The application is for a permit to:	Buildings and Works (Construction of a Dwelling and a Fence)
A permit is required under the following clauses of the planning scheme:	
42.01-2	Construct a building or construct or carry out works
42.01-2	Construct a fence
APPLICATION DETAILS	
The applicant for the permit is:	Project D
Application number:	T250119
<p>You may look at the application and any documents that support the application at the office of the responsible authority:</p> <p>Cardinia Shire Council, 20 Siding Avenue, Officer 3809.</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.</p>	
	
HOW CAN I MAKE A SUBMISSION?	
This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:	16 May 2025
WHAT ARE MY OPTIONS? <p>Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.</p> <p>If you object, the Responsible Authority will notify you of the decision when it is issued.</p>	<p>An objection must:</p> <ul style="list-style-type: none">• be made to the Responsible Authority in writing;• include the reasons for the objection; and• state how the objector would be affected. <p>The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.</p>



Application Summary

Portal Reference A12520HC

Basic Information

Proposed Use	Proposed single storey dwelling on a Vacant Lot. Project has gone through the Developer for Design Approval in which the Developers mentioned that a Planning Permit is required.
Current Use	Vacant Lot
Cost of Works	\$350,000
Site Address	7 Monterey Way Pakenham 3810

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

☐ Note: During the application process you may be required to provide more information in relation to any encumbrances.

Contacts

Type	Name	Address	Contact Details
Applicant	Project D	23 Moorland Road, Cairnlea VIC 3023	M: 0412-223-771 E: nam@projectd.com.au
Owner			
Preferred Contact	Project D	23 Moorland Road, Cairnlea VIC 3023	M: 0412-223-771 E: nam@projectd.com.au

Fees

Regulation Fee Condition	Amount	Modifier	Payable
9 - Class 4 More than \$100,000 but not more than \$500,000	\$1,420.70	100%	\$1,420.70
Total			\$1,420.70

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VIC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am–5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

Documents Uploaded

Date	Type	Filename
25-02-2025	A Copy of Title	Certificate of Title.pdf
25-02-2025	Encumbrance	Instrument - AX385769]-.pdf
25-02-2025	Site plans	[SITE] Lot 203, No.7 Monterey Way PAKENHAM 3810.pdf
25-02-2025	A proposed floor plan	[FLOOR PLAN] Lot 203, No.7 Monterey Way PAKENHAM 3810.pdf
25-02-2025	Proposed elevation plan	[ELEVATIONS] Lot 203, No.7 Monterey Way PAKENHAM 3810.pdf
25-02-2025	Overlay Requirements	[DA] Lot 203, No.7 Monterey Way PAKENHAM 3810.pdf

☐ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

Lodged By

Site User	<div>Project D</div>	23 Moorland Road, Cairnlea VIC 3023	M: 0412-223-771 E: nam@projectd.com.au
Submission Date	25 February 2025 - 12:39:AM		

Declaration

☒ By ticking this checkbox, declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VIC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday
8.30amâ€“5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VIC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30amâ€“5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

PERMIT APPLICATION DETAILS

Application No.:	T250119 PA
Address of the Land:	7 MONTEREY WAY, PAKENHAM VIC 3810

APPLICANT DETAILS

Name:	
Organisation:	PROJECT D
Address:	23 MOORLAND ROAD, CAIRNLEA VIC 3023
Phone:	0412 223 771
Email:	NAM@PROJECTD.COM.AU

AMENDMENT TYPE

Under which section of the Act is this amendment being made? (select one)	
Section 50 – Amendment to application at request of applicant before notice:	<input checked="" type="checkbox"/>
Section 50A - Amendment to application at request of responsible authority before notice:	<input type="checkbox"/>
Section 57A – Amendment to application after notice is given:	<input type="checkbox"/>

AMENDMENT DETAILS

What is being amended? (select all that apply)		
What is being applied for <input checked="" type="checkbox"/>	Plans / other documents <input checked="" type="checkbox"/>	Applicant / owner details <input type="checkbox"/>
Land affected <input type="checkbox"/>	Other <input type="checkbox"/>	
Describe the changes. If you need more space, please attach a separate page.		
REQUEST TO INCLUDE THE PROPOSED BOUNDARY FENCING.		

Specify the estimated cost of any development for which the permit is required:		
Not applicable <input type="checkbox"/>	Unchanged <input checked="" type="checkbox"/>	New amount \$

DECLARATION

I declare that all the information in this request is true and correct and the owner (if not myself) has been notified of this request to amend the application.	
Name:	
Signature:	
Date:	08/04/2025

LODGEMENT

<p>Please submit this form, including all amended plans/documents, to mail@cardinia.vic.gov.au</p> <p>You can also make amendments to your application via the Cardinia ePlanning Portal at https://eplanning.cardinia.vic.gov.au/</p> <p>If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.</p>
--

IMPORTANT INFORMATION

<p>It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application.</p> <p>Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed.</p> <p>No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the <i>Planning and Environment (Fees) Regulations 2016</i> for more information.</p> <p>The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant.</p> <p>Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.</p> <p>Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the <i>Planning and Environment Act 1987</i>.</p>
--

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



08/04/2024

Application No.: T250119 PA
Property No.: 5000036740
Address: Lot 203, No.7 Monterey Way PAKENHAM VIC 3810
Proposal: Construction of a Single Dwelling on a Lot

Hi,

This letter is in regards to the application for Planning Permit to construct a Single Dwelling on a Lot.

As part of the Developer Design Approval assessment we need to make an application for Planning Permit. All other items have been addressed in order to comply with Developer Design Guidelines. Final item pending for Developer Design Approval was to remove a 'Recycled Water' note and show copy of Planning Permit Approval. Copy of the Developer comments has been attached to show the status of the Developer Design Approval application.

This project is at a stage where it complies with The Rise (Pakenham) Estate Design Guidelines pending the approval for Planning Permit. Drawings have also been updated and notes added as requested by Cardinia Town Planner.

Please take a look over the application and let me know if there is anything else you need.

Kind regards,



PROJECT D

0412 223 771

nam@projectd.com.au

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 2

VOLUME 12580 FOLIO 621

Security no : 124122304630N
Produced 25/02/2025 12:17 AM

LAND DESCRIPTION

Lot 203 on Plan of Subdivision 902144W.

PARENT TITLES :

Volume 12330 Folio 800 Volume 12580 Folio 422

Created by instrument PS902144W 01/11/2024

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

REGISTERED PROPRIETOR

ENCUMBRANCES, CAVEATS AND NOTICES

COVENANT PS902144W 01/11/2024

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987
AX385769J 25/10/2023

DIAGRAM LOCATION

SEE PS902144W FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
PS902144W (B)	PLAN OF SUBDIVISION	Registered	01/11/2024
AY684887B (E)	DISCHARGE OF MORTGAGE	Registered	10/12/2024
AY684888Y (E)	TRANSFER	Registered	10/12/2024
AY684889W (E)	MORTGAGE	Registered	10/12/2024

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 7 MONTEREY WAY PAKENHAM VIC 3810

ADMINISTRATIVE NOTICES

NIL

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 2 of 2

DOCUMENT END

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Imaged Document Cover Sheet

The document following this cover sheet is an imaged document supplied by LANDATA®, Secure Electronic Registries Victoria.

Document Type	Plan
Document Identification	PS902144W
Number of Pages (excluding this cover sheet)	5
Document Assembled	25/02/2025 24:17

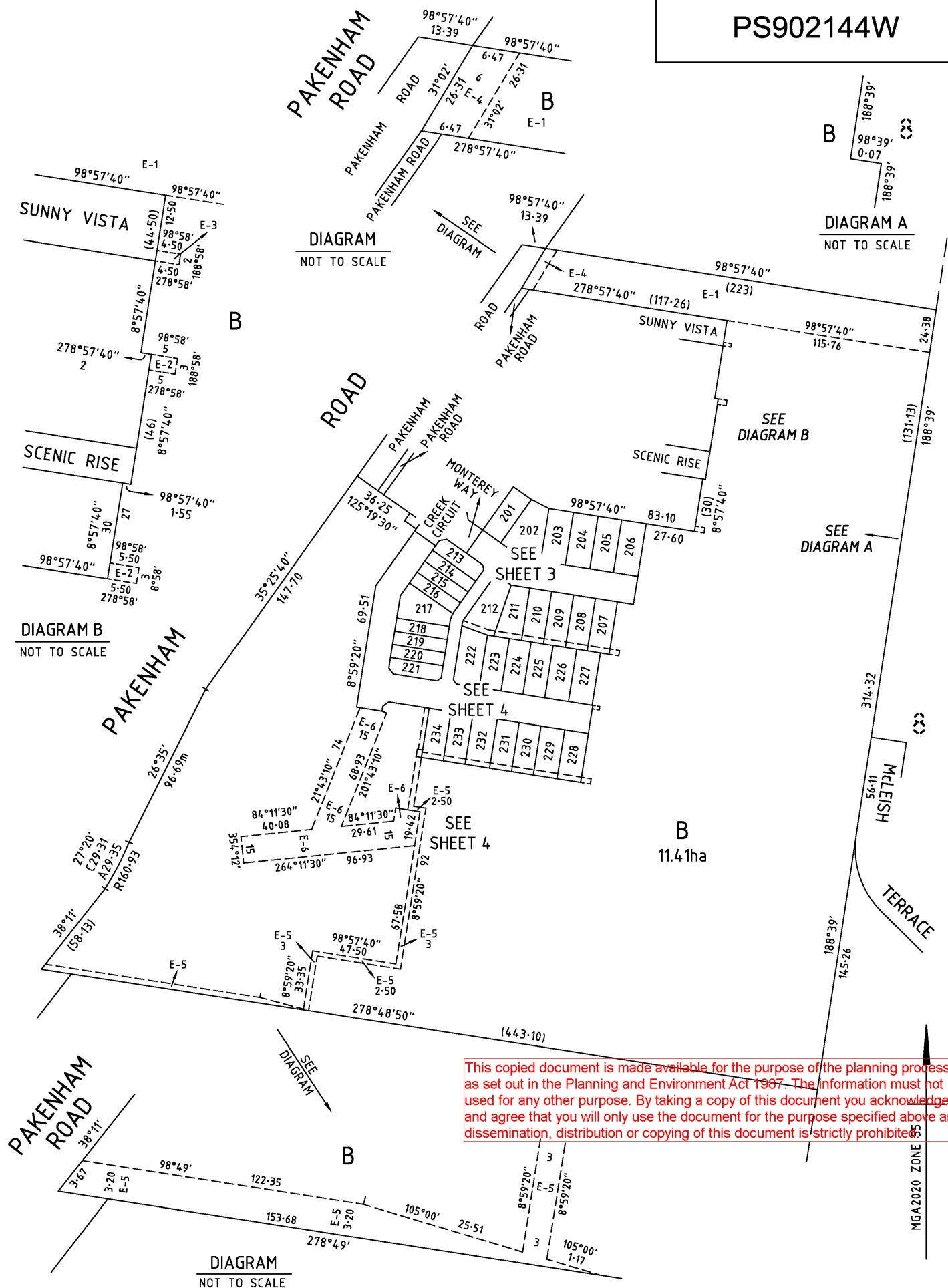
Copyright and disclaimer notice:

© State of Victoria. This publication is copyright. No part may be reproduced by any process except in accordance with the provisions of the Copyright Act 1968 (Cth) and for the purposes of Section 32 of the Sale of Land Act 1962 or pursuant to a written agreement. The information is only valid at the time and in the form obtained from the LANDATA® System. None of the State of Victoria, LANDATA®, Secure Electronic Registries Victoria Pty Ltd (ABN 86 627 986 396) as trustee for the Secure Electronic Registries Victoria Trust (ABN 83 206 746 897) accept responsibility for any subsequent release, publication or reproduction of the information.

The document is invalid if this cover sheet is removed or altered.

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

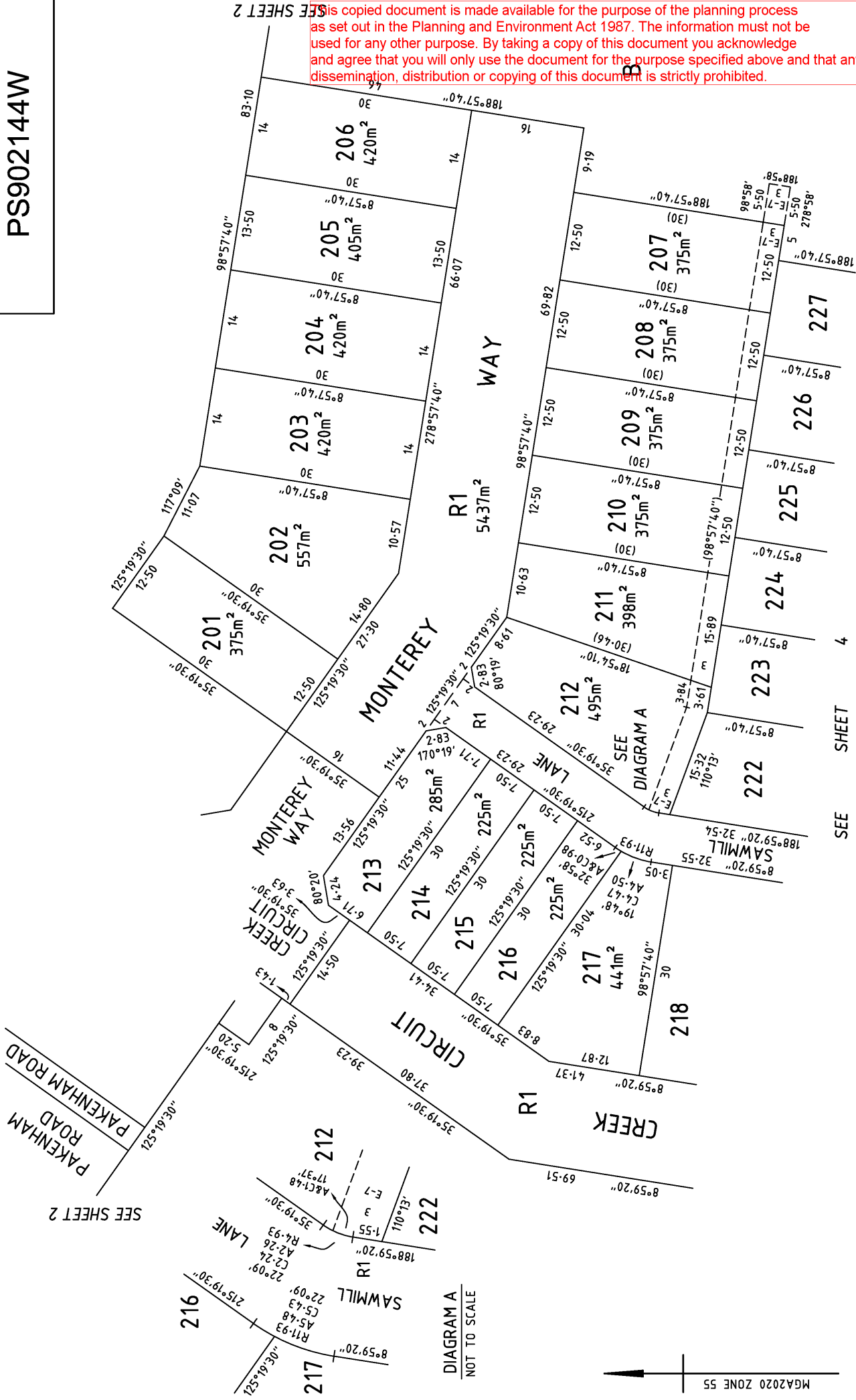
<h1>PLAN OF SUBDIVISION</h1>			EDITION 1	<h1>PS902144W</h1>
LOCATION OF LAND PARISH: NAR NAR GOON TOWNSHIP: PAKENHAM SECTION: — CROWN ALLOTMENT: 32(PT), 33(PT) & 34(PT) TITLE REFERENCE: VOL. 12580 FOL. 422 VOL. 12330 FOL. 800 LAST PLAN REFERENCE: PS848743W (LOT A) LP86652 (LOT 2) POSTAL ADDRESS: 14 SUNNY VISTA (at time of subdivision) PAKENHAM ROAD PAKENHAM 3810 MGA CO-ORDINATES: E: 366 200 ZONE: 55 (of approx centre of land N: 5 786 450 GDA 2020 in plan)			Council Name: Cardinia Shire Council Council Reference Number: S21-147 Planning Permit Reference: T160690-2 SPEAR Reference Number: S182118A Certification This plan is certified under section 11 (7) of the Subdivision Act 1988 Date of original certification under section 6 of the Subdivision Act 1988: 16/08/2023 Public Open Space A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has not been satisfied at Certification Digitally signed by: Sonia Higgins for Cardinia Shire Council on 27/06/2024 Statement of Compliance issued: 28/10/2024 Public Open Space A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has been satisfied at Statement of Compliance	
VESTING OF ROADS AND/OR RESERVES			NOTATIONS	
IDENTIFIER	COUNCIL/BODY/PERSON		LOTS 1 TO 200 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN. LOTS IN THIS PLAN MAY BE AFFECTED BY ONE OR MORE RESTRICTIONS. FOR DETAILS OF RESTRICTIONS INCLUDING BURDENED LOTS & BENEFITING LOTS, SEE CREATION OF RESTRICTIONS ON SHEET 5 OTHER PURPOSE OF PLAN: TO REMOVE THAT PART OF THE SEWERAGE EASEMENT CREATED AS E-3 ON PS848743W CONTAINED WITHIN MONTEREY WAY ON THIS PLAN. GROUND FOR REMOVAL OF EASEMENT: AGREEMENT FROM ALL INTERESTED PARTIES (SECTION 6(1)K SUBDIVISION ACT 1988) <div style="border: 1px solid black; padding: 5px; text-align: center;"> WARNING: The restrictive covenant(s)/restriction(s) in this plan may have been varied or removed. For current information, please refer to the relevant folio(s) of the Register, noting section 88(3) of the Transfer of Land Act 1958 </div>	
ROAD R1	CARDINIA SHIRE COUNCIL			
NOTATIONS			<div style="border: 1px solid black; padding: 5px;"> DEPTH LIMITATION: DOES NOT APPLY This is a SPEAR plan. STAGING: This is not a staged subdivision. Planning Permit No. T160690 SURVEY: This plan is based on survey. This survey has been connected to permanent marks No(s). 89, 199, 213, 285, 286, 287, 295, 319, 320, 354, 355, 363, 674, 675 <div style="font-size: small;"> Estate: The Rise - Pakenham Phase No.: 02 No. of Lots: 34 + Lot B PHASE AREA: 1.772ha </div> </div>	
DEPTH LIMITATION: DOES NOT APPLY This is a SPEAR plan. STAGING: This is not a staged subdivision. Planning Permit No. T160690 SURVEY: This plan is based on survey. This survey has been connected to permanent marks No(s). 89, 199, 213, 285, 286, 287, 295, 319, 320, 354, 355, 363, 674, 675 <div style="font-size: small;"> Estate: The Rise - Pakenham Phase No.: 02 No. of Lots: 34 + Lot B PHASE AREA: 1.772ha </div>				
EASEMENT INFORMATION				
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				
SECTION 12(2) OF THE SUBDIVISION ACT 1988 APPLIES TO LOTS 213 TO 216 (BOTH INCLUSIVE) AND 218 TO 221 (BOTH INCLUSIVE) IN THIS PLAN.				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1, E-4 E-2 E-2, E-3 E-7, E-5 E-7, E-6 E-4	PIPELINE DRAINAGE SEWERAGE SEWERAGE DRAINAGE SUPPLY OF WATER (THROUGH UNDERGROUND PIPES)	24.38 SEE DIAG SEE DIAG SEE DIAG SEE DIAG 6	INST. D613929 PS848743W PS848743W THIS PLAN THIS PLAN PS848743W	VICTORIA PIPELINES COMMISSION CARDINIA SHIRE COUNCIL SOUTH EAST WATER CORPORATION SOUTH EAST WATER CORPORATION CARDINIA SHIRE COUNCIL SOUTH EAST WATER CORPORATION
This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.				
Beveridge Williams development & environment consultants Melbourne ph : 03 9524 8888 www.beveridgewilliams.com.au		<div style="display: flex; justify-content: space-between;"> <div> SURVEYORS FILE REF: 2000490/02 2000490-02-PS-V6.DWG Digitally signed by: ADRIAN JAMES FREEMAN, Licensed Surveyor, Surveyor's Plan Version (6), 03/06/2024, SPEAR Ref: S182118A </div> <div> ORIGINAL SHEET SIZE: A3 SHEET 1 OF 5 Land Use Victoria Plan Registered 10:25 AM 01/11/2024 Assistant Registrar of Titles </div> </div>		



This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1967. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

PS902144W

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



SEE SHEET 4

BW
Beveridge Williams
development & environment consultants
Melbourne ph : 03 9524 8888
www.beveridgewilliams.com.au

SURVEYORS
REFERENCE
2000490
/02

SCALE
1 : 500

5 0 5 10 15 20
LENGTHS ARE IN METRES

Digitally signed by: ADRIAN JAMES FREEMAN, Licensed
Surveyor,
Surveyor's Plan Version (6),
03/06/2024, SPEAR Ref: S182118A

ORIGINAL SHEET
SIZE: A3

8
SHEET 3

SUBDIVISION ACT 1988

CREATION OF RESTRICTION 'A'

PS902144W

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 201 TO 234 (BOTH INCLUSIVE)

BENEFITING LAND: LOTS 201 TO 234 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THE PLAN OF SUBDIVISION SHALL NOT:

- (1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE OTHER THAN A BUILDING OR STRUCTURE THAT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RISE (PAKENHAM) ESTATE DESIGN GUIDELINES AS AMENDED FROM TIME TO TIME.

