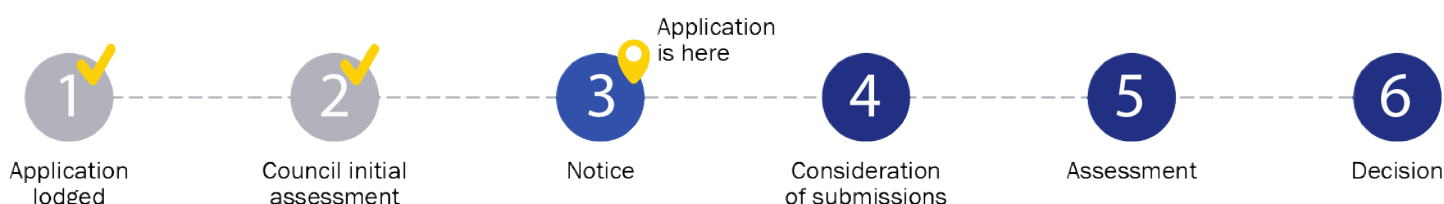


Notice of Application for a Planning Permit

The land affected by the application is located at:	L163 PS649677 V11683 F177 12 Galway Rise, Pakenham VIC 3810
The application is for a permit to:	Buildings and Works (Construction of a Dwelling and a Fence)
A permit is required under the following clauses of the planning scheme:	
	42.01-2 Construct a building or construct or carry out works
APPLICATION DETAILS	
The applicant for the permit is:	Platinum Designer Builders
Application number:	T250077
<p>You may look at the application and any documents that support the application at the office of the responsible authority:</p> <p>Cardinia Shire Council, 20 Siding Avenue, Officer 3809.</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.</p>	
HOW CAN I MAKE A SUBMISSION?	
<p>This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:</p>	
25 April 2025	
<p>WHAT ARE MY OPTIONS?</p> <p>Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.</p> <p>If you object, the Responsible Authority will notify you of the decision when it is issued.</p>	<p>An objection must:</p> <ul style="list-style-type: none"> • be made to the Responsible Authority in writing; • include the reasons for the objection; and • state how the objector would be affected.
<p>The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.</p>	



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ePlanning

Application Summary

Portal Reference A1255CN

Basic Information

Proposed Use	Single Storey dwelling on a lot
Current Use	Vacant Land
Cost of Works	\$660,000
Site Address	12 Galway Rise Pakenham 3810

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

Not Applicable, no such encumbrances apply.

Contacts

Total \$1,535.00

Meetings

Meeting Type	Officer Name	Date of Meeting
Pre Application	Ashleigh	14 Feb 2025



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VC, 3810

Email: mail@cardinia.vic.gov.au

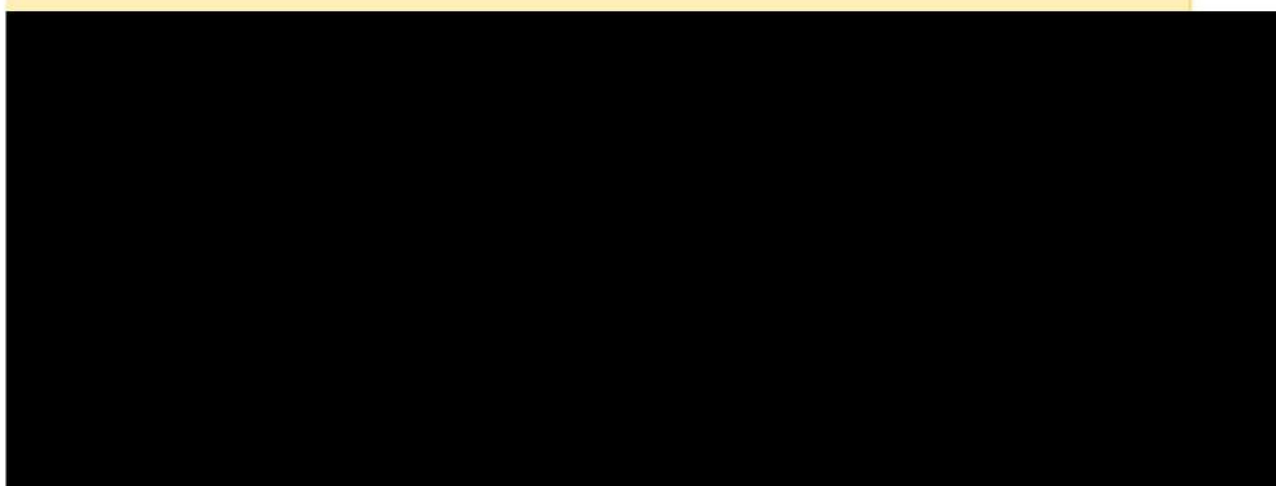
Monday to Friday 8.30am–5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

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Documents Uploaded

Date	Type	Filename
14-02-2025	A Copy of Title	163P- Title 14-02-25.pdf
14-02-2025	Site plans	163P-WD-12-02-25.pdf
14-02-2025	Additional Document	163P- Survey.pdf
14-02-2025	Additional Document	163P- POS 27-11-23.pdf
14-02-2025	Additional Document	163P-AKS75312M.pdf

☐ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit



20 Siding Avenue, Officer, Victoria

**Council's Operations Centre
(Depot)**
Purton Road, Pakenham, Victoria

Cardinia Shire Council
P.O. Box 7, Pakenham VIC, 3810
Email: mail@cardinia.vic.gov.au

8.30am to 5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784



Civic Centre
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Monday to Friday 8.30am–
5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

PERMIT APPLICATION DETAILS

Application No.:	T250077
Address of the Land:	12 Galway Rise, Pakenham VIC 3810

APPLICANT DETAILS

AMENDMENT TYPE

Under which section of the Act is this amendment being made? (select one)	
Section 50 – Amendment to application at request of applicant before notice:	<input type="checkbox"/>
Section 50A – Amendment to application at request of responsible authority before notice:	<input checked="" type="checkbox"/>
Section 57A – Amendment to application after notice is given:	<input type="checkbox"/>

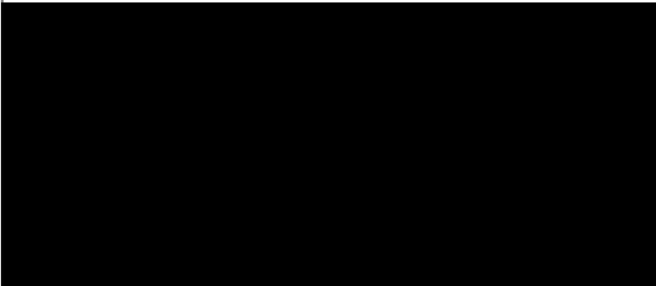
AMENDMENT DETAILS

What is being amended? (select all that apply)		
What is being applied for <input checked="" type="checkbox"/>	Plans / other documents <input type="checkbox"/>	Applicant / owner details <input type="checkbox"/>
Land affected <input type="checkbox"/>	Other <input type="checkbox"/>	
Describe the changes. If you need more space, please attach a separate page.		
Buildings and Works (Construction of a Dwelling) - Clause 42.01-2 a permit is required to construct a dwelling and a fence		

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Specify the estimated cost of any development for which the permit is required:		
Not applicable <input type="checkbox"/>	Unchanged <input checked="" type="checkbox"/>	New amount \$

DECLARATION

	I declare that the information provided is true and correct and the owner (if not myself) has been

LODGEMENT

Please submit this form, including all amended plans/documents, to mail@cardinia.vic.gov.au

You can also make amendments to your application via the Cardinia ePlanning Portal at <https://eplanning.cardinia.vic.gov.au/>

If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.