A COPY OF THE DESIGN GUIDELINES AND BUILDING ENVELOPE PLAN IS AVAILABLE at <http://www.beveridgewilliams.com.au/design-application/>

- (2) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE ON THE LOT PRIOR TO:

- (A) COPIES OF BUILDING PLANS, ELEVATION, ROOF PLANS, SITE PLANS (INCORPORATING SETBACKS FROM ALL BOUNDARIES, EXISTING CONTOURS, PROPOSED FINISHED FLOOR LEVELS AND SITE LEVELS, ALL PROPOSED DRIVEWAYS AND PATHS, DETAILS OF FENCES AND OUTBUILDINGS AND LANDSCAPING) AND SCHEDULES OF EXTERNAL COLOURS AND MATERIALS HAVE BEEN SUBMITTED VIA THE DESIGN PORTAL AT THE ABOVE ADDRESS OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME;
- (B) THE DESIGN ASSESSMENT PANEL OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME HAVE GIVEN ITS WRITTEN APPROVAL TO THE PLANS PRIOR TO THE COMMENCEMENT OF WORKS.

VARIATION:

ANY VARIATION TO CONDITIONS 1 AND 2 OF RESTRICTION 'A' WILL REQUIRE THE CONSENT OF THE DESIGN ASSESSMENT PANEL.

EXPIRY:

THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER;

- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 (OR SIMILAR) IN RESPECT OF A BUILDING ON EVERY RESIDENTIAL LOT ON THIS PLAN.
- (ii) 31 DECEMBER 2039.

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

CREATION OF RESTRICTION 'B'

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 201 TO 234 (BOTH INCLUSIVE)

BENEFITING LAND: LOTS 201 TO 234 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THE PLAN OF SUBDIVISION SHALL NOT:

- 1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE WITH PARTY WALLS UNLESS THE PARTY WALLS ARE CONSTRUCTED SIMULTANEOUSLY WITH THE ABUTTING LOTS

EXPIRY:

THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER;

- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 (OR SIMILAR) IN RESPECT OF A BUILDING ON EVERY RESIDENTIAL LOT ON THIS PLAN.
- (ii) 31 DECEMBER 2039.



Beveridge Williams
development & environment consultants

Melbourne ph : 03 9524 8888

www.beveridgewilliams.com.au

SURVEYORS REF
2000490/02

Digitally signed by: ADRIAN JAMES FREEMAN, Licensed Surveyor,
Surveyor's Plan Version (6),
03/06/2024, SPEAR Ref: S182118A

ORIGINAL SHEET
SIZE: A3

SHEET 5

Digitally signed by:
Cardinia Shire Council,
27/06/2024,
SPEAR Ref: S182118A



Department of Environment, Land, Water & Planning

Electronic Instrument Statement

Copyright State of Victoria. No part of this publication may be reproduced except as permitted by the Copyright Act 1968 (Cth), to comply with a statutory requirement or pursuant to a written agreement. The information is only valid at the time and in the form obtained from the LANDATA REGD TM System. None of the State of Victoria, its agents or contractors, accepts responsibility for any subsequent publication or reproduction of the information.

The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

Produced 25/02/2025 12:17:03 AM

Status	Registered	Dealing Number	AX385769J
Date and Time Lodged	25/10/2023 12:57:26 PM		

Lodger Details

Lodger Code	21884L
Name	SETTLE CONNECT PTY LTD
Address	
Lodger Box	
Phone	
Email	
Reference	Cardinia (12330/801)

APPLICATION TO RECORD AN INSTRUMENT

Jurisdiction	VICTORIA
--------------	----------

Privacy Collection Statement

The information in this form is collected under statutory authority and used for the purpose of maintaining publicly searchable registers and indexes.

Estate and/or Interest

FEE SIMPLE

Land Title Reference

12330/800
12330/801

Instrument and/or legislation

RECORD - AGREEMENT - SECTION 173
Planning & Environment Act - section 173

Applicant(s)

Name	CARDINIA SHIRE COUNCIL
Address	
Property Name	CARDINIA SHIRE OFFICE
Street Number	20
Street Name	SIDING
Street Type	AVENUE
Locality	OFFICER
State	VIC

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



Department of Environment, Land, Water & Planning

Electronic Instrument Statement

Postcode 3809

Additional Details

Refer Image Instrument

The applicant requests the recording of this Instrument in the Register.

Execution

1. The Certifier has taken reasonable steps to verify the identity of the applicant or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of	CARDINIA SHIRE COUNCIL
Signer Name	
Signer Organisation	DYE & DURHAM LEGAL PTY LTD
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	25 OCTOBER 2023

File Notes:

NIL

This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Imaged Document Cover Sheet

The document following this cover sheet is an imaged document supplied by LANDATA®, Secure Electronic Registries Victoria.

Document Type	Instrument
Document Identification	AX385769J
Number of Pages (excluding this cover sheet)	17
Document Assembled	25/02/2025 24:17

Copyright and disclaimer notice:

© State of Victoria. This publication is copyright. No part may be reproduced by any process except in accordance with the provisions of the Copyright Act 1968 (Cth) and for the purposes of Section 32 of the Sale of Land Act 1962 or pursuant to a written agreement. The information is only valid at the time and in the form obtained from the LANDATA® System. None of the State of Victoria, LANDATA®, Secure Electronic Registries Victoria Pty Ltd (ABN 86 627 986 396) as trustee for the Secure Electronic Registries Victoria Trust (ABN 83 206 746 897) accept responsibility for any subsequent release, publication or reproduction of the information.

The document is invalid if this cover sheet is removed or altered.

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

HWL
EBSWORTH
LAWYERS

Deed of Agreement

**Under s173 of the
*Planning and Environment Act 1987***

Cardinia Shire Council

and

BNG (Pakenham) Pty Ltd (ACN 640125686)

Ref: DV:NB:1050250

Doc ID 1115801193/v1

Level 8, 147 Collins Street, Melbourne VIC 3000 Australia
PO Box 3, Collins Street West VIC 3007 Australia
DX 564 Melbourne

Telephone +61 3 8644 3500
Facsimile 1300 365 323 (Australia) +61 3 9034 3257 (International)
hwlebsworth.com.au

Table of contents

1.	Definitions and interpretation clauses	2
2.	Owner's obligations	5
3.	Further obligations	5
4.	Agreement under Section 173 of the Act	6
5.	Owner's warranties	7
6.	Successors in title	7
7.	Notices	7
8.	Miscellaneous	8
	Schedule	10
	Executed as a deed	11
	Schedule 1	12
	Schedule 2	13

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Deed of Agreement

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Date 06/10/2023

Parties	Cardinia Shire Council of 20 Siding Avenue, Officer 3809 (Council)
	BNG (PAKENHAM) PTY LTD (ACN 640125686) of Level 5, 991 Whitehorse Road, Box Hill VIC 3128 (Owner)

Recitals	<p>A. Council is the Responsible Authority pursuant to the Act for the administration and enforcement of the Planning Scheme, which applies to the Subject Land.</p> <p>B. The Owner is or is entitled to be the registered proprietor of the Subject Land, which is the land over which this Agreement is intended to be registered.</p> <p>C. On 19 December 2017 Council issued Planning Permit No. T160690 (Planning Permit), which allows for the subdivision of the Subject Land, associated works, fencing, removal of native vegetation and altering access to a road in a Road Zone Category 1, generally in accordance with the approved plans.</p> <p>D. On 9 June 2021 Council amended the Planning Permit (T160690-2) (Amended Planning Permit).</p> <p>E. Condition 41 of the Amended Planning Permit provides that:</p> <p><i>Prior to the issuing of a Statement of Compliance for each stage, the owner must enter into an agreement pursuant to Section 173 of the Planning and Environment Act 1987 to provide for the following:</i></p> <p>a) <i>A plan of subdivision to show the location and dimensions of the plantation reserve as well as the building envelopes.</i></p> <p>b) <i>A requirement that each land owner must maintain the</i></p>
----------	--

plantation reserve in perpetuity at the owner's cost. A separate maintenance/weed control schedule is required.

- c) A requirement that any fencing within the plantation reserve must be wire or similar material to the satisfaction of the Responsible Authority.*
- d) A requirement that each lot affected by the plantation reserve must comply with the relevant Building Design Guidelines registered on title.*

F. The Parties have agreed to enter into this Agreement:

- (a) to give effect to the requirements of the Amended Planning Permit;
- (b) that the Building Envelopes referred to in this Agreement relate only to the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land; and
- (c) to achieve and advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Subject Land.

This deed witnesses that in consideration of, among other things, the mutual promises contained in this deed the parties agree as follows:

1. Definitions and interpretation clauses

1.1 Definitions

In this deed the following definitions apply:

Act means the *Planning and Environment Act 1987* (Vic).

Agreement means this Deed of Agreement and any Agreement executed by the Parties expressed to be supplemental to this Agreement.

Building Design Guidelines means the Building Design Guidelines required by conditions 6 and 7 of the Planning Permit.

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Building Envelopes	means the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land.
Building Envelope Plan	means the plan showing the location and dimensions of the Building Envelopes attached at Schedule 1.
Business Day	means a day that is not a Saturday, Sunday or public holiday in Melbourne.
Claim	means any claim, action, proceeding or demand made against the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
Council	means Cardinia Shire Council in its capacity as responsible authority.
Development	means the buildings and works authorised under the Planning Permit.
Endorsed Plans	means the plans and/or other documents that are endorsed pursuant to the Planning Permit from time to time.
Loss	means any loss, damage, cost, expense or liability incurred by the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
Owner	means the person or persons registered or entitled from time to time to be registered by the Registrar of Titles as proprietor or proprietors of an estate in fee simple in the Subject Land or any part of it and includes a Mortgagee-in-possession.
Party or Parties	means the Owner and Council under this Agreement as appropriate.
Planning Permit	means Planning Permit No. T160690 issued by Council on 19 December 2017 referred to in Background C of this Agreement, and as amended from time to time (currently T160690-2 issued on 9 June 2021) and including any Endorsed Plans.

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Planning Scheme	means the Cardinia Planning Scheme and any other Planning Scheme which applies to the Subject Land.
Plantation Reserve	means the area marked 'plantation reserve' forming part of the Subject Land as detailed in the Building Envelope Plan.
Subject Land	means Volume 12330 Folio 801 (Lot 3 on Plan of Subdivision 6710) and Volume 12330 Folio 800 (Lot 2 on Plan of Subdivision 86652). Any reference to the Subject Land in this Agreement includes any lot created by the subdivision of the Subject Land or any part of it.
VCAT	means the Victorian Civil and Administrative Tribunal.
Vegetation Plan	means the vegetation plan attached at Schedule 2..

1.2 Interpretation

- (a) In this document, unless the context otherwise requires:
- (i) The singular includes the plural and vice versa.
 - (ii) A reference to a gender includes a reference to each other gender.
 - (iii) A reference to a person includes a reference to a firm, corporation or other corporate body and that person's successors in law.
 - (iv) If a Party consists of more than one person this Agreement binds them jointly and each of them severally.
 - (v) A term used in this Agreement has its ordinary meaning unless that term is defined in this Agreement. If a term is not defined in this Agreement and it is defined in the Act it has the meaning as defined in the Act.
 - (vi) A reference to an Act, Regulation or the Planning Scheme includes any Acts, Regulations or amendments amending, consolidating or replacing the Act, Regulation or Planning Scheme.
 - (vii) The introductory clauses to this Agreement are and will be deemed to form part of this Agreement.
 - (viii) Headings are for guidance only and do not affect the interpretation of this Agreement.

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

- (b) The obligations of the Owner under this Agreement, will take effect as separate and several covenants which are annexed to and run at law and equity with the Subject Land; and
 - (i) bind the Owner, its successors, transferees and permitted assigns, the registered proprietor or proprietors for the time being of the Subject Land; and
 - (ii) if the Subject Land is subdivided further, this Agreement must be read and applied so that each subsequent Owner of a lot is only responsible for those covenants and obligations which relate to that Owner's lot.

2. Owner's obligations

2.1 Plans showing the location of the Plantation Reserve and the Building Envelopes

The Owner covenants and agrees that the Building Envelope Plan shows the location and dimensions of the Plantation Reserve, as well as, the relevant Building Envelopes.

2.2 Maintenance of the Plantation Reserve

The Owner covenants and agrees that it will maintain the plantation reserve:

- (a) in perpetuity;
- (b) at the its own cost; and
- (c) in accordance with the Vegetation Plan.

2.3 Fencing within the Plantation Reserve

The Owner covenants and agrees to construct all fencing within the Plantation Reserve of wire or similar material to the satisfaction of the Responsible Authority.

2.4 Building Design Guidelines

The Owner covenants and agrees that the construction of buildings on each lot affected by the Plantation Reserve must comply with the Building Design Guidelines.

3. Further obligations

3.1 Notice and registration

The Owner will bring this Agreement to the notice of all prospective purchasers, Mortgagees, lessees, charges, transferees and assigns of the Subject Land.

3.2 Giving effect to this Agreement

The Owner will do all things necessary to give effect to this Agreement, including executing any further documents and will comply with its obligations under this Agreement.

3.3 Recording by Registrar of Titles

The Owner will consent to Council making application to the Registrar of Titles to make a recording of this Agreement in the Register on the Certificate of Title of the Subject Land in accordance with s181 of the Act and do all things necessary to enable Council to do so including signing any further agreement, acknowledgement or document or procuring the consent to this Agreement of any Mortgagee or caveator to enable the recording to be made in the Register under that section.

3.4 Council's costs to be paid

- (a) The Owner will immediately pay to Council, Council's reasonable costs and expenses (including legal expenses) of and incidental to the preparation, drafting, finalisation, engrossment, execution, registration and enforcement of this Agreement which are and until paid will remain a debt due to Council by the Owner.
- (b) If in dispute, Council may have the costs assessed by the Law Institute of Victoria Costing Service and the Parties will be bound by any assessment, and the cost of any assessment will be paid equally by the Parties.

3.5 Mortgagee to be Bound

The Owner covenants to obtain the consent of any Mortgagee to be bound by the covenants in this Agreement if the Mortgagee becomes Mortgagee in possession of the Subject Land.

3.6 Covenants run with the Subject Land

The Owner's obligation in this Agreement are intended to take effect as covenants which shall be annexed to and run at law and in equity with the Subject Land and every part of it, and bind the Owner and its successors, assignees and transferees, the registered proprietor or proprietors for the time being of the Subject Land and every part of the Subject Land.

4. Agreement under Section 173 of the Act

Council and the Owner agree without limiting or restricting their respective powers to enter into this Agreement and, insofar as it can be so treated, this Agreement is made pursuant to section 173 of the Act.

5. Owner's warranties

Without limiting the operation or effect which this Agreement has, the Owner warrants that apart from the Owner and any other person which has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Subject Land which may be affected by this Agreement.

6. Successors in title

6.1 Successors in title

Without limiting the operation or effect which this Agreement has, the Owner must ensure that until such time as a memorandum of this Agreement is registered on the title to the Subject Land, successors in title shall be required to:

- (a) give effect to and do all acts and sign all documents which will require those successors to give effect to this Agreement; and
- (b) execute a deed agreeing to be bound by the terms of this Agreement.

7. Notices

7.1 Service

A notice or other communication required or permitted to be served by a Party on another Party must be in writing and may be served:

- (a) by delivering it personally to that Party;
- (b) by sending it by prepaid post addressed to that Party at the address set out in this Agreement or subsequently notified to each Party from time to time; or
- (c) by sending it by electronic mail to that Party using the email address set out in this Agreement or subsequently notified to each Party from time to time.

7.2 Time of service

A notice or other communication is deemed served:

- (a) if delivered, on the following business day;
- (b) if posted, on the expiration of two business days after the date of posting; or
- (c) if emailed, when the electronic communication becomes capable of being retrieved by the addressee at an electronic address designated by the addressee.

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

8. Miscellaneous

8.1 Commencement of Agreement

Unless otherwise provided in this Agreement, this Agreement commences from the date of this Agreement.

8.2 Default

- (a) If the Owner fails to comply with the provisions of this Agreement, Council may serve a notice on the Owner specifying the works, matters and things in respect of which the Owner is in default.
- (b) If the alleged default continues for 30 days after the service of such notice, Council may, by its officers, employees, agents and contractors, enter the Subject Land and ensure that the works, matters and things are carried out.
- (c) The costs incurred by the Council in undertaking the works as a result of the Owner's default will be payable by the Owner.

8.3 Ending of Agreement

This Agreement ends:

- (a) on the date that the Council confirms in writing that this Agreement can be ended; or
- (b) otherwise in accordance with the Act.

8.4 Application to Registrar

As soon as reasonably practicable after the Agreement has ended, Council will, at the request and at the cost of the Owner make application to the Registrar of Titles under s183(2) of the Act to cancel the recording of this Agreement on the register.

8.5 No fettering of Council's powers

It is acknowledged and agreed that this Agreement does not fetter or restrict the power or discretion of Council to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision applicable to the Subject Land or relating to any use or development of the Subject Land.

8.6 No waiver

Any time or other indulgence granted by Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of Council in relation to the terms of this Agreement.

8.7 Severability

- (a) If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it must be severed and the other provisions of this Agreement will remain operative.
- (b) Clause 8.7(a) will not apply if to do so will materially affect the commercial arrangement formed by this Agreement.

8.8 Proper law

This Agreement is governed by and the Owner submits to the laws of the State of Victoria.

8.9 Counterparts

This Agreement may be executed in counterparts, and is binding on the parties upon the counterparts being exchanged. A copy of the original executed counterpart sent by email is to be treated as an original counterpart for all intents and purposes.

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Schedule

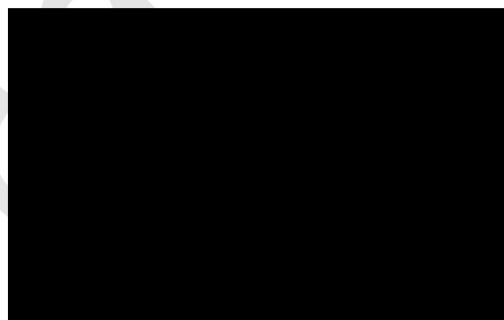
Mortgagee's Consent

Daiwa Capital Markets Australia Ltd as Mortgagee of registered Mortgage No AW944856J consents to the Owner entering into this Agreement and agrees to be bound by the terms and conditions of this Agreement as if it were the Owner of the Subject Land.

Executed by Daiwa Capital Markets Australia Ltd)
ACN 006 461 356 in accordance with s 127(1) of the)
Corporations Act 2001:



Print full name



Print full name

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Executed as a deed

Signed, sealed and delivered as a deed by the parties

Signed sealed and delivered by [REDACTED]

Manager Planning and Design, on behalf of)
Cardinia Shire Council in the exercise of a)
Power conferred by an Instrument of Delegation))
in the presence of:)

[REDACTED]

[REDACTED]

Signature of witness

The execution of this document has been witnessed by me
in accordance with the requirements for witnessing by
audio-visual link under section 12 of the Electronic
Transactions (Victoria) Act 2000.
(Strike out if inapplicable)

[REDACTED]

.....
Name of witness
(BLOCK LETTERS)

Executed by BNG (PAKENHAM) PTY LTD
(ACN 640125686) in accordance with
section 127 of the *Corporations Act 2001* (Cth)
by:

[REDACTED]

Secretary

[REDACTED]

Full name (print)

Full name (print)

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

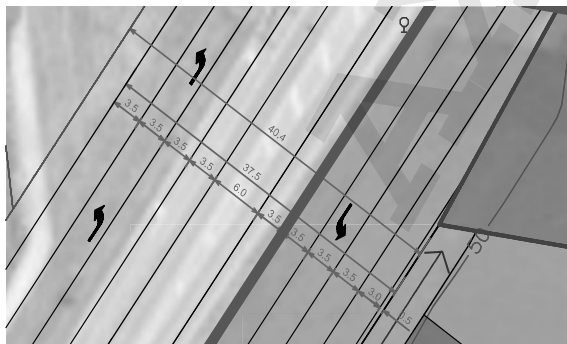
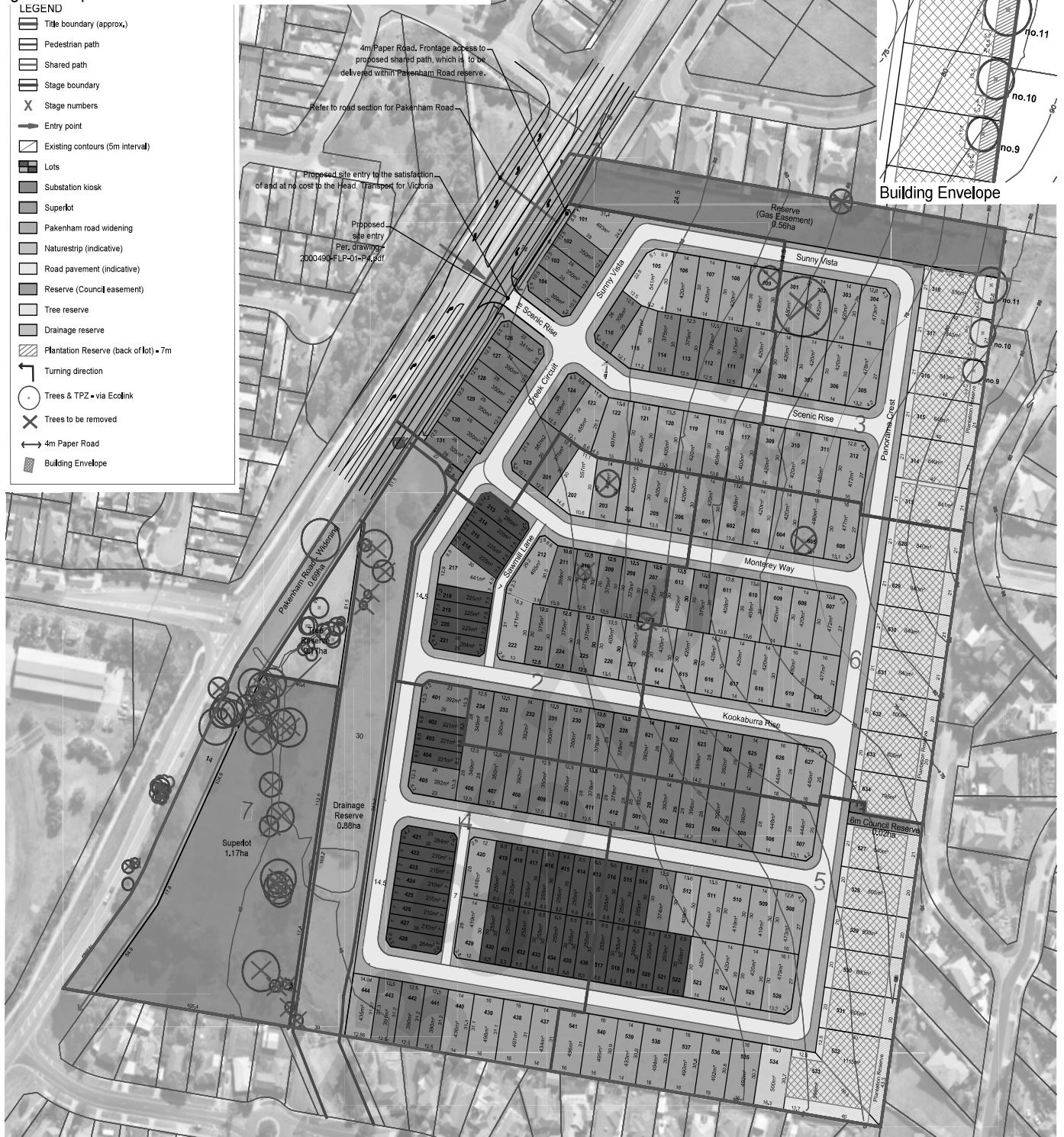
Schedule 1

Building Envelope Plan

AX385769J

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

LEGEND	
	Title boundary (approx.)
	Pedestrian path
	Shared path
	Stage boundary
	Stage numbers
	Entry point
	Existing contours (5m interval)
	Lots
	Substation kiosk
	Superlot
	Pakenham road widening
	Naturestrip (indicative)
	Road pavement (indicative)
	Reserve (Council easement)
	Tree reserve
	Drainage reserve
	Plantation Reserve (back of lot) = 7m
	Turning direction
	Trees & TPZ - via Ecolink
	Trees to be removed
	4m Paper Road
	Building Envelope



Pakenham Road - Cross Section

- Notes:
- This plan is subject to Council approval.
 - All dimensions and areas are subject to survey and final computations.
 - The drainage reserve shown has been preliminarily sized for the treatment and detention of stormwater to Council requirements. The layout and area required will be subject to detailed design and Council approval.
 - All roads are 16m local access level 1 unless noted otherwise.
 - Road pavement is indicative only and subject to detailed engineering design.
 - Arc dimensions shown are length of arc (not chord)

Total number of lots	203
Stage 1	31
Stage 2	34
Stage 3	18
Stage 4	44
Stage 5	41
Stage 6	34
Stage 7*	1

* Stage includes 1 Superlot

Lot Schedule by Area		
Lot Size	Number of Lots	%
0-299m ²	42	20.8
300-399m ²	56	27.7
400-499m ²	81	40.1
500-599m ²	3	1.5
600-699m ²	0	0.0
700m ² +	20	9.9
Total	202	100

Site (Approx.)	15,307 ha
* Standard Density Lots	7,515 ha
* Medium Density Lots	1,021 ha
* Superlot	1,168 ha
* Kiosk	0,009 ha
* Tree Reserve	0,165 ha
* Non-Arterial Roads	3,274 ha
Arterial Roads (Pakenham road widening)	0,693 ha
Reserve (Council Easement)	0,580 ha
Drainage Reserve	0,884 ha
Net Developable Area	13,150 ha
Lot Yield (Standard Density)	160 lots 470m ² average lot size
Lot Yield (Medium Density)	42 lots 243m ² average lot size
** Lot Yield (Overall)	202 lots @ 16.9 lots per ha 423m ² average lot size
Superlot	1
Total Number of Lots (Inc. 1 superlot)	203

* Indicates inclusion in NDA

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



Subdivision Plan
110 Pakenham Road, Pakenham
BNG Group

PLANNING AND ENVIRONMENT ACT 1987
CARDINIA PLANNING SCHEME
PERMIT No.: T160890-2
SHEET: 1 OF 1
APPROVED BY: Dean Heusler
CARDINIA SHIRE COUNCIL
DATE: Monday, 10 October 2022

Version	Date	Description	Drafted	Approved
1		Initial design and staging boundary	KT	KT
2		Updated road and staging boundary	KT	KT
3		Updated staging boundary	KT	KT
4		Updated lot numbers, building envelope and lot sizes	OX	KT

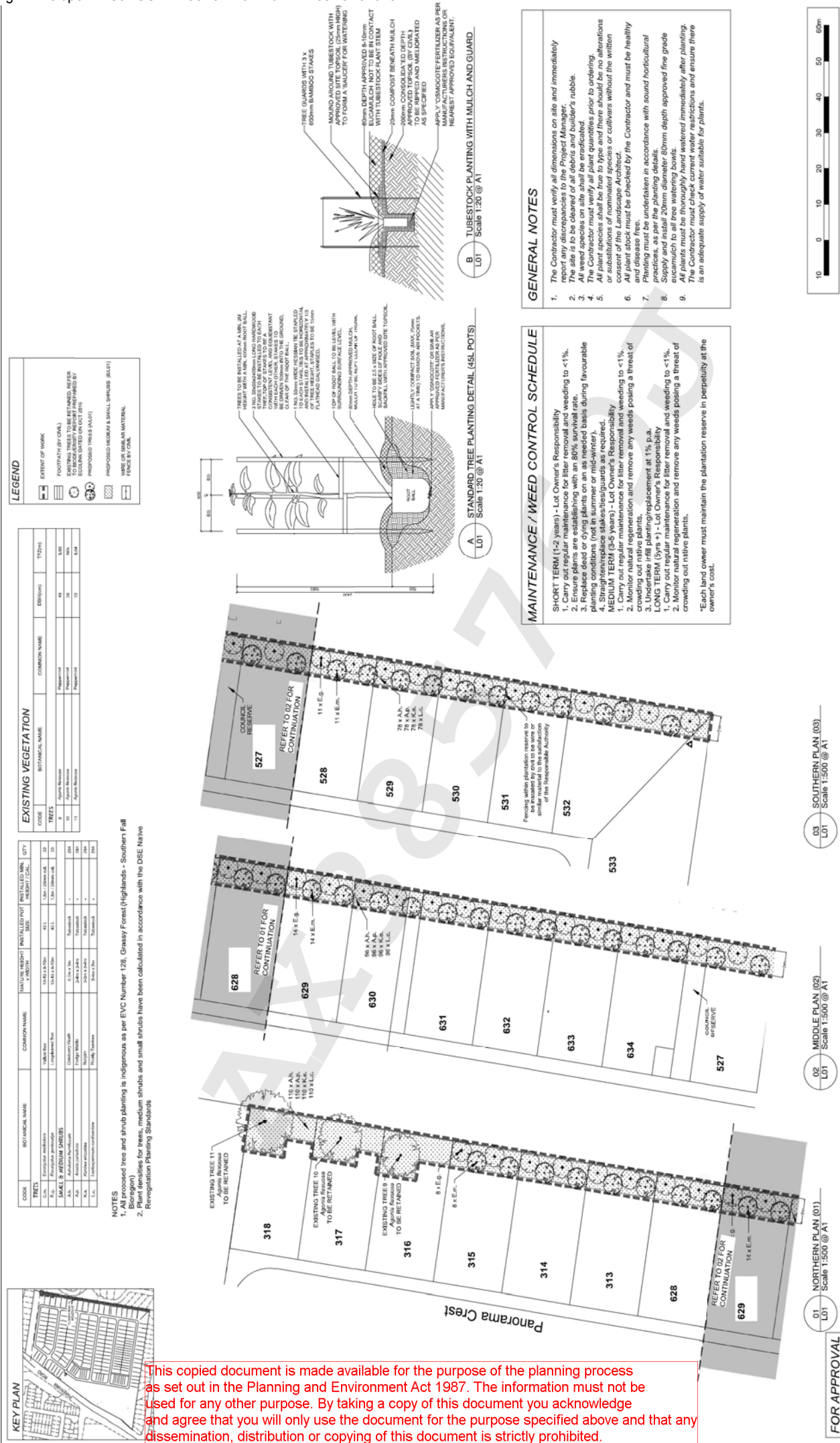
Date: 01.09.2022
Version No: 16
Job No: 2000490
Scale (A1): 1:1000
(A3): 1:2000

Schedule 2

Vegetation Plan

AX385769J

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

<p>© copyright – All rights reserved Beveridge Williams is a Pty Ltd company and is licensed to provide the services of a landscape architect in accordance with the provisions of the Landscape Architecture Act 1998 and the Landscape Architecture Regulation 2000. No part of this report may be reproduced without written permission.</p>		<p>Project Name The Rise – Pakenham</p>		<p>Designed R. Williams C. Williams</p>		<p>C. Williams C. Williams</p>	
<p>Project No 03/03/2025/AT. B.K.</p>		<p>Project Title Plantation Reserve Landscape Plan</p>		<p>Client BNG Group</p>		<p>Scale 1:500 @ A1</p>	
<p>Project Description A. DRAFT</p>		<p>Project Location 10/13/2025/AT. B.K.</p>		<p>Project Status A. DRAFT</p>		<p>Project No 03/03/2025/AT. B.K.</p>	
<p>Project Description A. DRAFT</p>		<p>Project Location 10/13/2025/AT. B.K.</p>		<p>Project Status A. DRAFT</p>		<p>Project No 03/03/2025/AT. B.K.</p>	
<p>Project Description A. DRAFT</p>		<p>Project Location 10/13/2025/AT. B.K.</p>		<p>Project Status A. DRAFT</p>		<p>Project No 03/03/2025/AT. B.K.</p>	
<p>Project Description A. DRAFT</p>		<p>Project Location 10/13/2025/AT. B.K.</p>		<p>Project Status A. DRAFT</p>		<p>Project No 03/03/2025/AT. B.K.</p>	
<p>Project Description A. DRAFT</p>		<p>Project Location 10/13/2025/AT. B.K.</p>		<p>Project Status A. DRAFT</p>		<p>Project No 03/03/2025/AT. B.K.</p>	
<p>Project Description A. DRAFT</p>		<p>Project Location 10/13/2025/AT. B.K.</p>		<p>Project Status A. DRAFT</p>		<p>Project No 03/03/2025/AT. B.K.</p>	
<p>Project Description A. DRAFT</p>		<p>Project Location 10/13/2025/AT. B.K.</p>		<p>Project Status A. DRAFT</p>		<p>Project No 03/03/2025/AT. B.K.</p>	
<p>Project Description A. DRAFT</p>		<p>Project Location 10/13/2025/AT. B.K.</p>		<p>Project Status A. DRAFT</p>		<p>Project No 03/03/2025/AT. B.K.</p>	
<p>Project Description A. DRAFT</p>		<p>Project Location 10/13/2025/AT. B.K.</p>		<p>Project Status A. DRAFT</p>		<p>Project No 03/03/2025/AT. B.K.</p>	
<p>Project Description A. DRAFT</p>		<p>Project Location 10/13/2025/AT. B.K.</p>		<p>Project Status A. DRAFT</p>		<p>Project No 03/03/2025/AT. B.K.</p>	
<p>Project Description A. DRAFT</p>		<p>Project Location 10/13/2025/AT. B.K.</p>		<p>Project Status A. DRAFT</p>		<p>Project No 03/03/2025/AT. B.K.</p>	
<p>Project Description A. DRAFT</p>		<p>Project Location 10/13/2025/AT. B.K.</p>		<p>Project Status A. DRAFT</p>		<p>Project No 03/03/2025/AT. B.K.</p>	
<p>Project Description A. DRAFT</p>		<p>Project Location 10/13/2025/AT. B.K.</p>		<p>Project Status A. DRAFT</p>		<p>Project No 03/03/2025/AT. B.K.</p>	
<p>Project Description A. DRAFT</p>		<p>Project Location 10/13/2025/AT. B.K.</p>		<p>Project Status A. DRAFT</p>		<p>Project No 03/03/2025/AT. B.K.</p>	
<p>Project Description A. DRAFT</p>		<p>Project Location 10/13/2025/AT. B.K.</p>		<p>Project Status A. DRAFT</p>		<p>Project No 03/03/2025/AT. B.K.</p>	
<p>Project Description A. DRAFT</p>		<p>Project Location 10/13/2025/AT. B.K.</p>		<p>Project Status A. DRAFT</p>		<p>Project No 03/03/2025/AT. B.K.</p>	
<p>Project Description A. DRAFT</p>		<p>Project Location 10/13/2025/AT. B.K.</p>		<p>Project Status A. DRAFT</p>		<p>Project No 03/03/2025/AT. B.K.</p>	
<p>Project Description A. DRAFT</p>		<p>Project Location 10/13/2025/AT. B.K.</p>		<p>Project Status A. DRAFT</p>		<p>Project No 03/03/2025/AT. B.K.</p>	
<p>Project Description A. DRAFT</p>		<p>Project Location 10/13/2025/AT. B.K.</p>		<p>Project Status A. DRAFT</p>		<p>Project No 03/03/2025/AT. B.K.</p>	
<p>Project Description A. DRAFT</p>		<p>Project Location 10/13/2025/AT. B.K.</p>		<p>Project Status A. DRAFT</p>		<p>Project No 03/03/2025/AT. B.K.</p>	
<p>Project Description A. DRAFT</p>		<p>Project Location 10/13/2025/AT. B.K.</p>		<p>Project Status A. DRAFT</p>		<p>Project No 03/03/2025/AT. B.K.</p>	
<p>Project Description A. DRAFT</p>		<p>Project Location 10/13/2025/AT. B.K.</p>		<p>Project Status A. DRAFT</p>		<p>Project No 03/03/2025/AT. B.K.</p>	
<p>Project Description A. DRAFT</p>		<p>Project Location 10/13/2025/AT. B.K.</p>		<p>Project Status A. DRAFT</p>		<p>Project No 03/03/2025/AT. B.K.</p>	
<p>Project Description A. DRAFT</p>		<p>Project Location 10/13/2025/AT. B.K.</p>		<p>Project Status A. DRAFT</p>		<p>Project No 03/03/2025/AT. B.K.</p>	
<p>Project Description A. DRAFT</p>		<p>Project Location 10/13/2025/AT. B.K.</p>		<p>Project Status A. DRAFT</p>		<p>Project No 03/03/2025/AT. B.K.</p>	
<p>Project Description A. DRAFT</p>		<p>Project Location 10/13/2025/AT. B.K.</p>		<p>Project Status A. DRAFT</p>		<p>Project No 03/03/2025/AT. B.K.</p>	
<p>Project Description A. DRAFT</p>		<p>Project Location 10/13/2025/AT. B.K.</p>		<p>Project Status A. DRAFT</p>		<p>Project No 03/03/2025/AT. B.K.</p>	
<p>Project Description A. DRAFT</p>							