IMPORTANT INFORMATION

It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application.

Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed.

No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the *Planning and Environment (Fees) Regulations 2016* for more information.

The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant.

Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.

Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*.

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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 11683 FOLIO 177

Security no : 124122049610J
Produced 14/02/2025 04:47 PM

LAND DESCRIPTION

Lot 163 on Plan of Subdivision 649677S

Additional Information: (not part of the Register Search Statement)

Street Address: 12 GALWAY RISE PAKENHAM VIC 3810

ADMINISTRATIVE NOTICES

NIL

eCT Control 17735D CASEY HOUSE & LAND TRANSFERS
Effective from 10/11/2023

DOCUMENT END

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Document Identification	PS649677S
Number of Pages (excluding this cover sheet)	12
Document Assembled	27/11/2023 11:20

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PLAN OF SUBDIVISION		Stage No. —	LRS use only EDITION 1	Plan Number PS 649677S
Location of Land Parish: Nar Nar Goon Township: — Crown Portion: 3 (Part) & 7 (Part) Parish: Nar Nar Goon Township: Pakenham Crown Allotment: 32 (Part) & Part of Former Government Road Title Reference: Vo 8810 Fol. 340 Vo 8652 Fol. 976 Last Plan Reference: Lot 1 LP 8840 Lot 2 LP 8840 Postal Address: 120-150 Pakenham Road (at time of subdivision) Pakenham 3810 MGA94 Co-ordinates: E 366 500 Zone: 55 (of approx. centre of lot and in plan) N 5 786 800		Council Certificate and Endorsement Council Name: Carindia Shire Council Ref: — 1 This plan is certified under section 6 of the Subdivision Act 1988. 2 This plan is certified under section 11(7) of the Subdivision Act 1988 Date of original certification under section 6 / / 20 3. This is a statement of compliance issued under section 21 of the Subdivision Act 1988 <u>OPEN SPACE</u> (i) A requirement for public open space under section 18 of the Subdivision Act 1988 has/has not been made (ii) The requirement has been satisfied (iii) The requirement is to be satisfied in Stage Council Delegate Council Seal Date / / 20 Re-certified under section 11(7) of the Subdivision Act 1988 Council Delegate Council Seal Date / / 20		
Vesting of Roads and/or Reserves				
Identifier	Council/Body/Person			
Roads R 1	Carindia Shire Council			
Roads R-2	Roads Corporation			
Reserve No 1	Carindia Shire Council			
Reserve No.2	Carindia Shire Council			
Reserve No 3	Carindia Shire Council			
Reserve No.4	Carindia Shire Council			
Reserve No.5	SP Electricity Pty Ltd			
Estate: GAIWAY GO.D Development No.: 1 No. of Lots 65 Area: 8.210 ha Melways: 317 C3		Notations Staging This is /is not a staged subdivision Planning Permit No. T060892 Depth Limitation Does not apply. THIS IS A SPEAR PLAN Lots 1 to 100 (Both inclusive) have been omitted from this stage <div style="border: 1px solid red; padding: 5px; color: red; font-size: small;"> This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited. </div> Survey This plan is is not based on survey See BP 2601B This survey has been connected to permanent marks no(s) PM 89 & PM 313 This survey is not in a Proclaimed Survey Area		
Easement Information		LRS use only		
Legend: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
F-1 & F-3	Drainage	See Diag.	This Plan	Carindia Shire Council
E-2, E-3 & F-5	Sewerage	See Diag.	This Plan	South East Water Limited
E-4 & E-5	Water Supply	See Diag.	This Plan	South East Water Limited
Statement of Compliance/Exemption Statement				
Received <input checked="" type="checkbox"/>				
DATE 20 / 11 / 2013				
LRS use only				
PLAN REGISTERED				
TIME 3.52pm				
DATE 3 / 12 / 2013				
Kevin Bond				
Assistant Registrar of Titles				
SHEET 1 OF 11 SHEETS				
 WATSONS URBAN DEVELOPMENT CONSULTANTS & MANAGERS <small>5 MAN ST. MORNINGTON PH (03) 5975 4644 FAX (03) 5975 3916 145 MELBURNIAN SUITE 2, 250 S'K. DA RD, SOUTHBANK PH (03) 9697 8000 FAX (03) 9697 8095</small>		LICENSED SURVEYOR (PRINT) JONATHAN TREVOR NEATE SIGNATURE <u>DIGITALLY SIGNED</u> DATE _____ REF 35213/Stg 1 VERSION 7		
		DATE / / 20 COUNCIL DELEGATE SIGNATURE ORIGINAL SHEET SIZE A3		

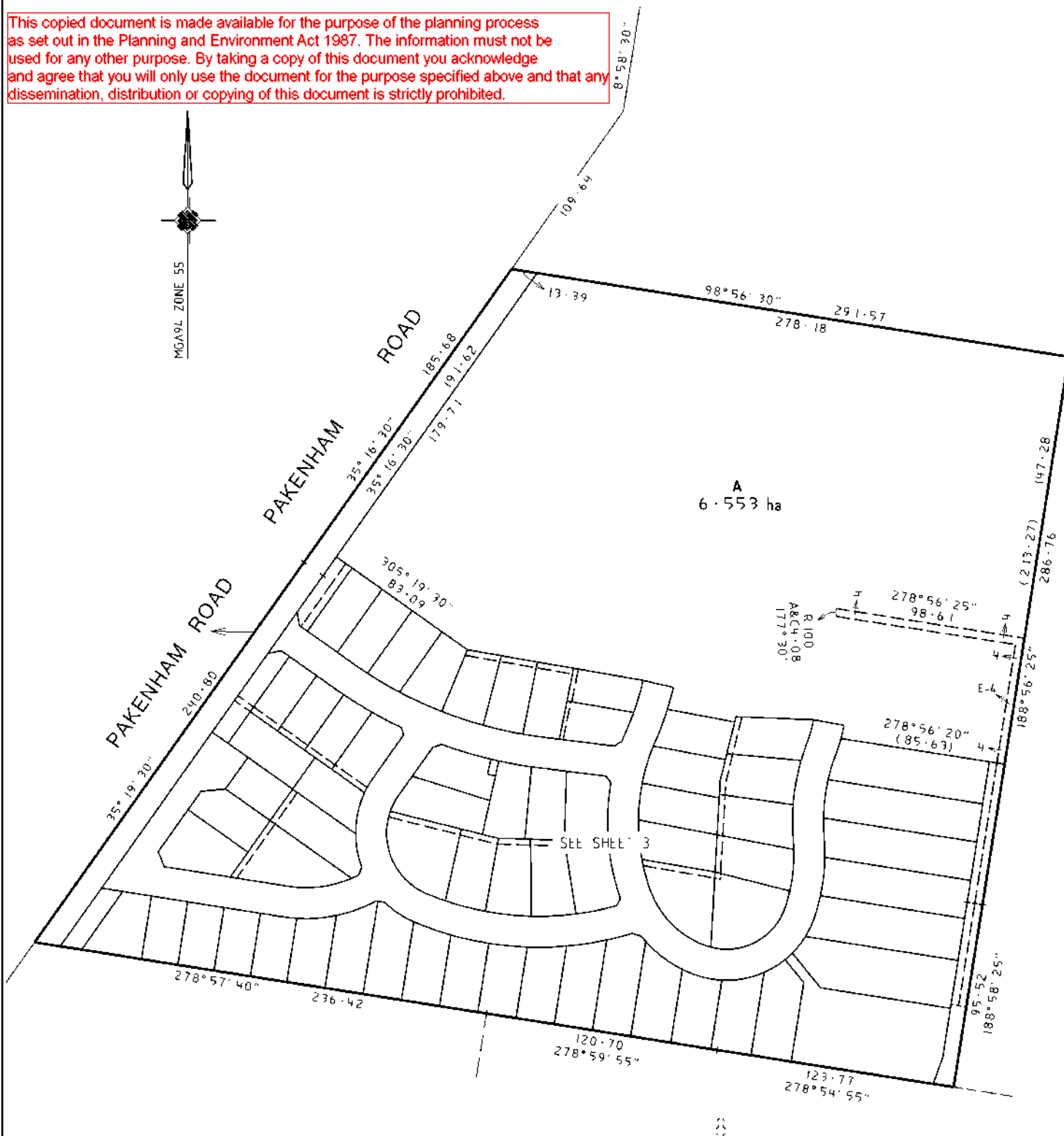
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Stage No

Plan Number

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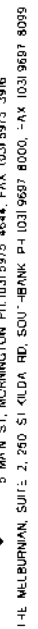
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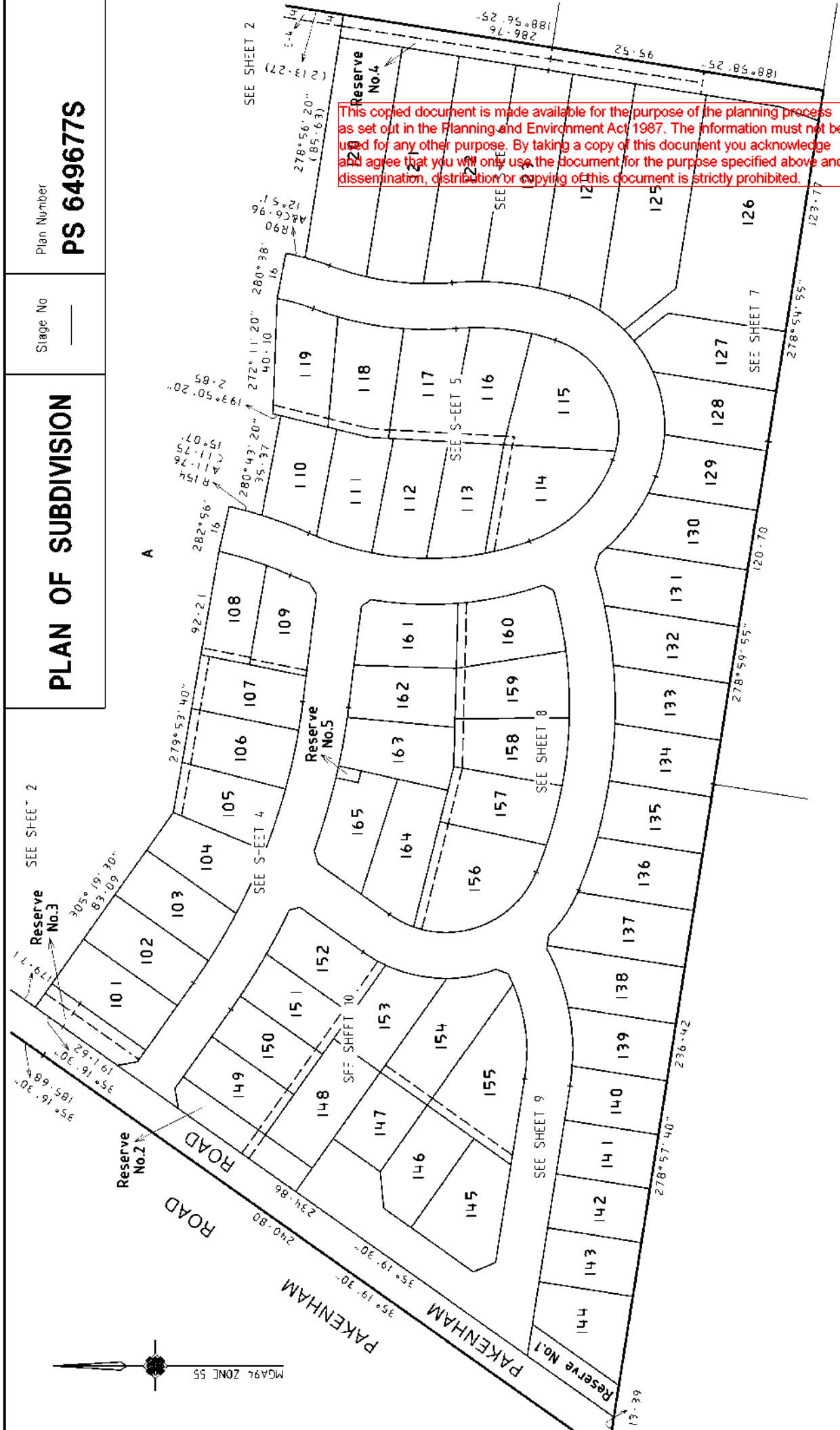
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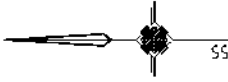