08 APRIL 2025



DEVELOPER DRAWINGS

PROPOSED SINGLE STOREY DWELLING

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

JOB NUMBER:

#20736

SUBJECT SITE:

LOT 203, NO.7 MONTEREY WAY, PAKENHAM 3810

CLIENT NAME:

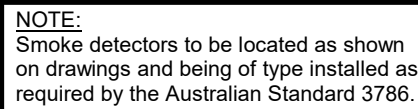
BARNALA DESIGNER HOMES



DP-AD 65315

MOB: 0412 223 771

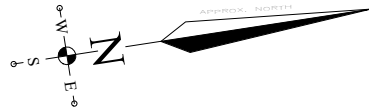
EMAIL: NAM@PROJECTD.COM.AU



☐ Smoke detector

☒ Exhaust fans

All Smoke Detectors are to be **interlinked** in accordance with part 9.2 Fire Separation of External Walls



PROVIDE NON-COMBUSTIBLE MATERIAL TO EAVES WITH MINIMUM FRL OF 60/60/60

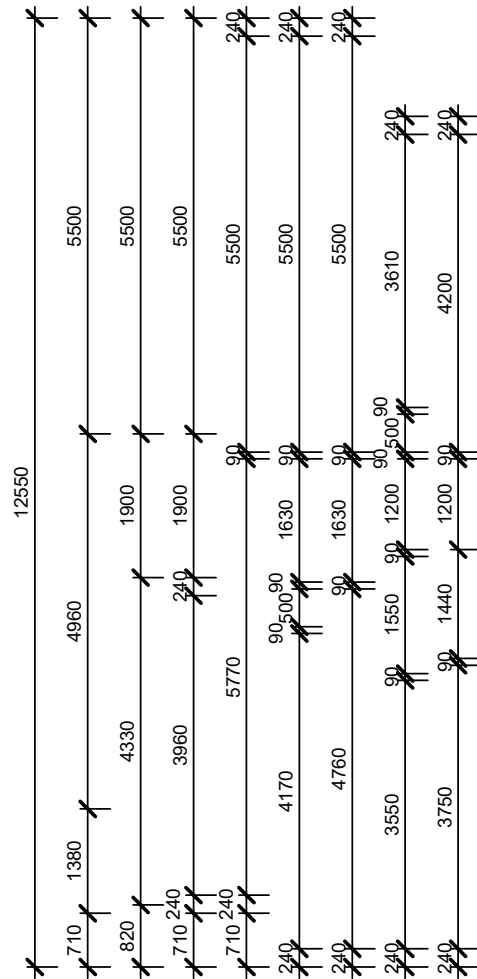
NOTE:
TEMPORARY DOWN PIPES DURING
CONSTRUCTIONS CONNECTION TO
UNDERGROUND STORM WATER SYSTEM.

NOTE:
PROVIDE LIFT OFF HINGES TO
DOORS IF WITHIN 1.2m FROM EDGE
OF SANITARY PAN TO DOOR HINGE.

NOTE:
PERIMETER FLASHING AT FLOOR
LEVEL OPENINGS IN WET AREA AS
PER 4.9 OF AS3740;2021

NOTE:
PROVIDE RECESS IN SLAB
TO ALL SHOWER BASES.

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

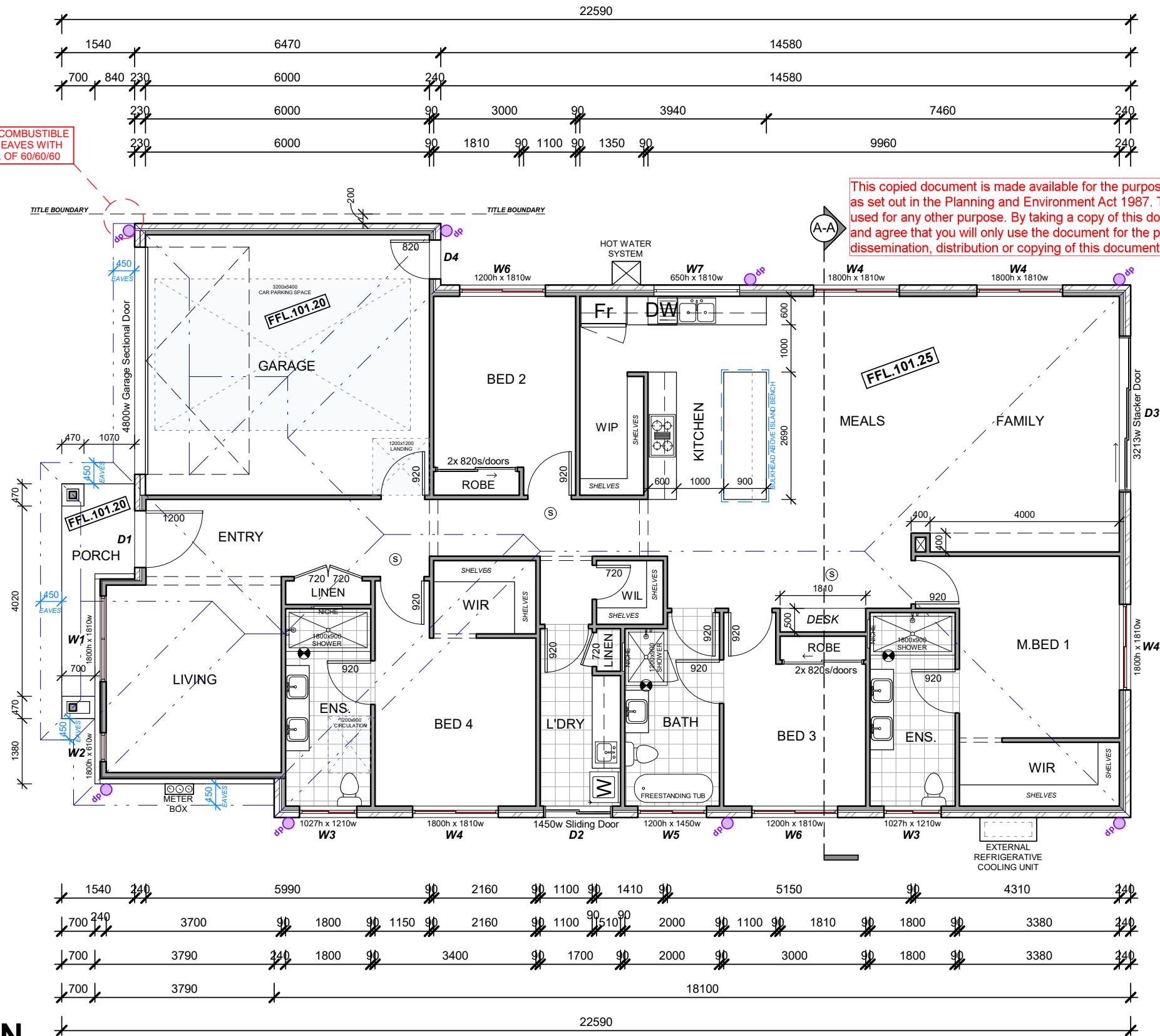


NOTE:
ALL PLIABLE MEMBRANE MUST COMPLY WITH
AS4200.1 AND BE INSTALLED IN ACCORDANCE
WITH AS4200.2 AS PER 10.8 NCC 2022 VOL.2
FOR CONDENSATION MANAGEMENT.

NOTE:
ALL EXHAUST FANS IN BATHROOMS MUST ACHIEVE MIN 25 L/s FLOW RATE. KITCHEN RANGEHOODS TO ACHIEVE 40 L/s. ALL EXHAUST FANS TO DISCHARGE '**DIRECTLY OUTSIDE**' AND NOT INTO ROOF SPACE.

GROUND FLOOR PLAN

scale 1:100



NOTE:
ALL GLAZING MUST COMPLY
WITH AS1288 AND AS2047.

NOTE:
ALL FRAME OPENINGS TO BE AT
2.1m HEAD HEIGHT FROM FFL.
UNLESS NOTED DIFFERENTLY

NOTE:
BEAMS / LINTELS WHICH ARE NOT SPECIFIED ON
PLANS SHOULD BE REFERED TO STRUCTURAL
ENGINEERS DRAWINGS OR TO BE DESIGNED AND
NOMINATED BY TRUSS MANUFACTURER

CJ - CONTROL JOINTS AT 5.0 METRES MAX CENTRES



EMAIL: NAM@PROJECTD.COM.AU **MOB:** 0412 223 771

GENERAL NOTES:

- *All measurements & levels to be checked prior to construction
- *Provide impervious floor & wall finish to all wet areas
- *Provide safety glass where required to AS1288.
- *Provide control joints at approx 5.0 M ctrs max
- *Provide smoke detectors as per A.S. 3786

NOTE: ALL MEASUREMENTS & LEVELS TO BE CHECKED PRIOR TO CONSTRUCTION BY BUILDER OR OWNER.

© COPYRIGHT - THESE PLANS BELONG TO
PROJECT D AND ARE NOT TO BE COPIED OR SOLD.

AREA SCHEDULE

SITE AREA: 420 m²
BUILDING COVERAGE: 59.9 %

GROUND	210.79 m ²
GARAGE	36.07 m ²
PORCH	5.13 m ²
<u>TOTAL</u>	<u>251.99 m² = 27.1 SQ.</u>

REV.	COMMENT	DATE	BY
A	WORKING DRAWINGS	24/02/25	NDT
B	TP AMENDMENTS	08/04/25	NDT

CLIENT
Barnala Designer Homes

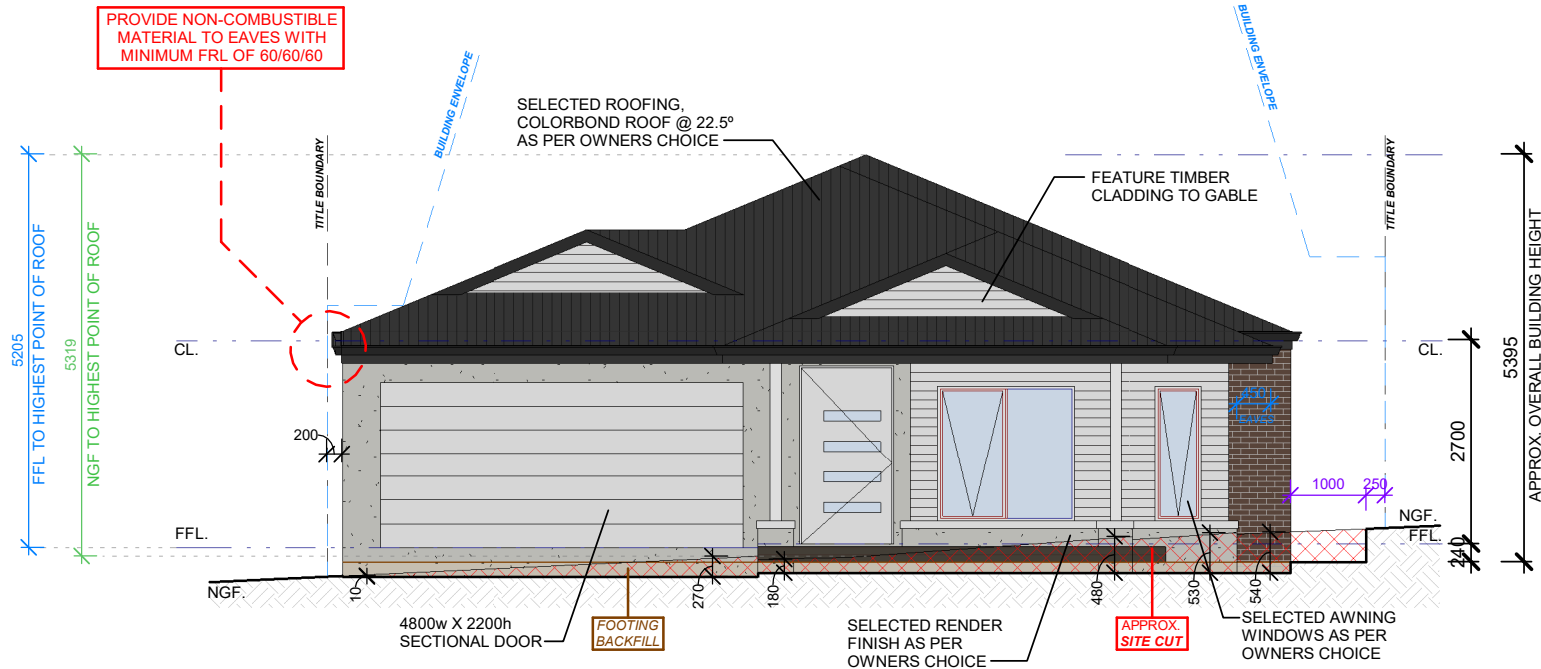
SUBJECT SITE
Lot 203, No.7 Monterey Way
PAKENHAM 3810

Ground Floor Plan		CLIENT SIGNATURE: _____
		DATE:
Project number	Job #20736	1 OF 12
Date	April 2025	
Drawn by	NDT	
Scale	1 : 100	
		HUU NAM TRAN DANG DP-AD 65315

NOTE:
IT IS THE BUILDERS RESPONSIBILITY TO ESTABLISH THE FINISHED FLOOR LEVELS AND FINISHED WALL HEIGHTS IN RELATION TO THE RELEVANT GROUND LEVELS DURING SETOUT AND BEFORE ANY EXCAVATION WORKS ARE UNDERTAKEN SO AS TO ENSURE THAT ALL DESIGN ASSUMPTIONS ARE FULLY REALIZED IN PRACTICE AND COMPLY WITH THE RELEVANT BUILDING CODES AND SITING REQUIREMENTS.

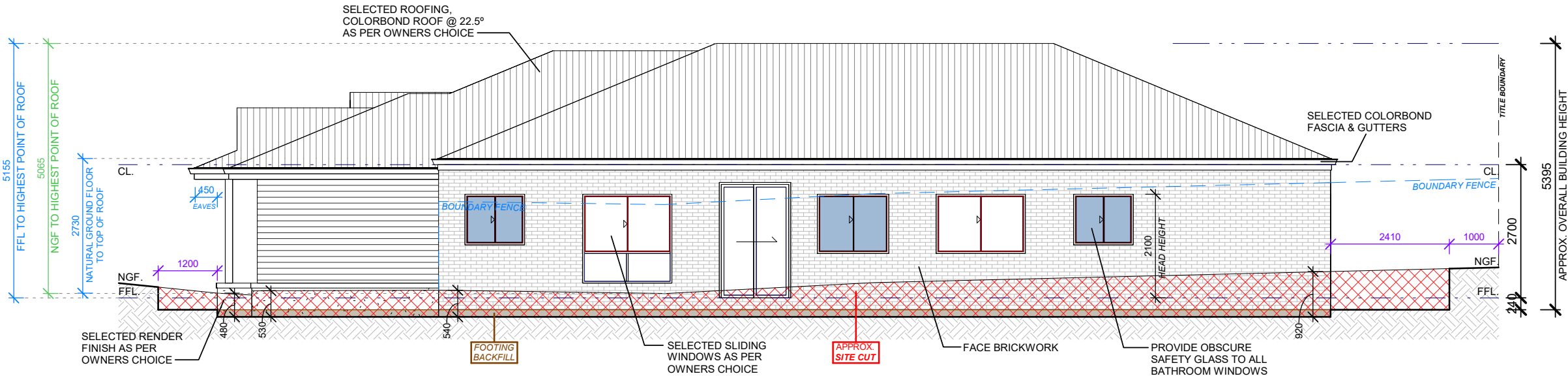
NOTE:
SHOULD ANY DISCREPANCY BETWEEN STRUCTURAL AND ARCHITECTURAL DRAWINGS BE NOTED WITH REGARDS TO LOCATIONS AND DIMENSIONS THE BUILDER IS TO NOTIFY THE DRAFTING OFFICE TO SEEK CLARIFICATION.

NOTE:
ALL FRAME OPENINGS TO BE AT 2.1m HEAD HEIGHT FROM FFL. UNLESS NOTED DIFFERENTLY.



1 Front Elevation - South
1 : 100

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



2 Side Elevation - East
1 : 100

COLOUR SPECIFICATIONS

* COLORBOND ROOF - (MONUMENT) -	
* GROUND FLOOR WALLS FACE BRICKWORK - (MOCHA) - ADVANCE BRICKS	
* HORIZONTAL TIMBER CLADDING - (DOVER WHITE) -	
* RENDER FINISH TO FRONT FACADE WALLS - (SILVER TEA SET) -	
* PORCH TIMBER POSTS - (DOVER WHITE) -	
* ENTRY DOOR WITH TRANSLUCENT GLASS - (DOVER WHITE) -	
* GARAGE SECTIONAL DOOR - (DOVER WHITE) -	
* ALUMINIUM WINDOW FRAMES - (DOVER WHITE) -	
* GUTTER & FASCIA - (MONUMENT) -	
* DOWNPIPE - (DOVER WHITE) -	
* METERBOX - (DOVER WHITE) -	
* LETTERBOX - (DOVER WHITE) -	
* WHIRLYBIRD - (MONUMENT) -	
* EXPOSED AGGREGATE DRIVEWAY - (BLACK & WHITE MIX) -	



EMAIL: NAM@PROJECTD.COM.AU MOB: 0412 223 771

GENERAL NOTES:

- *All measurements & levels to be checked prior to construction
- *Provide impervious floor & wall finish to all wet areas
- *Provide safety glass where required to AS1288.
- *Provide control joints at approx 5.0 M ctrs max
- *Provide smoke detectors as per A.S. 3786

NOTE: ALL MEASUREMENTS & LEVELS TO BE CHECKED PRIOR TO CONSTRUCTION BY BUILDER OR OWNER.

© COPYRIGHT - THESE PLANS BELONG TO PROJECT D AND ARE NOT TO BE COPIED OR SOLD.

AREA SCHEDULE

SITE AREA: 420 m² BUILDING COVERAGE: 59.9 %	
GROUND	210.79 m²
GARAGE	36.07 m²
PORCH	5.13 m²
TOTAL	251.99 m² = 27.1 SQ.