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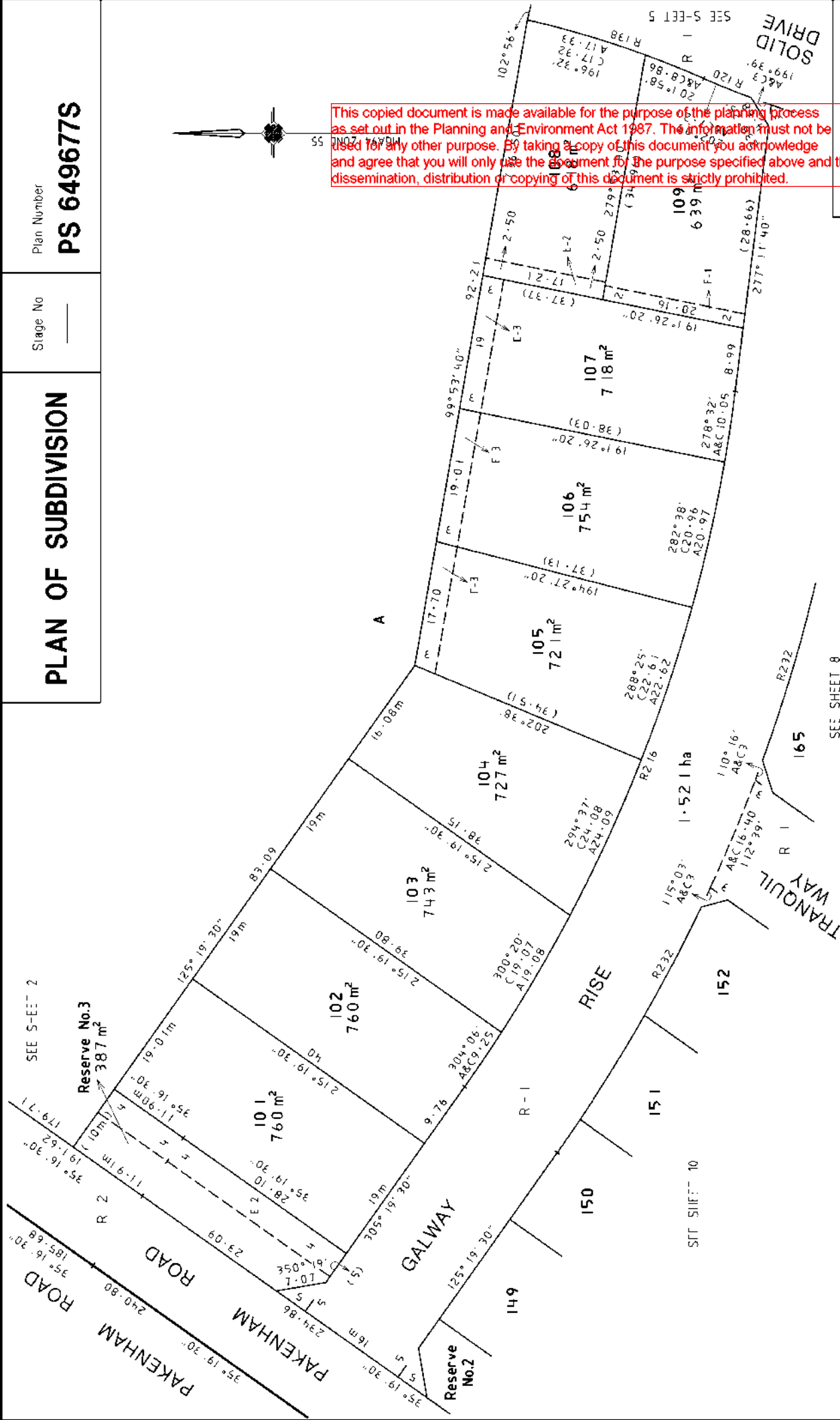
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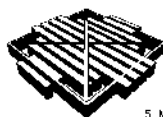
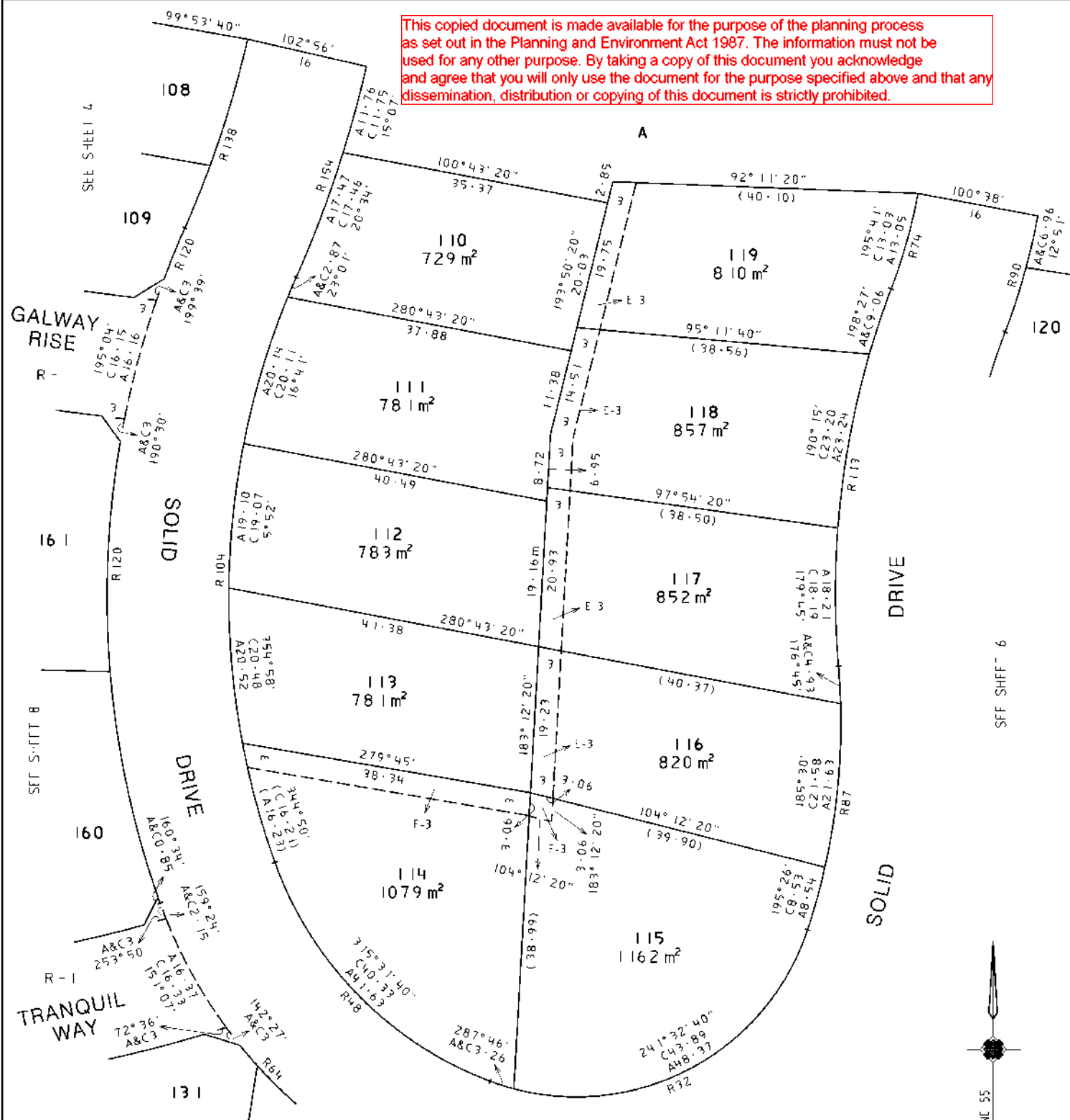
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SHEET 7

MGA94, ZONE 55

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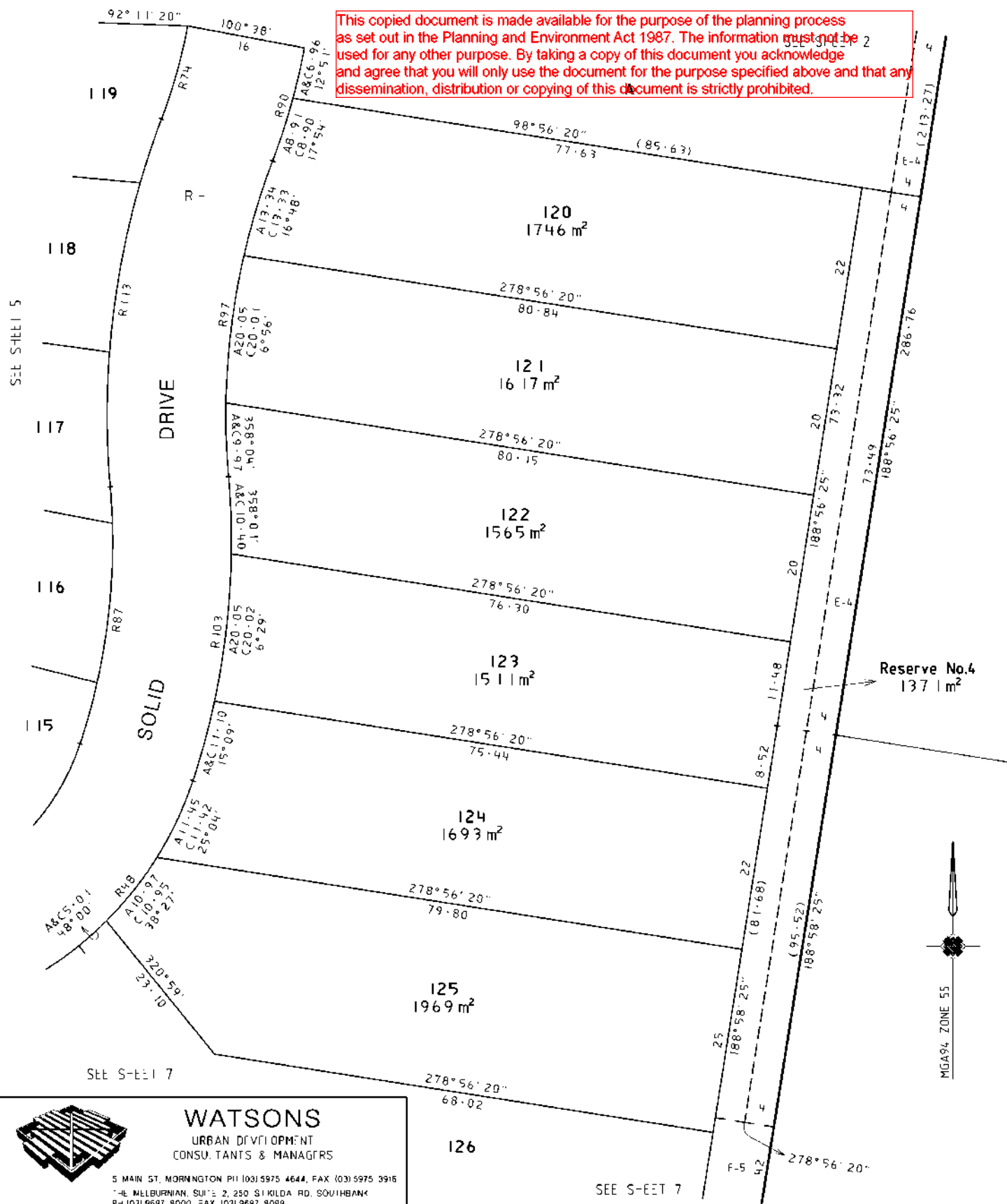
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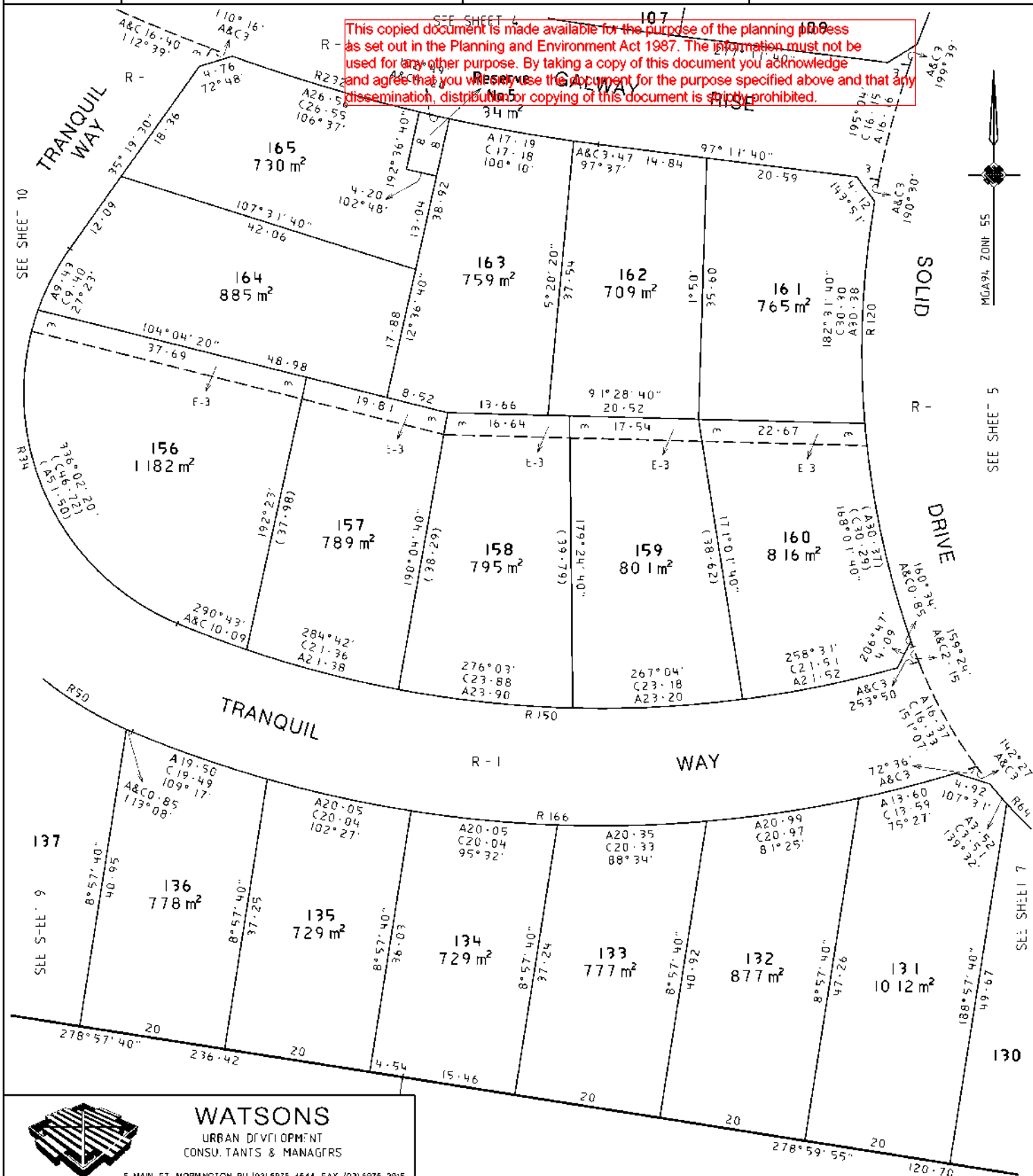