REV.	COMMENT	DATE	BY
A	WORKING DRAWINGS	24/02/25	NDT
B	TP AMENDMENTS	08/04/25	NDT

CLIENT
Barnala Designer Homes

SUBJECT SITE
Lot 203, No.7 Monterey Way
PAKENHAM 3810

Elevations

Project number	Job #20736
Date	April 2025
Drawn by	NDT
Scale	1 : 100

CLIENT SIGNATURE:

DATE:

2 OF 12

HUU NAM TRAN DANG DP-AD 65315

NOTE:

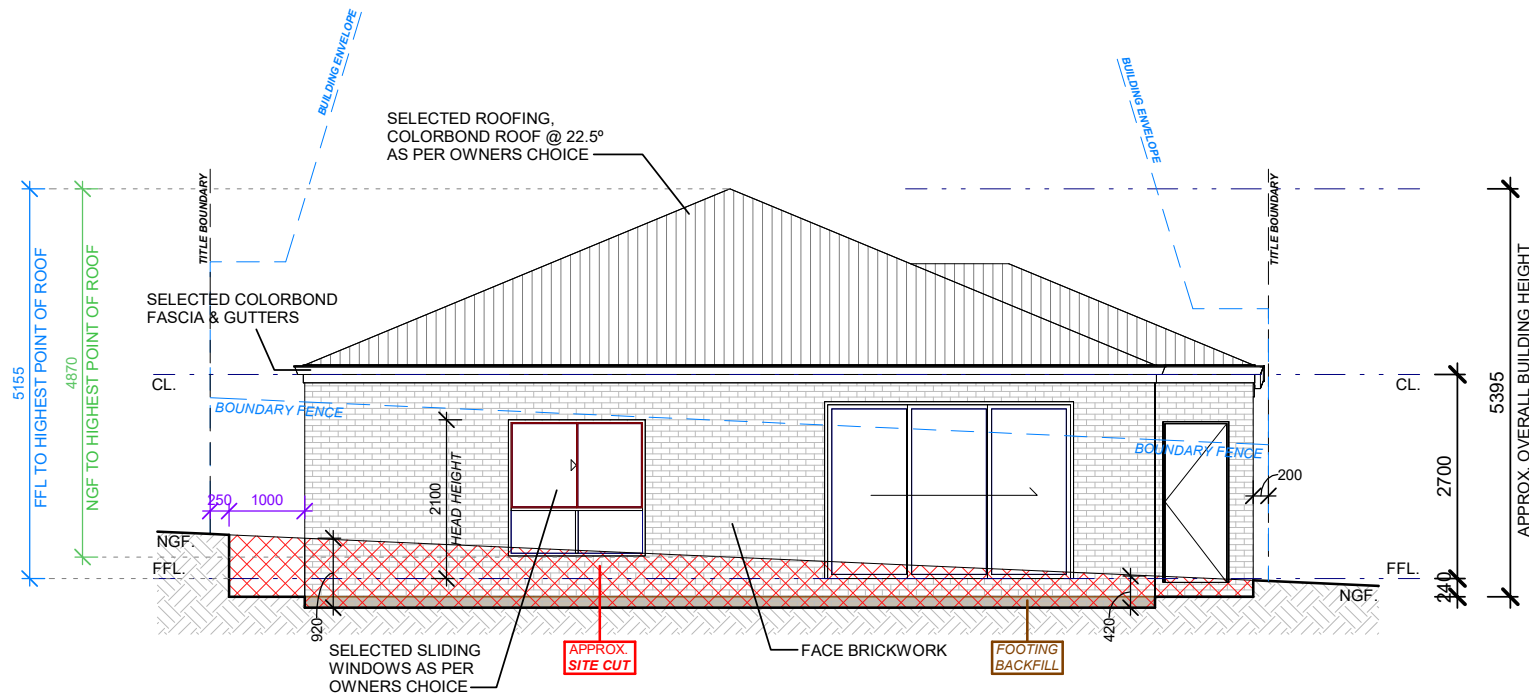
IT IS THE BUILDERS RESPONSIBILITY TO ESTABLISH THE FINISHED FLOOR LEVELS AND FINISHED WALL HEIGHTS IN RELATION TO THE RELEVANT GROUND LEVELS DURING SETOUT AND BEFORE ANY EXCAVATION WORKS ARE UNDERTAKEN SO AS TO ENSURE THAT ALL DESIGN ASSUMPTIONS ARE FULLY REALIZED IN PRACTICE AND COMPLY WITH THE RELEVANT BUILDING CODES AND SITING REQUIREMENTS.

NOTE:

SHOULD ANY DISCREPANCY BETWEEN STRUCTURAL AND ARCHITECTURAL DRAWINGS BE NOTED WITH REGARDS TO LOCATIONS AND DIMENSIONS THE BUILDER IS TO NOTIFY THE DRAFTING OFFICE TO SEEK CLARIFICATION.

NOTE:

ALL FRAME OPENINGS TO BE AT 2.1m HEAD HEIGHT FROM FFL. UNLESS NOTED DIFFERENTLY.

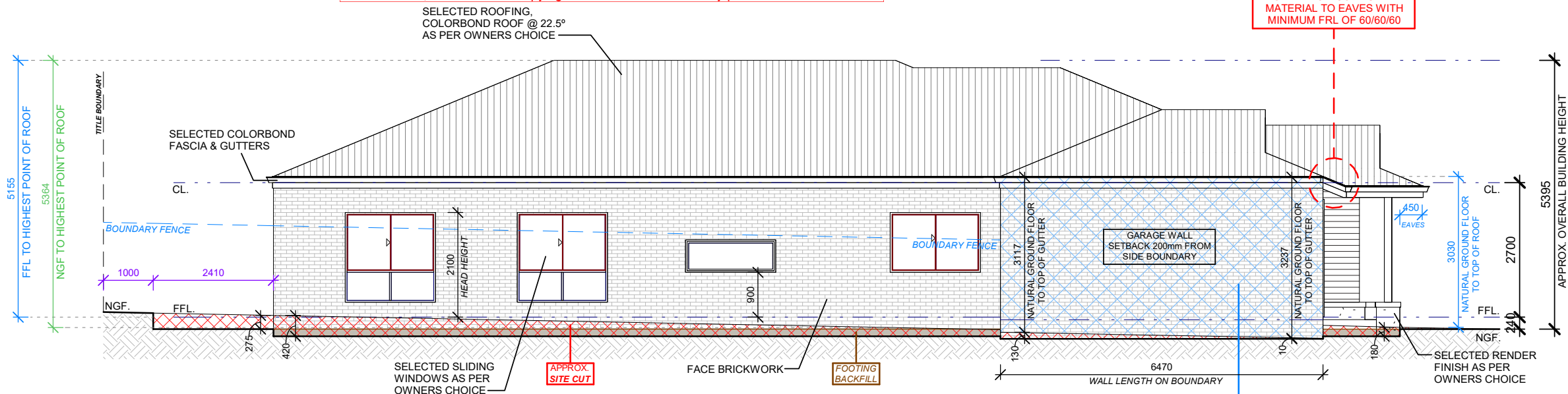


Rear Elevation - North

1

1 : 100

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



Side Elevation - West

2

1 : 100

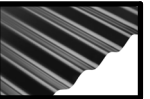
WALL ON BOUNDARY CALCULATION:

$$\begin{aligned} \text{WALL HEIGHT} &= (\text{WALL AREA}) / (\text{WALL LENGTH}) \\ &= 20.55\text{m}^2 / 6.47\text{m} \\ &= 3.17\text{m} \end{aligned}$$

AS PER ABOVE CALCULATIONS THE AVERAGE WALL HEIGHT ON BOUNDARY IS 3.17m

COLOUR SPECIFICATIONS

* COLORBOND ROOF
- (MONUMENT) -



* GROUND FLOOR WALLS FACE BRICKWORK
- (MOCHA) - ADVANCE BRICKS



* HORIZONTAL TIMBER CLADDING
- (DOVER WHITE) -



* RENDER FINISH TO FRONT FACADE WALLS
- (SILVER TEA SET) -



* PORCH TIMBER POSTS
- (DOVER WHITE) -



* ENTRY DOOR WITH TRANSLUCENT GLASS
- (DOVER WHITE) -



* GARAGE SECTIONAL DOOR
- (DOVER WHITE) -



* ALUMINIUM WINDOW FRAMES
- (DOVER WHITE) -



* GUTTER & FASCIA
- (MONUMENT) -



* DOWNPIPE
- (DOVER WHITE) -



* METERBOX
- (DOVER WHITE) -



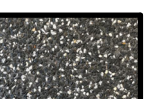
* LETTERBOX
- (DOVER WHITE) -



* WHIRLYBIRD
- (MONUMENT) -



* EXPOSED AGGREGATE DRIVEWAY
- (BLACK & WHITE MIX) -



EMAIL: NAM@PROJECTD.COM.AU MOB: 0412 223 771

GENERAL NOTES:

- *All measurements & levels to be checked prior to construction
- *Provide impervious floor & wall finish to all wet areas
- *Provide safety glass where required to AS1288.
- *Provide control joints at approx 5.0 M ctrs max
- *Provide smoke detectors as per A.S. 3786

NOTE: ALL MEASUREMENTS & LEVELS TO BE CHECKED PRIOR TO CONSTRUCTION BY BUILDER OR OWNER.

© COPYRIGHT - THESE PLANS BELONG TO PROJECT D AND ARE NOT TO BE COPIED OR SOLD.

AREA SCHEDULE

SITE AREA: 420 m²

BUILDING COVERAGE: 59.9 %

GROUND 210.79 m²

GARAGE 36.07 m²

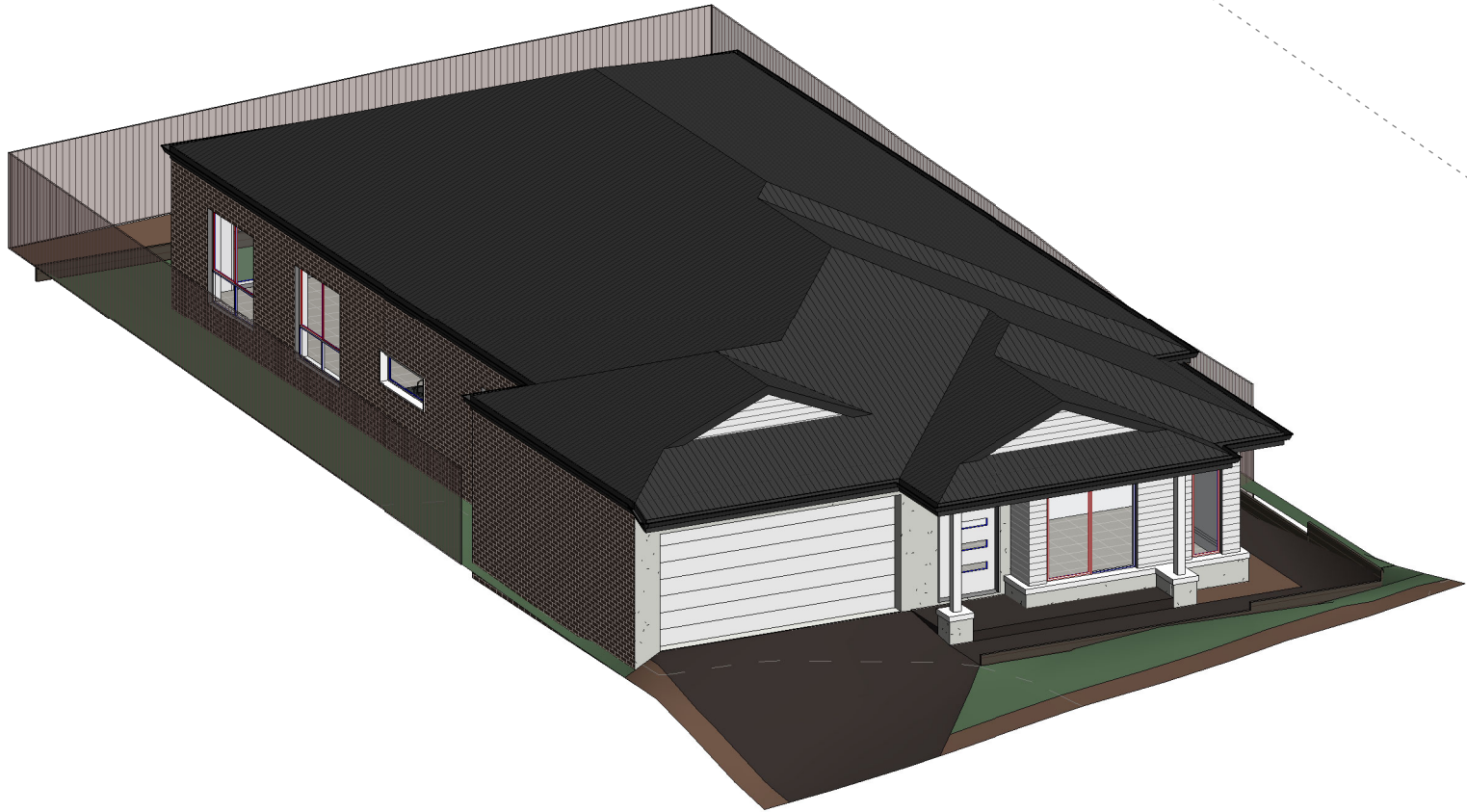
PORCH 5.13 m²

TOTAL 251.99 m² = 27.1 SQ.

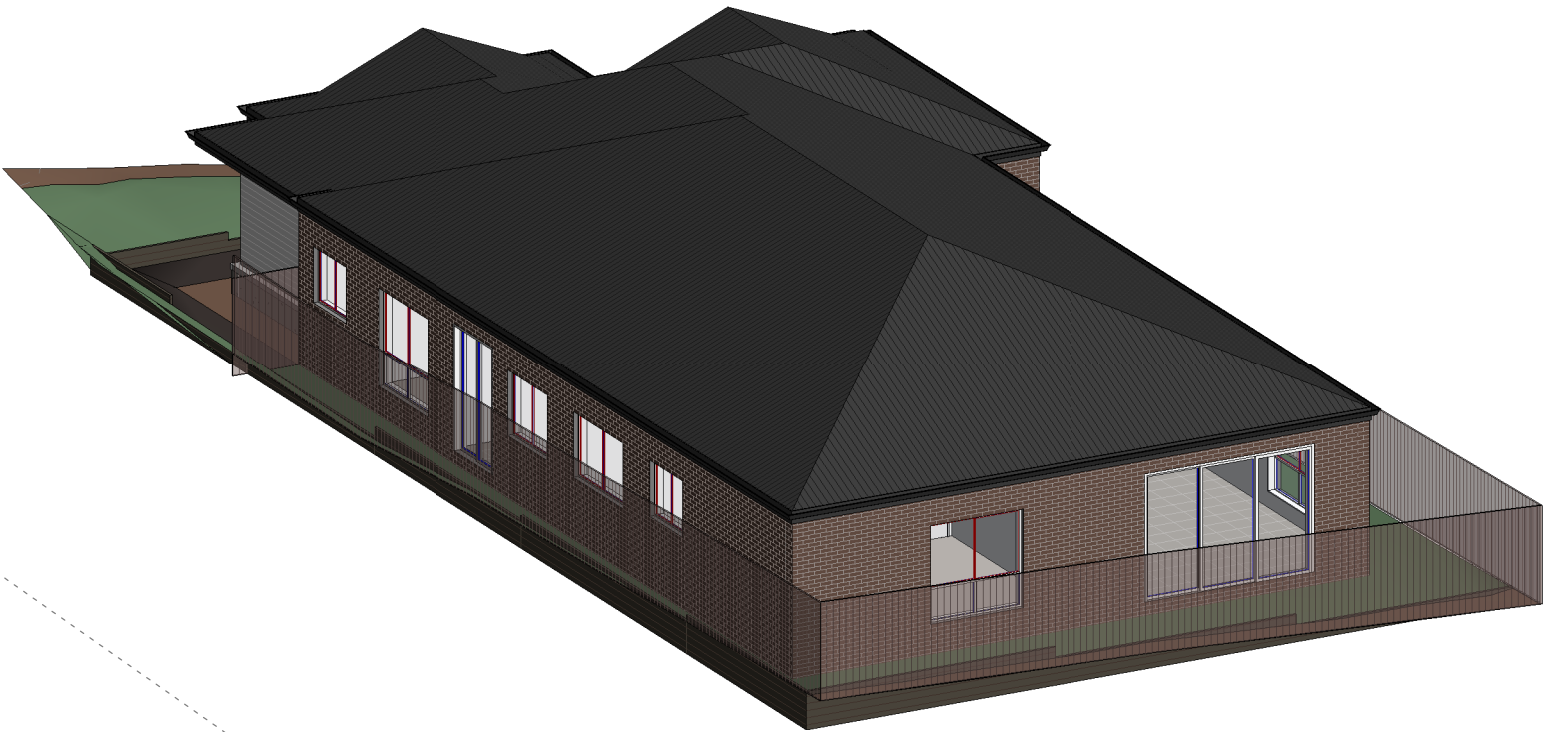
REV.	COMMENT	DATE	BY
A	WORKING DRAWINGS	24/02/25	NDT
B	TP AMENDMENTS	08/04/25	NDT

CLIENT		Elevations		CLIENT SIGNATURE:
Barnala Designer Homes		Project number	Job #20736	3 OF 12
		Date	April 2025	
		Drawn by	NDT	
		Scale	1 : 100	
SUBJECT SITE				HUU NAM TRAN DANG DP-AD 65315
Lot 203, No.7 Monterey Way				
PAKENHAM 3810				

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



1 South-West Elevation



2 North-East Elevation

NOTE:
3D ELEVATIONS TO BE USED FOR PRESENTATIONAL PURPOSES ONLY. REFER TO PLANS FOR ALL CONSTRUCTION DETAILS.



EMAIL: NAM@PROJECTD.COM.AU MOB: 0412 223 771

GENERAL NOTES:

- *All measurements & levels to be checked prior to construction
- *Provide impervious floor & wall finish to all wet areas
- *Provide safety glass where required to AS1288.
- *Provide control joints at approx 5.0 M ctrs max
- *Provide smoke detectors as per A.S. 3786

NOTE: ALL MEASUREMENTS & LEVELS TO BE CHECKED PRIOR TO CONSTRUCTION BY BUILDER OR OWNER.

© COPYRIGHT - THESE PLANS BELONG TO PROJECT D AND ARE NOT TO BE COPIED OR SOLD.

AREA SCHEDULE

SITE AREA: 420 m²

BUILDING COVERAGE: 59.9 %

GROUND	210.79 m ²
GARAGE	36.07 m ²
PORCH	5.13 m ²

TOTAL 251.99 m² = 27.1 SQ.

REV.	COMMENT	DATE	BY
A	WORKING DRAWINGS	24/02/25	NDT
B	TP AMENDMENTS	08/04/25	NDT

CLIENT
Barnala Designer Homes

SUBJECT SITE
Lot 203, No.7 Monterey Way
PAKENHAM 3810

3D Elevations

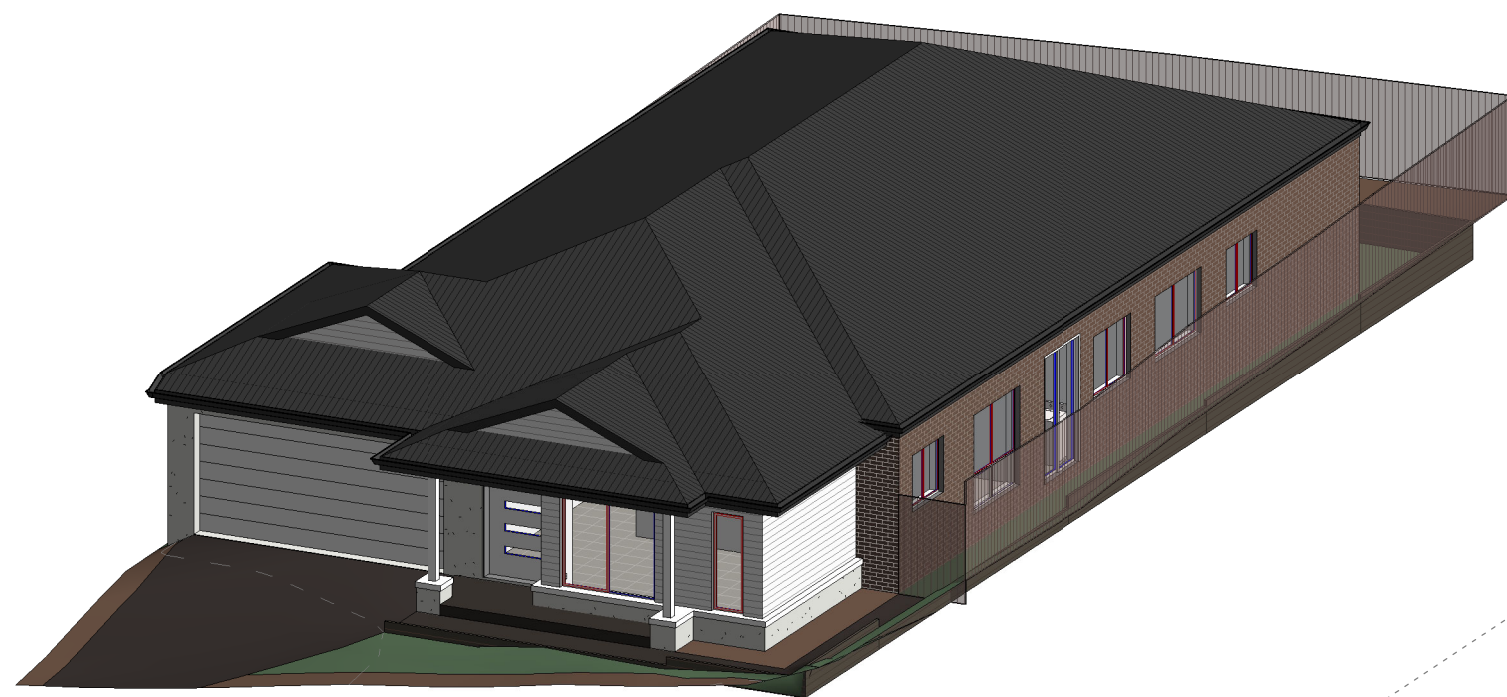
Project number	Job #20736
Date	April 2025
Drawn by	NDT
Scale	

CLIENT SIGNATURE:

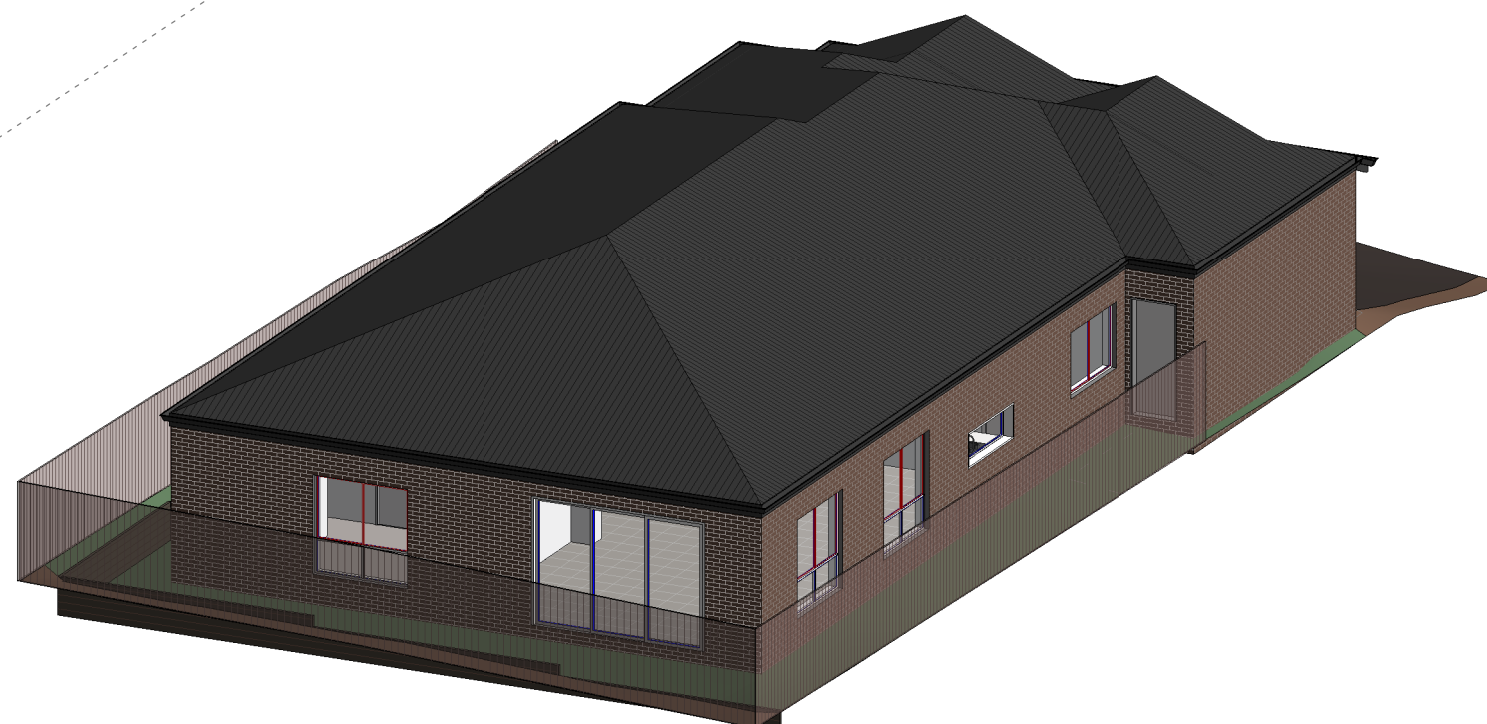
DATE:

3a OF 12

HUU NAM TRAN DANG DP-AD 65315



1 South-East Elevation



2 North-West Elevation

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

NOTE:
3D ELEVATIONS TO BE USED FOR
PRESENTATIONAL PURPOSES
ONLY. REFER TO PLANS FOR ALL
CONSTRUCTION DETAILS.



EMAIL: NAM@PROJECTD.COM.AU **MOB:** 0412 223 771

GENERAL NOTES:

***All measurements & levels to be checked prior to construction**
***Provide impervious floor & wall finish to all wet areas**
***Provide safety glass where required to AS1288.**
***Provide control joints at approx 5.0 M ctrs max**
***Provide smoke detectors as per A.S. 3786**

NOTE: ALL MEASUREMENTS & LEVELS TO BE CHECKED PRIOR TO CONSTRUCTION BY BUILDER OR OWNER.

AREA SCHEDULE

SITE AREA: 420 m²
BUILDING COVERAGE: 59.9 %

GROUND	210.79 m ²
GARAGE	36.07 m ²
PORCH	5.13 m ²
TOTAL	251.99 m² = 27.1 SQ.

REV.	COMMENT	DATE	BY
A	WORKING DRAWINGS	24/02/25	NDT
B	TP AMENDMENTS	08/04/25	NDT

CLIENT
Barnala Designer Homes

SUBJECT SITE
Lot 203, No.7 Monterey Way
PAKENHAM 3810

3D Elevations

Project number	Job #20736
----------------	------------

Date	April 2025
------	------------

Drawn by	NDT
----------	-----

	CLIENT SIGNATURE:
--	-------------------

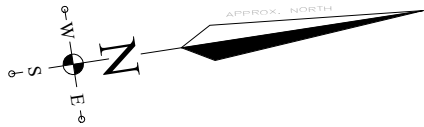
DATE:

3b OF 12

	HUU NAM TRAN DANG	DP-AD 65315
--	-------------------	-------------

DENOTES APPROX. SHADOW
CAST AS PER MARCH 21ST -
SEPTEMBER 23RD (EQUINOX)

9:00AM



This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

ENERGY RATING NOTES:

The following standards are to be installed to all energy rated dwellings/units to obtain a 7.0 star energy rating:

- All external doors and windows to be weather-sealed;
- All doors to utilities and any other attached garages to be weather-stripped;
- All general building gaps and cracks to be filled;
- All silitation to be tape sealed and tears patched;
- Only non-vented downlights, and skylights to be used;
- Exhaust fans to be self-sealing at outlet duct;
- Timber windows to be used throughout unless otherwise specified;
- Insulation:
REFER TO ENERGY RATING REPORT
- Provide water saving measures and solar hot water system, or
- Provide water saving measures and a rain water tank.

SHADOW DIAGRAM scale 1:200



EMAIL: NAM@PROJECTD.COM.AU MOB: 0412 223 771

GENERAL NOTES:

- *All measurements & levels to be checked prior to construction
- *Provide impervious floor & wall finish to all wet areas
- *Provide safety glass where required to AS1288.
- *Provide control joints at approx 5.0 M ctrs max
- *Provide smoke detectors as per A.S. 3786

NOTE: ALL MEASUREMENTS & LEVELS TO BE CHECKED PRIOR TO CONSTRUCTION BY BUILDER OR OWNER.

© COPYRIGHT - THESE PLANS BELONG TO PROJECT D AND ARE NOT TO BE COPIED OR SOLD.

AREA SCHEDULE

SITE AREA: 420 m ² BUILDING COVERAGE: 59.9 %	
GROUND	210.79 m ²
GARAGE	36.07 m ²
PORCH	5.13 m ²
TOTAL 251.99 m ² = 27.1 SQ.	

REV.	COMMENT	DATE	BY
A	WORKING DRAWINGS	24/02/25	NDT
B	TP AMENDMENTS	08/04/25	NDT

CLIENT		CLIENT SIGNATURE:	
Barnala Designer Homes		DATE:	
SUBJECT SITE		6 OF 12	
Lot 203, No.7 Monterey Way PAKENHAM 3810		HUU NAM TRAN DANG DP-AD 65315	

PERMEABILITY CALCULATIONS

TOTAL LOT AREA = 420 m²

DWELLING	= 251.99 m ² = 59.9%
CONCRETE	= 25.72 m ² = 6.1%
GRASS	= 128.21 m ² = 30.5%
GARDEN BED	= 14.08 m ² = 3.5%

AS PER ABOVE CALCULATIONS THE AMOUNT OF PERMEABLE AREA (GRASS 30.5% + GARDEN BED 3.5% = 34.0%) EXCEEDS AT LEAST 20% OF THE ALLOTMENT AREA.

LEGEND

	GRASS
	GARDEN BED
	CONCRETE

FIBRE OPTIC NOTE:

ALL HOMES MUST INSTALL OR MAKE ALLOWANCE FOR OPTIC-FIBRE CABLING. TO ACCESS THIS HIGH-SPEED BROADBAND AND TELEPHONE SERVICE, HOMES NEED TO COMPLY WITH THE OPTICOMM IN HOME WIRING GUIDELINES.

FENCE NOTE:

SIDE & REAR BOUNDARY FENCES
SIDE & REAR FENCES TO BE TYPICAL LAPPED & CAPPED TIMBER PALING FENCE WITH EXPOSED POSTS AND A MAXIMUM OF 1.8m IN HEIGHT.

FENCE TO TERMINATE 1.5m FROM THE FRONT BUILDING LINE AND IF APPLICABLE 1.0m BEHIND THE NEIGHBOURING DWELLING.

ACCES GATES & SCREENS
SIDE GATES & MATCHING WING SCREENS SHALL BE STAINED HARDWOOD WITH HORIZONTAL SLATING. SLATTING EXTENDS FROM THE BOUNDARY TO THE DWELLING SET 1.5m BEHIND FRONT OF DWELLING (OR MORE ONLY WHERE CONFLICT WITH WINDOWS) AND IF APPLICABLE 1.0m BEHIND THE NEIGHBOURING DWELLING.

LOT 202

VACANT
AS OF 18.12.24

PROPOSED 1.8m HIGH FENCE
CONSTRUCTED WITH LAPPED &
CAPPED TIMBER PALING WITH
EXPOSED POSTS AT A MAXIMUM
HEIGHT OF 1.8m HIGH

EXISTING
CONCRETE SLEEPER
RETAINING WALL

PROPOSED 1.8m HIGH FENCE
CONSTRUCTED WITH LAPPED &
CAPPED TIMBER PALING WITH
EXPOSED POSTS AT A MAXIMUM
HEIGHT OF 1.8m HIGH

LOT 122

VACANT
AS OF 18.12.24

LOT 204

VACANT
AS OF 18.12.24

PROPOSED 1.8m HIGH FENCE
CONSTRUCTED WITH LAPPED &
CAPPED TIMBER PALING WITH
EXPOSED POSTS AT A MAXIMUM
HEIGHT OF 1.8m HIGH

EXISTING
CONCRETE SLEEPER
RETAINING WALL

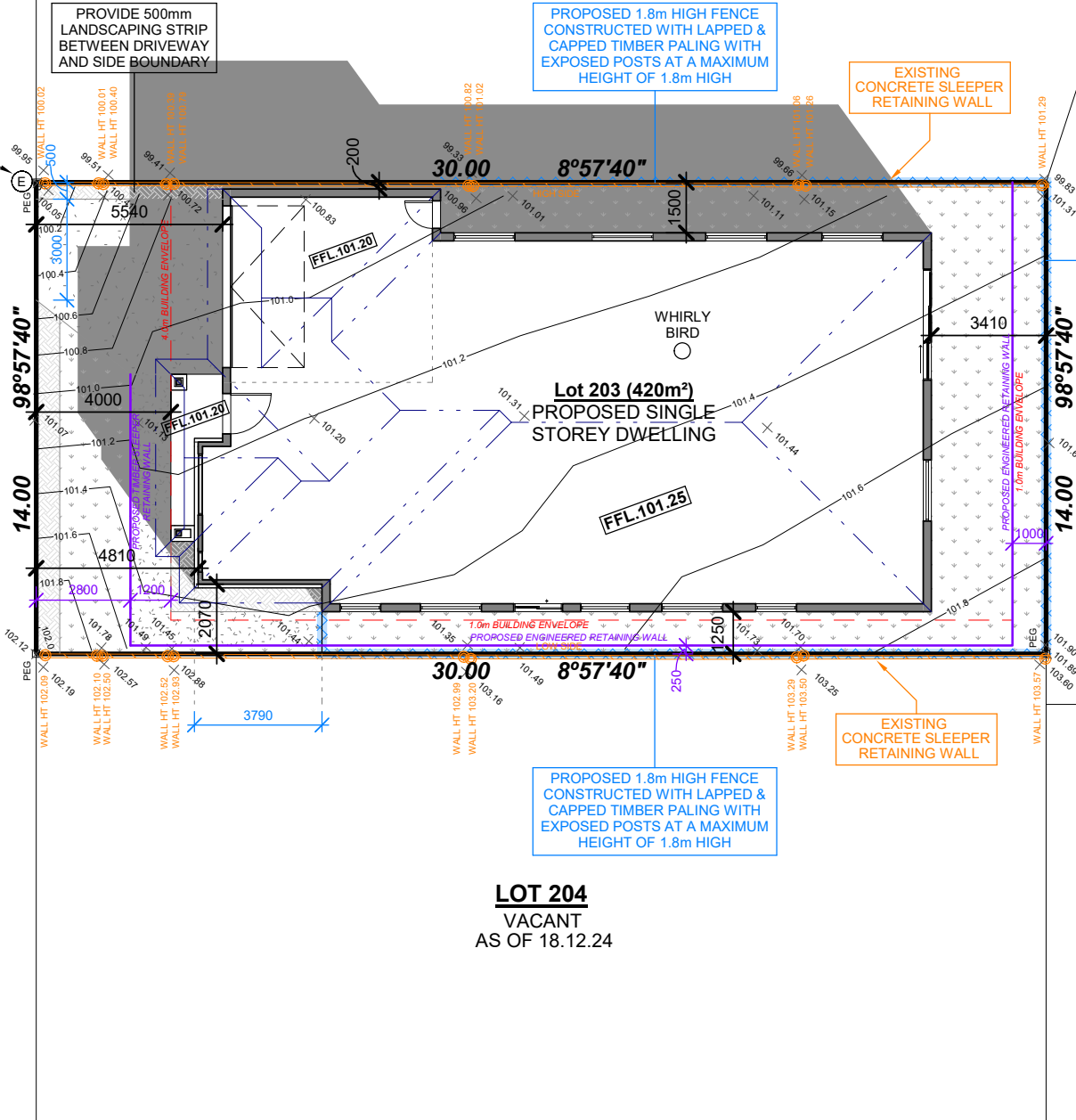
MONTEREY WAY

EXISTING
CROSS-OVER

EXISTING
CROSS-OVER

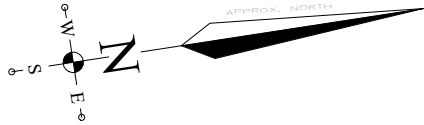
PROVIDE 500mm
LANDSCAPING STRIP
BETWEEN DRIVEWAY
AND SIDE BOUNDARY

TBM: TOP OF
ELECTRICITY PIT
RL 100.00m



DENOTES APPROX. SHADOW
CAST AS PER MARCH 21ST -
SEPTEMBER 23RD (EQUINOX)

3:00PM



This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

ENERGY RATING NOTES:

The following standards are to be installed to all energy rated dwellings/units to obtain a 7.0 star energy rating:

- All external doors and windows to be weather-sealed;
- All doors to utilities and any other attached garages to be weather-stripped;
- All general building gaps and cracks to be filled;
- All silitation to be tape sealed and tears patched;
- Only non-vented downlights, and skylights to be used;
- Exhaust fans to be self-sealing at outlet duct;
- Timber windows to be used throughout unless otherwise specified;
- Insulation:
REFER TO ENERGY RATING REPORT
- Provide water saving measures and solar hot water system, or
- Provide water saving measures and a rain water tank.

SHADOW DIAGRAM scale 1:200



EMAIL: NAM@PROJECTD.COM.AU MOB: 0412 223 771

GENERAL NOTES:

- *All measurements & levels to be checked prior to construction
- *Provide impervious floor & wall finish to all wet areas
- *Provide safety glass where required to AS1288.
- *Provide control joints at approx 5.0 M ctrs max
- *Provide smoke detectors as per A.S. 3786

NOTE: ALL MEASUREMENTS & LEVELS TO BE CHECKED PRIOR TO CONSTRUCTION BY BUILDER OR OWNER.

© COPYRIGHT - THESE PLANS BELONG TO PROJECT D AND ARE NOT TO BE COPIED OR SOLD.

AREA SCHEDULE

SITE AREA: 420 m ² BUILDING COVERAGE: 59.9 %	
GROUND	210.79 m ²
GARAGE	36.07 m ²
PORCH	5.13 m ²
TOTAL 251.99 m ² = 27.1 SQ.	