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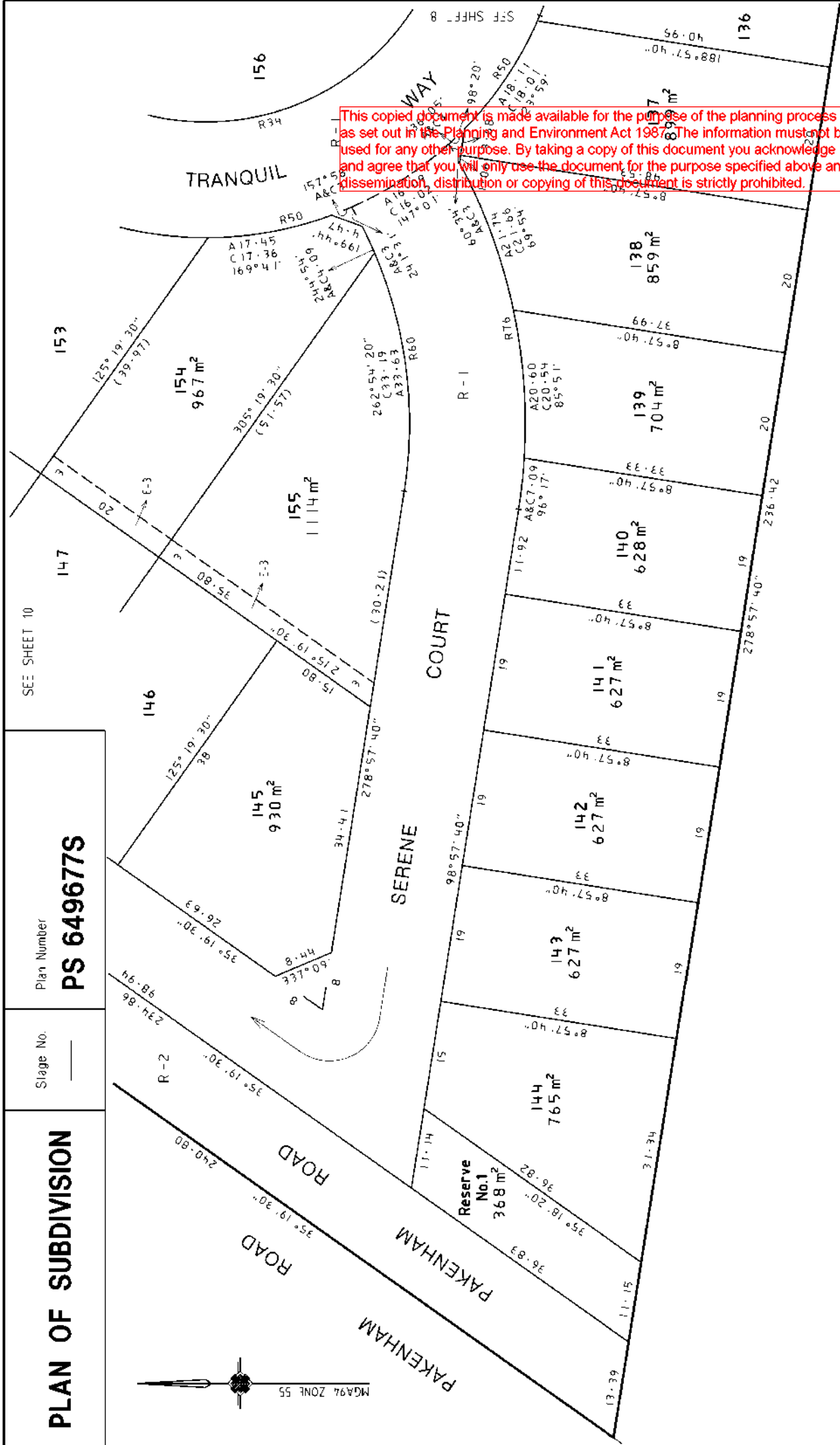
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PLAN OF SUBDIVISION