REV.	COMMENT	DATE	BY
A	WORKING DRAWINGS	24/02/25	NDT
B	TP AMENDMENTS	08/04/25	NDT

CLIENT		CLIENT SIGNATURE:	
Barnala Designer Homes		DATE:	
SUBJECT SITE		7 OF 12	
Lot 203, No.7 Monterey Way PAKENHAM 3810		HUU NAM TRAN DANG DP-AD 65315	

PERMEABILITY CALCULATIONS

TOTAL LOT AREA = 420 m²

DWELLING	= 251.99 m ² = 59.9%
CONCRETE	= 25.72 m ² = 6.1%
GRASS	= 128.21 m ² = 30.5%
GARDEN BED	= 14.08 m ² = 3.5%

AS PER ABOVE CALCULATIONS THE AMOUNT OF PERMEABLE AREA (GRASS 30.5% + GARDEN BED 3.5% = 34.0%) EXCEEDS AT LEAST 20% OF THE ALLOTMENT AREA.

LEGEND

	GRASS
	GARDEN BED
	CONCRETE

FIBRE OPTIC NOTE:

ALL HOMES MUST INSTALL OR MAKE ALLOWANCE FOR OPTIC-FIBRE CABLING. TO ACCESS THIS HIGH-SPEED BROADBAND AND TELEPHONE SERVICE, HOMES NEED TO COMPLY WITH THE OPTICOMM IN HOME WIRING GUIDELINES.

FENCE NOTE:

SIDE & REAR BOUNDARY FENCES
SIDE & REAR FENCES TO BE TYPICAL LAPPED & CAPPED TIMBER PALING FENCE WITH EXPOSED POSTS AND A MAXIMUM OF 1.8m IN HEIGHT.

FENCE TO TERMINATE 1.5m FROM THE FRONT BUILDING LINE AND IF APPLICABLE 1.0m BEHIND THE NEIGHBOURING DWELLING.

ACCES GATES & SCREENS
SIDE GATES & MATCHING WING SCREENS SHALL BE STAINED HARDWOOD WITH HORIZONTAL SLATING. SLATTING EXTENDS FROM THE BOUNDARY TO THE DWELLING SET 1.5m BEHIND FRONT OF DWELLING (OR MORE ONLY WHERE CONFLICT WITH WINDOWS) AND IF APPLICABLE 1.0m BEHIND THE NEIGHBOURING DWELLING.

LOT 202
VACANT
AS OF 18.12.24

LOT 122
VACANT
AS OF 18.12.24

LOT 204
VACANT
AS OF 18.12.24

PROPOSED 1.8m HIGH FENCE
CONSTRUCTED WITH LAPPED &
CAPPED TIMBER PALING WITH
EXPOSED POSTS AT A MAXIMUM
HEIGHT OF 1.8m HIGH

EXISTING
CONCRETE SLEEPER
RETAINING WALL

PROPOSED 1.8m HIGH FENCE
CONSTRUCTED WITH LAPPED &
CAPPED TIMBER PALING WITH
EXPOSED POSTS AT A MAXIMUM
HEIGHT OF 1.8m HIGH

EXISTING
CONCRETE SLEEPER
RETAINING WALL

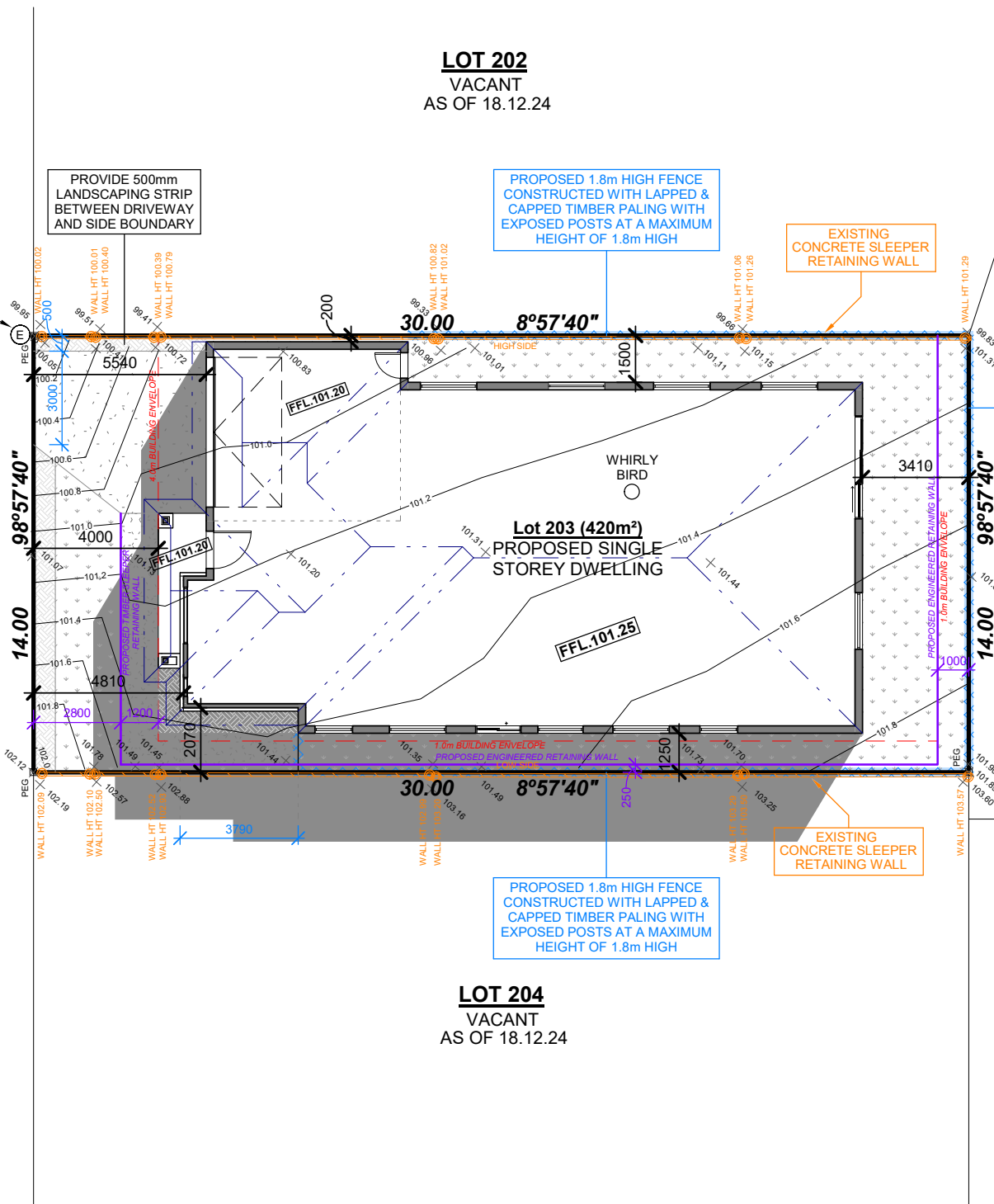
PROPOSED 1.8m HIGH FENCE
CONSTRUCTED WITH LAPPED &
CAPPED TIMBER PALING WITH
EXPOSED POSTS AT A MAXIMUM
HEIGHT OF 1.8m HIGH

PROVIDE 500mm
LANDSCAPING STRIP
BETWEEN DRIVEWAY
AND SIDE BOUNDARY

TBM: TOP OF
ELECTRICITY PIT
RL 100.00m

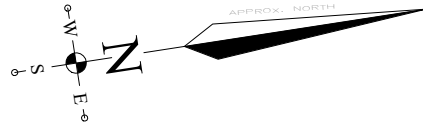
EXISTING
CROSS-OVER

EXISTING
CROSS-OVER



SITE SOIL CLASSIFICATION:
"CLASS P"

IN ACCORDANCE WITH
AS2870-2011
(REFER TO SOIL TEST AS PREPARED BY
ABH SOIL TESTING)



S.W.D
Construct & Discharge 90 diam. PVC storm water drain to legal point of discharge as directed by the city engineer. Min. fall 1 : 100. Provide inspection openings @ 9000mm max. ctrs, or at every change of direction.

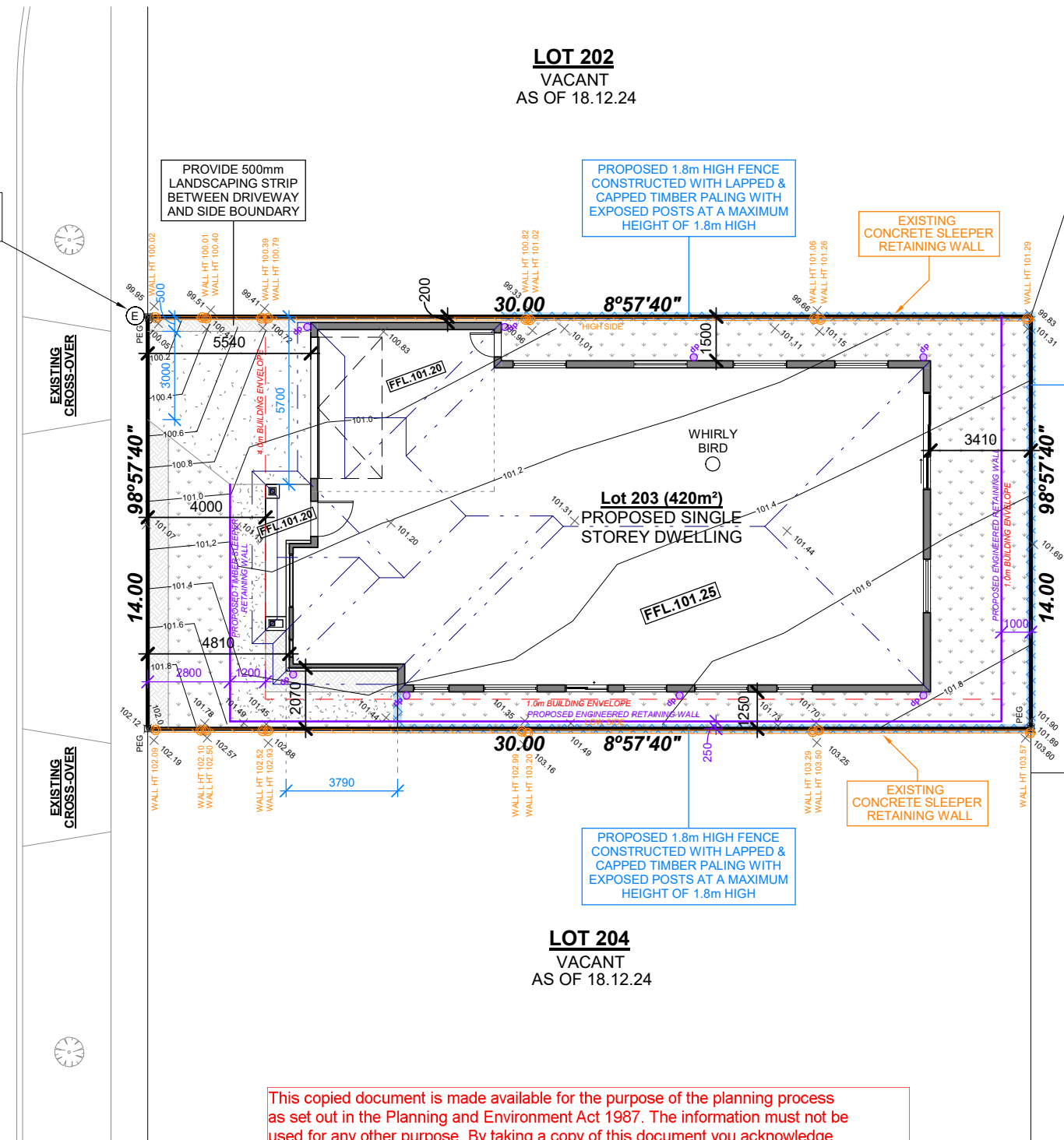
DP denotes 100 x 50 galvanised downpipes @ 12000mm max. ctrs.

Note:
Provide 100mm diam. Sewergrade S.W drain under slab and driveway.

NOTE:
Connect Legal Point of Discharge as per Stormwater and Property Information sheet from the Council, accuracy of location is not guaranteed. Please ref. Council sheets for exact Connection details and location.

- DRAINAGE NOTE:**
- All surface drainage works shall be installed in accordance with the engineers design detail for the selected footing system and soil classification and in accordance with Clause 5.6.3 Drainage Requirements of AS2870-2011, wherein for buildings on Moderately, Highly and Reactive sites:
Surface drainage shall be controlled throughout construction and be completed by the finish of construction.
The base of trenches shall slope away from the building Where pipes pass under the footing systems, clay plugs are adopted to prevent the ingress of water.
 - For buildings on Highly and Reactive sites, the Drainer shall provide drainage articulation to all stormwater, sanitary plumbing drains and discharge pipes in accordance with Clause 5.6.4 Plumbing Requirements, wherein flexible joints immediately outside the footing and commencing within 1m of the building perimeter are required to accommodate the required differential movement based on the soil classification.
 - Surface water must be diverted away from the dwelling and graded away from all foundations to give a slope of not less than 50mm over the first 1000mm from the dwelling.
 - Subsurface drains to remove ground or table water shall be detailed by the design engineer. Furthermore, damp-proofing membrane in accordance with 5.3.3 shall be installed for groundwater or aggressive soils.

MONTEREY WAY



This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

PERMEABILITY CALCULATIONS

TOTAL LOT AREA = 420 m²

DWELLING	= 251.99 m² = 59.9%
CONCRETE	= 25.72 m² = 6.1%
GRASS	= 128.21 m² = 30.5%
GARDEN BED	= 14.08 m² = 3.5%

AS PER ABOVE CALCULATIONS THE AMOUNT OF PERMEABLE AREA (GRASS 30.5% + GARDEN BED 3.5% = 34.0%) EXCEEDS AT LEAST 20% OF THE ALLOTMENT AREA.

LOT 122
VACANT
AS OF 18.12.24

LEGEND

	GRASS
	GARDEN BED
	CONCRETE

FIBRE OPTIC NOTE:

ALL HOMES MUST INSTALL OR MAKE ALLOWANCE FOR OPTIC-FIBRE CABLING. TO ACCESS THIS HIGH-SPEED BROADBAND AND TELEPHONE SERVICE, HOMES NEED TO COMPLY WITH THE OPTICOMM IN HOME WIRING GUIDELINES.

FENCE NOTE:

SIDE & REAR BOUNDARY FENCES
SIDE & REAR FENCES TO BE TYPICAL LAPPED & CAPPED TIMBER PALING FENCE WITH EXPOSED POSTS AND A MAXIMUM OF 1.8m IN HEIGHT.

FENCE TO TERMINATE 1.5m FROM THE FRONT BUILDING LINE AND IF APPLICABLE 1.0m BEHIND THE NEIGHBOURING DWELLING.

ACCES GATES & SCREENS
SIDE GATES & MATCHING WING SCREENS SHALL BE STAINED HARDWOOD WITH HORIZONTAL SLATING. SLATTING EXTENDS FROM THE BOUNDARY TO THE DWELLING SET 1.5m BEHIND FRONT OF DWELLING (OR MORE ONLY WHERE CONFLICT WITH WINDOWS) AND IF APPLICABLE 1.0m BEHIND THE NEIGHBOURING DWELLING.

SITE PLAN scale 1:200



EMAIL: NAM@PROJECTD.COM.AU MOB: 0412 223 771

GENERAL NOTES:

- *All measurements & levels to be checked prior to construction
- *Provide impervious floor & wall finish to all wet areas
- *Provide safety glass where required to AS1288.
- *Provide control joints at approx 5.0 M ctrs max
- *Provide smoke detectors as per A.S. 3786

NOTE: ALL MEASUREMENTS & LEVELS TO BE CHECKED PRIOR TO CONSTRUCTION BY BUILDER OR OWNER.

© COPYRIGHT - THESE PLANS BELONG TO PROJECT D AND ARE NOT TO BE COPIED OR SOLD.

AREA SCHEDULE

SITE AREA: 420 m²
BUILDING COVERAGE: 59.9 %

GROUND	210.79 m²
GARAGE	36.07 m²
PORCH	5.13 m²

TOTAL 251.99 m² = 27.1 SQ.

REV.	COMMENT	DATE	BY
A	WORKING DRAWINGS	24/02/25	NDT
B	TP AMENDMENTS	08/04/25	NDT

CLIENT
Barnala Designer Homes

SUBJECT SITE
**Lot 203, No.7 Monterey Way
PAKENHAM 3810**

Site Plan

Project number	Job #20736
Date	April 2025
Drawn by	NDT
Scale	1 : 200

CLIENT SIGNATURE:

DATE:

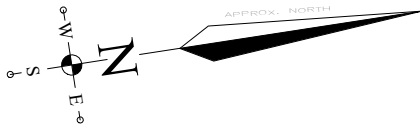
9 OF 12

HUU NAM TRAN DANG DP-AD 65315

LEGEND

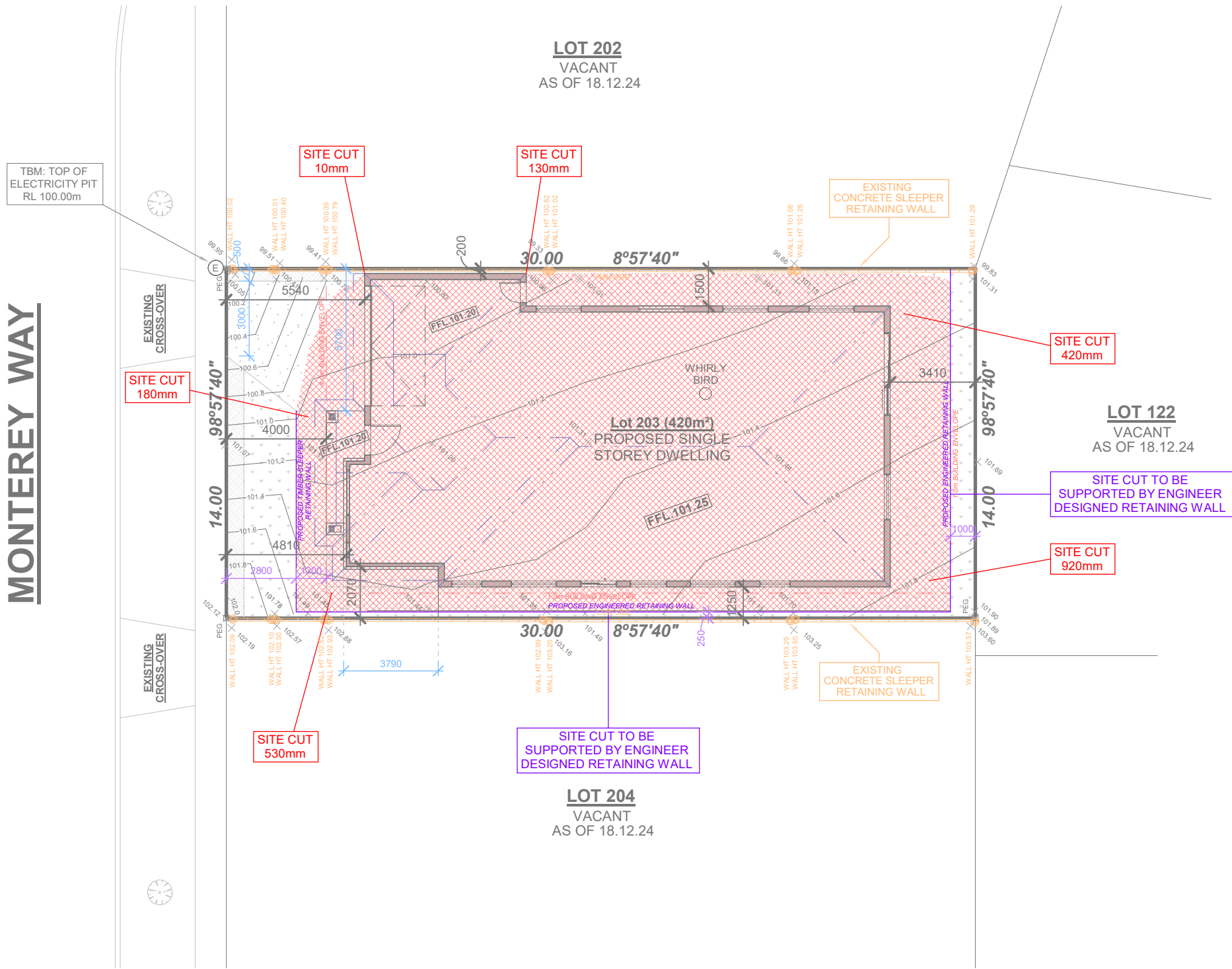
SITE CUT

PROPOSED SITE CUT
LEVEL AT 100.865



This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

MONTEREY WAY



SITE CUT PLAN scale 1:200



EMAIL: NAM@PROJECTD.COM.AU MOB: 0412 223 771

GENERAL NOTES:

- *All measurements & levels to be checked prior to construction
- *Provide impervious floor & wall finish to all wet areas
- *Provide safety glass where required to AS1288.
- *Provide control joints at approx 5.0 M ctrs max
- *Provide smoke detectors as per A.S. 3786

NOTE: ALL MEASUREMENTS & LEVELS TO BE CHECKED PRIOR TO CONSTRUCTION BY BUILDER OR OWNER.