Stage No. _____

Plan Number
PS 649677S

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TEL: 03 5975 4644 FAX: 03 5975 3916
1-HE MELBURNIAN, SUITE 2, 250 ST KILDA RD, SOUTH-MELB 3000, -VIA 1031 9687 8099

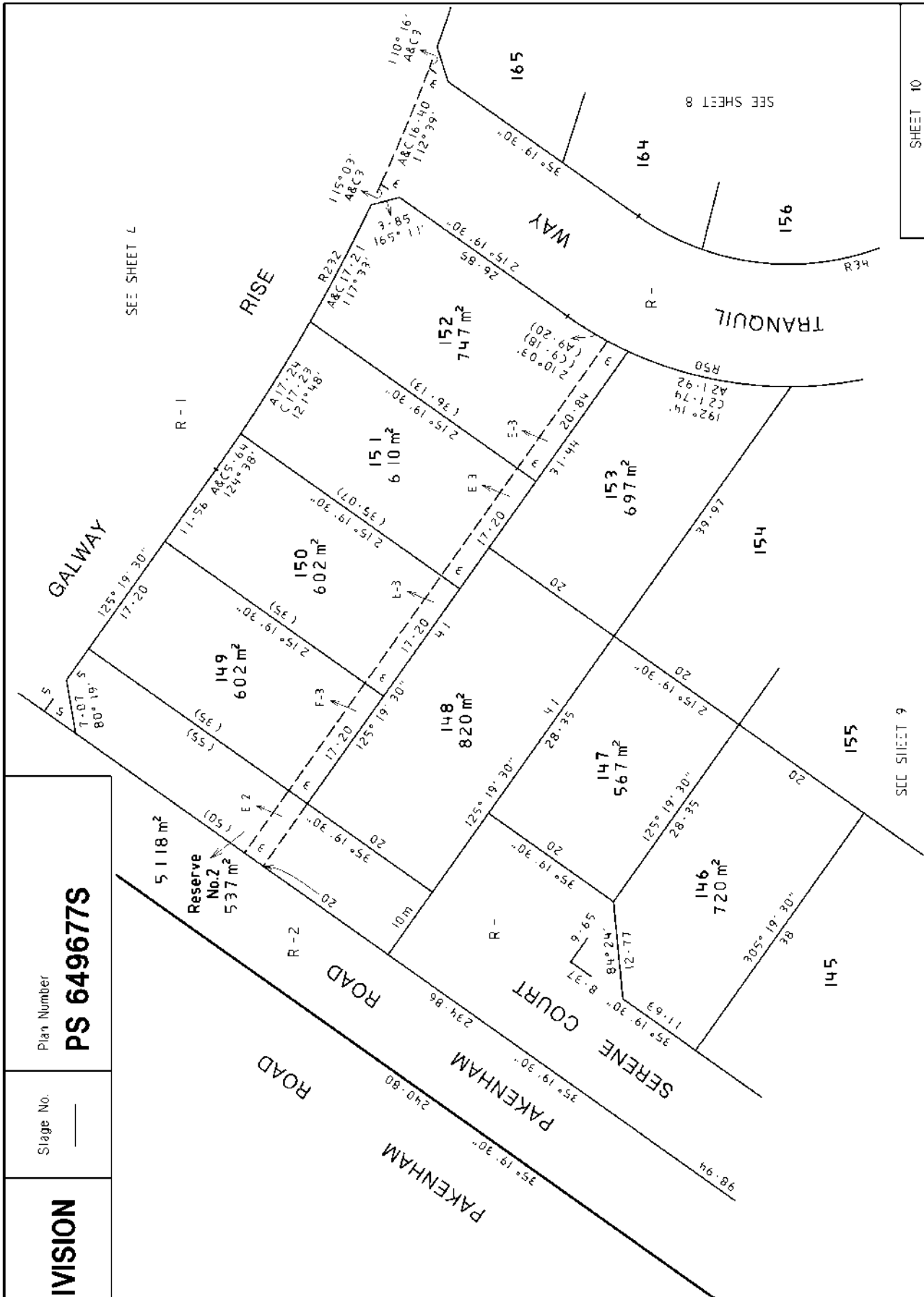
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SHEET 10

DATE / / 20
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Signed by: Jonathan Trevor Neate (Watsons) Surveyor's Plan Version (7) SPEAR Ref: S014069 | 02/03/2012

Plan of Subdivision PS649677S

Certification by Council (Form 5)

SUBDIVISION (PROCEDURES) REGULATIONS 2000

SPEAR Reference Number: S014069H

Plan Number: PS649677S

Responsible Authority Name: Cardinia Shire Council

Responsible Authority Reference Number 1: S11/087

Surveyor's Plan Version: 7

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Certification

This plan is certified under section 6 of the Subdivision Act 1988

Public Open Space

A requirement for public open space under section 18 of the Subdivision Act 1988

Has not been made at Certification

Digitally signed by Council Delegate: Penny Carney

Organisation: Cardinia Shire Council

Date: 17/04/2012

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Number of Pages (excluding this cover sheet)	10
Document Assembled	18/02/2024 14:14

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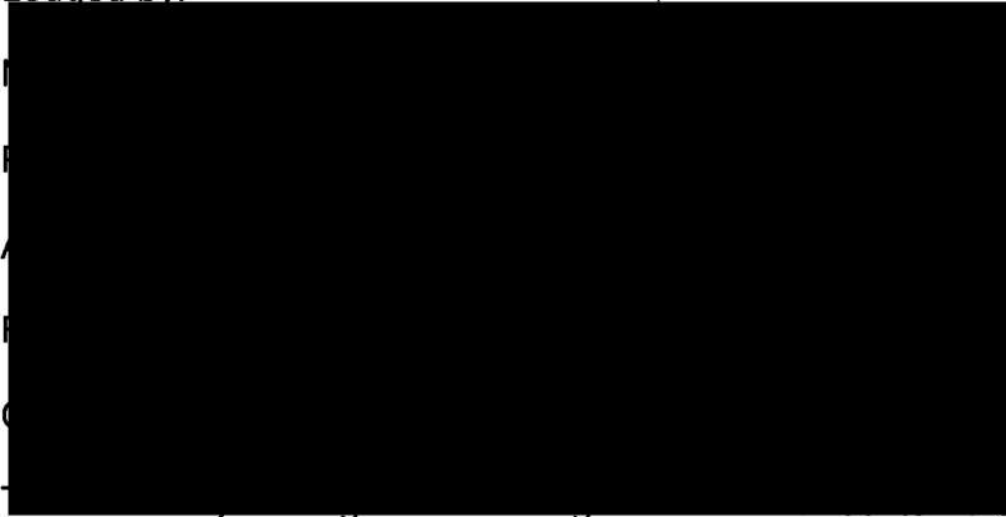


FORM 18 Section 181

**APPLICATION BY A RESPONSIBLE AUTHORITY FOR THE
MAKING OF A RECORDING OF AN AGREEMENT**

Planning and Environment Act 1987

Lodged by:



45

Section
181(1) of the Planning and Environment Act 1987 requires a
recording to be made in the Register for the land.

Land: Volume 8810 Folio 340 and Volume 8652 Folio 976

Authority: *Cardinia Shire Council*
Henty Way, Pakenham, Victoria, 3810

Section and Act under which agreement made:



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- 7. OWNER'S WARRANTY**
- 8. SUCCESSORS IN TITLE**
- 9. GENERAL MATTERS**
- 10. COMMENCEMENT OF AGREEMENT**

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AGREEMENT

THIS AGREEMENT is made the *26th* day of *August* 2013

BETWEEN:

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CARDINIA SHIRE COUNCIL

of Henty Way, Pakenham, in the State of Victoria

("the Council")

- and -

Galway View Pty Ltd, 505 St Kilda Road, Melbourne in the State of Victoria

("the Owner")

INTRODUCTION

- A. Council is the **Responsible Authority** pursuant to the Act for the Planning Scheme.
- B. The Owner is the registered proprietor of the Land.
- C. On 18 September 2007 the Council issued Planning Permit No. T060892 permitting subdivision of the land into 110 lots, the provision of public open space and tree reserves, creation of access to a Road Zone Category 1 and the removal of native vegetation generally in accordance with the endorsed plan. Condition 3 of the Planning Permit requires the Owner to enter into this Agreement to provide for the matters set out in that condition.
- D. A Plan of Subdivision was not certified within two years of the date of the Planning Permit. An extension of time was approved by Council on 16 September 2009 and 10 October 2011. Endorsed Plans were approved on 22 September 2012 and this revised the lot numbers compared to the original permit application plans (Watsons Pty Ltd Revision E). The lots previously numbered 36 to 47 inclusive on Watsons Pty Ltd Revision E and obligated in Condition 3 of the Planning Permit are renumbered lots 120 to 126 inclusive and lots 223 to 227 inclusive on the Endorsed Plan.
- E. The parties enter into this Agreement:-
 - (a) to give effect to the requirements of Condition 3 of the Planning Permit; and
 - (b) to achieve and advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Land.