© COPYRIGHT - THESE PLANS BELONG TO PROJECT D AND ARE NOT TO BE COPIED OR SOLD.

AREA SCHEDULE

SITE AREA: 420 m²	
BUILDING COVERAGE: 59.9 %	
GROUND	210.79 m²
GARAGE	36.07 m²
PORCH	5.13 m²
TOTAL 251.99 m² = 27.1 SQ.	

REV.	COMMENT	DATE	BY
A	WORKING DRAWINGS	24/02/25	NDT
B	TP AMENDMENTS	08/04/25	NDT

CLIENT
Barnala Designer Homes

SUBJECT SITE
Lot 203, No.7 Monterey Way
PAKENHAM 3810

Site Cut Plan

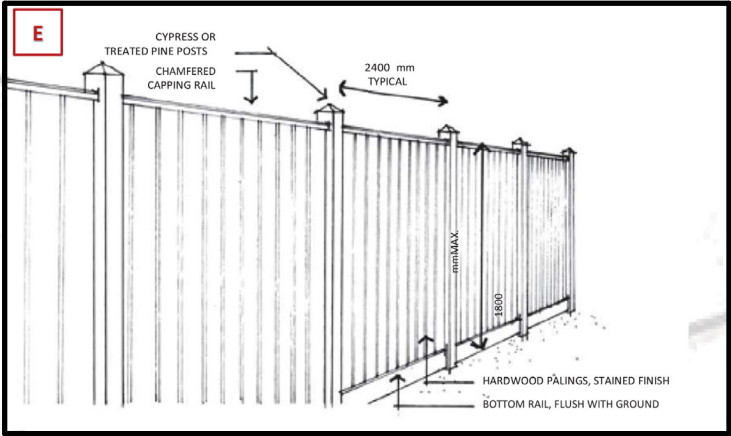
Project number	Job #20736
Date	April 2025
Drawn by	NDT
Scale	1 : 200

CLIENT SIGNATURE:

DATE:

10 OF 12

HUU NAM TRAN DANG DP-AD 65315



FENCE NOTE:

SIDE & REAR BOUNDARY FENCES

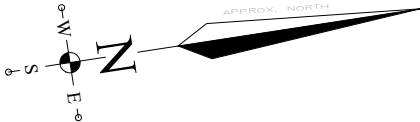
SIDE & REAR FENCES TO BE TYPICAL LAPPED & CAPPED TIMBER PALING FENCE WITH EXPOSED POSTS AND A MAXIMUM OF 1.8m IN HEIGHT.

FENCE TO TERMINATE 1.5m FROM THE FRONT BUILDING LINE AND IF APPLICABLE 1.0m BEHIND THE NEIGHBOURING DWELLING.

ACCES GATES & SCREENS

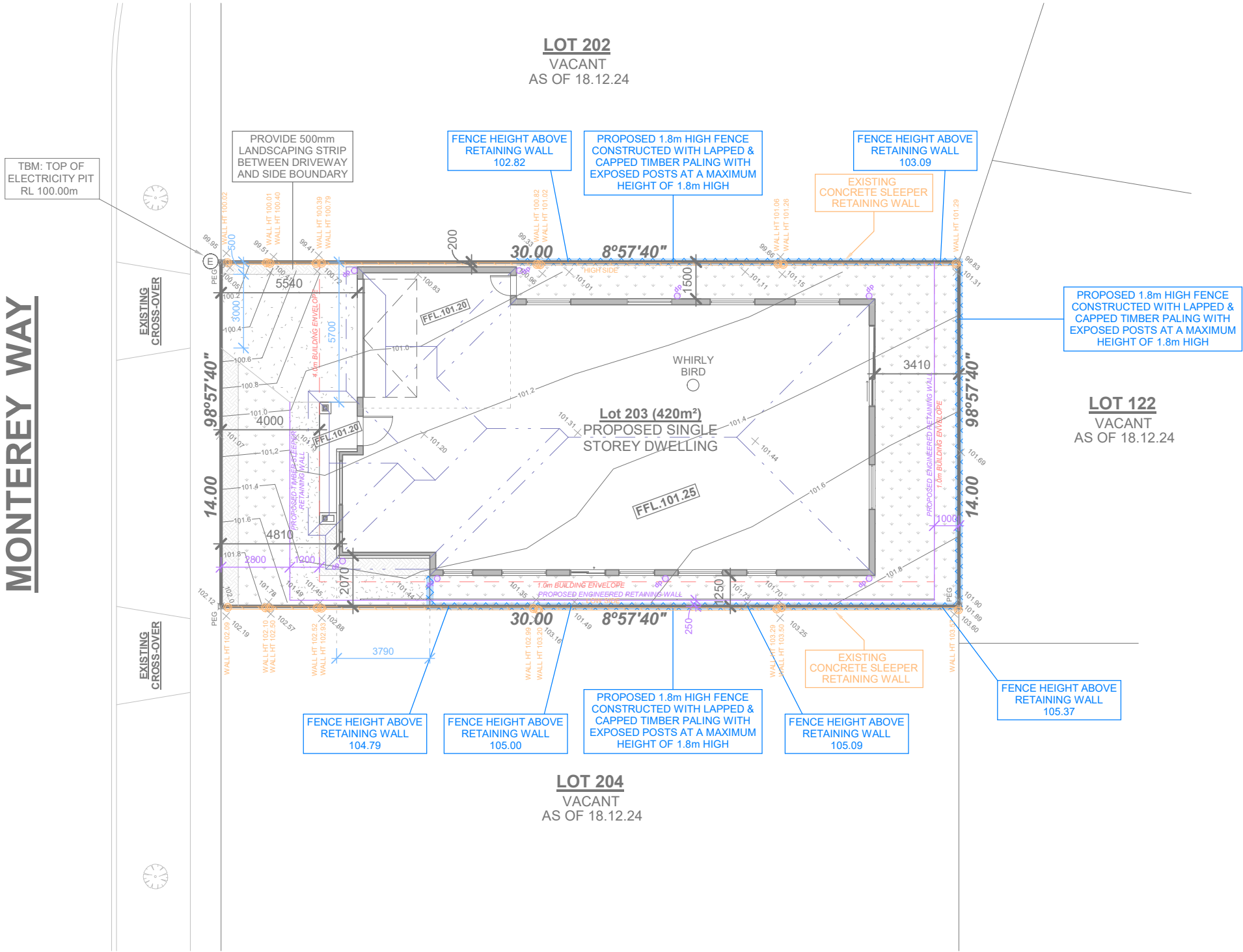
SIDE GATES & MATCHING WING SCREENS SHALL BE STAINED HARDWOOD WITH HORIZONTAL SLATING. SLATTING EXTENDS FROM THE BOUNDARY TO THE DWELLING SET 1.5m BEHIND FRONT OF DWELLING (OR MORE ONLY WHERE CONFLICT WITH WINDOWS) AND IF APPLICABLE 1.0m BEHIND THE NEIGHBOURING DWELLING.

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



FENCING PLAN

scale 1:200



GENERAL NOTES:

- *All measurements & levels to be checked prior to construction
- *Provide impervious floor & wall finish to all wet areas
- *Provide safety glass where required to AS1288.
- *Provide control joints at approx 5.0 M ctrs max
- *Provide smoke detectors as per A.S. 3786

NOTE: ALL MEASUREMENTS & LEVELS TO BE CHECKED PRIOR TO CONSTRUCTION BY BUILDER OR OWNER.

© COPYRIGHT - THESE PLANS BELONG TO PROJECT D AND ARE NOT TO BE COPIED OR SOLD.

AREA SCHEDULE

SITE AREA: 420 m²	
BUILDING COVERAGE: 59.9 %	
GROUND	210.79 m²
GARAGE	36.07 m²
PORCH	5.13 m²
TOTAL 251.99 m² = 27.1 SQ.	

REV.	COMMENT	DATE	BY
A	WORKING DRAWINGS	24/02/25	NDT
B	TP AMENDMENTS	08/04/25	NDT

CLIENT

Barnala Designer Homes

SUBJECT SITE

Lot 203, No.7 Monterey Way
PAKENHAM 3810

Fencing Plan

Project number Job #20736

Date April 2025

Drawn by NDT

Scale 1 : 200

CLIENT SIGNATURE:

DATE:

11 OF 12

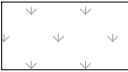
HUU NAM TRAN DANG DP-AD 65315




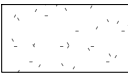
EMAIL: NAM@PROJECTD.COM.AU MOB: 0412 223 771

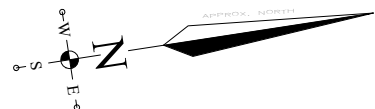
This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

LEGEND






 GRASS

 GARDEN BED

 CONCRETE



MONTEREY WAY

LANDSCAPING CONCEPT LEGEND							
	Key	Style	Botanical Name	Common Name	Qty.	size @ maturity (H x W) M	Pot Size
Tree:	A1		Pyrus Betulifolia 'Southworth' Dancer	Dancer Pear	1	7.0m x 5.0m	75 ltr.
Shrub:	B1		Tetragonia Tetragonoides	Warrigal Greens	6	0.2m x 0.2m	150mm
	B2		Goodenia Ovata	Hop Goodenia	19	1.0m x 1.0m	150mm
	B3		Pimelea Glauca	Smooth Rice-Flower	6	0.6m x 0.6m	150mm
	B4		Poa Sieberiana	Tussock Grass	14	1.2m x 0.5m	200mm
NOTE FOR PROPOSED TREES: Proposed "Acer Buergerianum" (A1) to be 'advanced' having a minimum pot size of 75 ltr. at time of planting & minimum height 1.5M tall							

LANDSCAPING PLAN

scale 1:100

 PROJECT D

EMAIL: NAM@PROJECTD.COM.AU MOB: 0412 223 771

GENERAL NOTES:

*All measurements & levels to be checked prior to construction

*Provide impervious floor & wall finish to all wet areas

*Provide safety glass where required to AS1288.

*Provide control joints at approx 5.0 M ctrs max

*Provide smoke detectors as per A.S. 3786

NOTE: ALL MEASUREMENTS & LEVELS TO BE CHECKED PRIOR TO CONSTRUCTION BY BUILDER OR OWNER.

© COPYRIGHT - THESE PLANS BELONG TO PROJECT D AND ARE NOT TO BE COPIED OR SOLD.

AREA SCHEDULE	
SITE AREA: 420 m² BUILDING COVERAGE: 59.9 %	
GROUND	210.79 m²
GARAGE	36.07 m²
PORCH	5.13 m²
TOTAL 251.99 m² = 27.1 SQ.	

REV.	COMMENT	DATE	BY
A	WORKING DRAWINGS	24/02/25	NDT
B	TP AMENDMENTS	08/04/25	NDT

CLIENT

Barnala Designer Homes

SUBJECT SITE

Lot 203, No.7 Monterey Way
PAKENHAM 3810

Landscaping Plan

Project number Job #20736

Date April 2025

Drawn by NDT

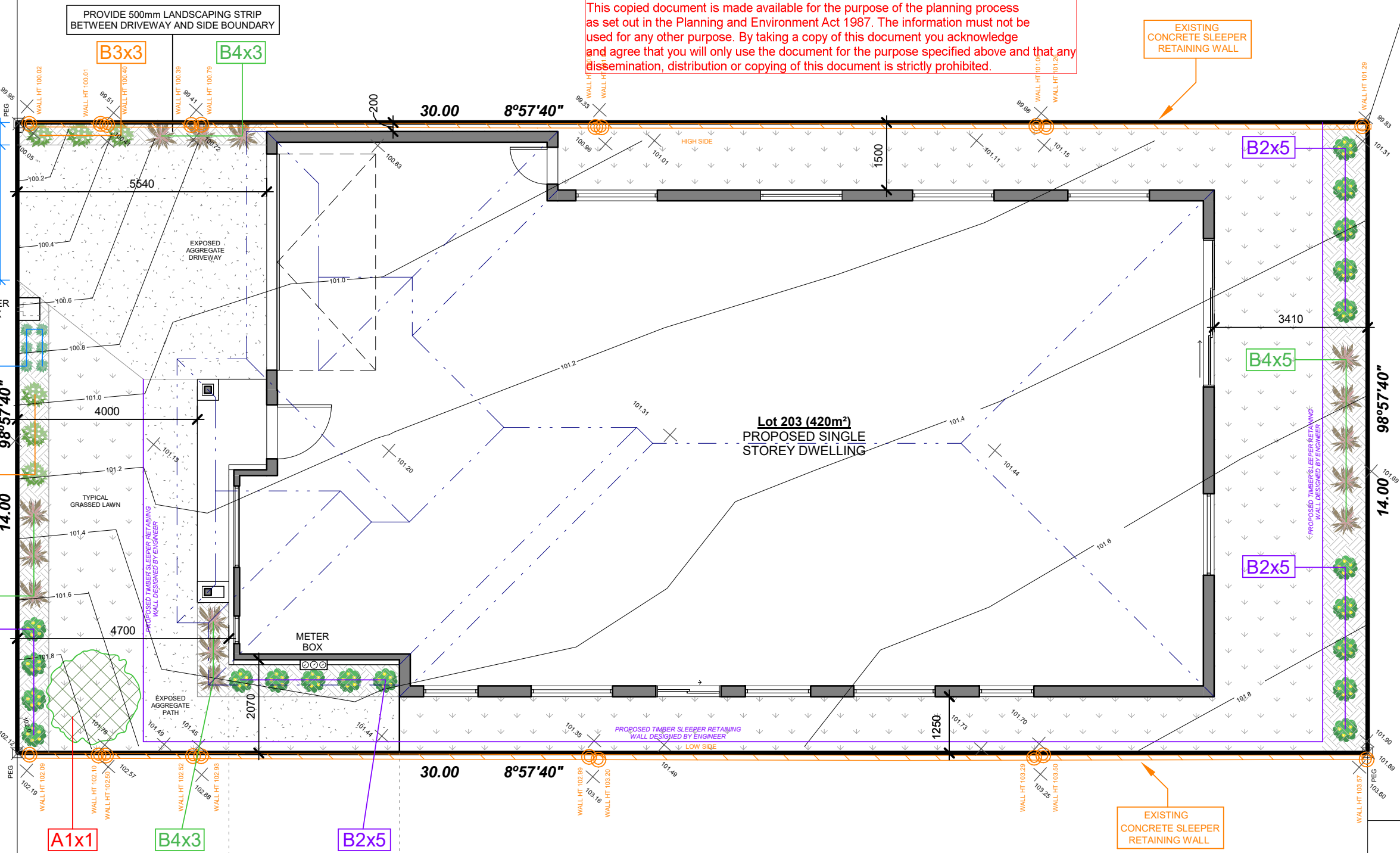
Scale 1 : 100

CLIENT SIGNATURE:

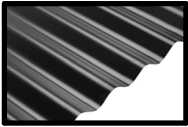

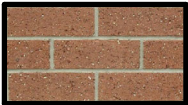

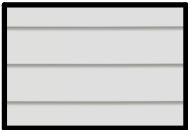





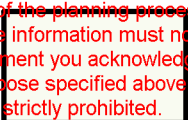



DATE:

12 OF 12

HUU NAM TRAN DANG DP-AD 65315




COLOUR SPECIFICATIONS

<ul style="list-style-type: none"> * COLORBOND ROOF - (MONUMENT) - 	<ul style="list-style-type: none"> * ALUMINIUM WINDOW FRAMES - (DOVER WHITE) - 
<ul style="list-style-type: none"> * GROUND FLOOR WALLS FACE BRICKWORK - (MOCHA) - ADVANCE BRICKS 	<ul style="list-style-type: none"> * GUTTER & FASCIA - (MONUMENT) - 
<ul style="list-style-type: none"> * HORIZONTAL TIMBER CLADDING - (DOVER WHITE) - 	<ul style="list-style-type: none"> * DOWNPIPE - (DOVER WHITE) - 
<ul style="list-style-type: none"> * RENDER FINISH TO FRONT FACADE WALLS - (SILVER TEA SET) - 	<ul style="list-style-type: none"> * METERBOX - (DOVER WHITE) - 
<ul style="list-style-type: none"> * PORCH TIMBER POSTS - (DOVER WHITE) - 	<ul style="list-style-type: none"> * LETTERBOX - (DOVER WHITE) - 
<ul style="list-style-type: none"> * ENTRY DOOR WITH TRANSLUCENT GLASS - (DOVER WHITE) - 	<ul style="list-style-type: none"> * WHIRLYBIRD - (MONUMENT) - 
<ul style="list-style-type: none"> * GARAGE SECTIONAL DOOR - (DOVER WHITE) - 	<ul style="list-style-type: none"> * EXPOSED AGGREGATE DRIVEWAY - (BLACK & WHITE MIX) - 

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

COLOURS DISPLAYED ABOVE MAY APPEAR DIFFERENT TO ACTUAL COLOURS DUE TO PRINTER

 <p>EMAIL: NAM@PROJECTD.COM.AU MOB: 0412 223 771</p>	<p>Barnala Designer Homes</p> <p>Lot 203, No.7 Monterey Way PAKENHAM 3810</p>	<p>Colour Specifications</p>	<p>CLIENT SIGNATURE: _____</p>
		<p>Project number Job #20736</p>	<p>DATE: _____</p>
		<p>Date April 2025</p>	<p>12a OF 12</p>
		<p>Drawn by NDT</p>	
		<p>Scale</p>	