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IT IS AGREED:

1. DEFINITIONS

In this Agreement the words and expressions set out in this clause have the following meanings unless the context admits otherwise:

- 1.1 **"the Act"** means the *Planning and Environment Act 1987*.
- 1.2 **"this Agreement"** means this Agreement and any agreement executed by the parties expressed to be supplemental to this Agreement.
- 1.3 **"Amended Planning Permit Plan"** means the amended plans approved under the Planning Permit as an Endorsed Plan generally in accordance with Watsons Pty Revision E dated 4 September 2007 but modified in accordance with condition 1 of the Planning Permit.
- 1.4 **"Building"** has the same meaning as in the Act.
- 1.5 **"Building Envelope"** means the building envelope shown for a particular lot in the Plan of Subdivision and has the same meaning as in regulation 406 of the Building Regulations.
- 1.6 **"Dwelling"** has the same meaning as in the Cardinia Planning Scheme.
- 1.7 **"Eastern most allotments"** being Lots 120 to 126 inclusive and Lots 223 to 227 inclusive on the Endorsed Plan.
- 1.8 **"Endorsed Plan"** means the plans endorsed with the stamp of the Council from time to time known as the Amended Planning Permit Plan and Landscape Masterplan which form part of the Planning Permit.
- 1.9 **"Land"** means the land situated at 120-150 Pakenham Road, Pakenham, being all of the land contained in Certificate of Title Volume Folio 8810 340 and Certificate of Title Volume Folio 8652 976 and any reference to the Land includes any lot created by the subdivision of the Land or any part of it.
- 1.10 **"Landscape Masterplan"** means the plan approved under the Planning Permit as an Endorsed Plan which shall provide for, inter alia, the revegetation of the ridgeline/ rear of lots 120 to 126 inclusive and lots 223 to 227 inclusive and trees to be retained generally in accordance with the Planning Permit.
- 1.11 **"Lot"** means a lot or allotment on the Endorsed Plan.
- 1.12 **"Planning Permit"** means Planning Permit T060892 dated 18 September 2007.

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- 1.13 **"Planning Scheme"** means the Cardinia Planning Scheme and any other planning scheme that applies to the Land.
- 1.14 **"Ridgeline"** means the Pakenham North Ridge a natural topographic feature which affects part of the Land being Lots 120 to 126 inclusive and Lots 223 to 227 inclusive on the Endorsed Plan.
- 1.15 **"Ridgeline Elevation"** means the changing level or height of the Ridgeline.
- 1.16 **"Statement of Compliance"** means a Statement of Compliance under the Subdivision Act 1988.

2. INTERPRETATION

In this Agreement unless the context admits otherwise:

- 2.1. the singular includes the plural and vice versa.
- 2.2. a reference to a gender includes a reference to each other gender.
- 2.3. a reference to a person includes a reference to a firm, corporation or other corporate body and that person's successors in law.
- 2.4. if a party consists of more than one person this Agreement binds them jointly and each of them severally.
- 2.5. a word or expression used in this Agreement has its ordinary meaning unless that word or expression is defined in this Agreement. If a word or expression is not defined in this Agreement and it is defined in the Act it has the meaning as defined in the Act.
- 2.6. any reference to an Act, Regulation or the Planning Scheme includes any Acts, Regulations or amendments amending, consolidating or replacing the Act, Regulation or Planning Scheme.
- 2.7. the introductory clauses to this Agreement are and will be deemed to form part of this Agreement.

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3. SECTION 173 AGREEMENT

3.1 Purpose

This agreement is made under section 173 of the Act. In entering into it the Parties intend to achieve or advance the objectives of planning in Victoria or the objectives of the Planning Scheme.

3.2 Burden of covenants

The Council and the Owner intend that the burden of the Owner's covenants run with the Land.

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4. SPECIFIC OBLIGATIONS OF THE OWNER

The owner acknowledges and agrees that:

4.1 Building Restrictions

No building shall be constructed on lots 120 to 126 inclusive and lots 223 to 227 inclusive outside the building envelopes shown on the Endorsed Plan except with the prior written consent of Council.

4.2 Height Controls

Any dwelling constructed on lots 120 to 126 inclusive and lots 223 to 227 inclusive must not be higher than 2.0 metres above the highest point of the ridgeline elevation on that lot.

4.3 Re-vegetation

Re-vegetation and landscaping across the ridgeline (the rear of the Eastern most allotments) must be carried out generally in accordance with the approved Landscape Masterplan prior to the issue of a Statement of Compliance.

5. FURTHER OBLIGATIONS OF THE OWNER

The Owner further agrees that:

5.1 Notice and Registration

- 5.1.1 the Owner will bring this Agreement to the attention of all prospective purchasers, mortgagees, transferees and assigns.

5.2 Further Actions

- 5.2.1 the Owner will do all things necessary to give effect to this Agreement.
- 5.2.2 the Owner will consent to Council making application to the Registrar of Titles to make a recording of this Agreement in the register on the Certificate of Title to the Land in accordance with section 181 of the Act and do all things necessary to enable Council to do so, including signing any further agreement, acknowledgment or document or procuring the consent to this Agreement of any mortgagee or caveator to enable a recording to be made in the register under that section.

5.3 Council's costs to be paid

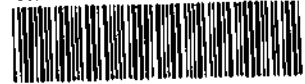
- 5.3.1 the Owner will immediately pay to Council, Council's reasonable costs and expenses (including legal expenses) of and incidental to the preparation, drafting, finalisation, engrossment, execution, registration and enforcement of this Agreement which are and until paid will remain a debt due to Council by the Owner.

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6. AGREEMENT UNDER SECTION 173 OF THE ACT

Council and the Owner agree that without limiting or restricting the respective powers to enter into this Agreement, and insofar as they can be so treated, this Agreement is made pursuant to section 173 of the Act.

7. OWNERS WARRANTY

Without limiting the operation or effect which this Agreement has, the Owner warrants that apart from the Owner and any other person who has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Land which may be affected by this Agreement.

8. SUCCESSORS IN TITLE

8.1 Without limiting the operation or effect which this Agreement has, the Owner must ensure that, until such time as a memorandum of this Agreement is registered on the title to the Land, successors in title shall be required to:-

- (a) give effect to and do all acts and sign all documents which require those successors to give effect to this Agreement; and
- (b) execute a Deed agreeing to be bound by the terms of this Agreement.

9. GENERAL MATTERS

9.1 Notices

A notice or other communication required or permitted to be served by a party on another party must be in writing and may be served:

- 9.1.1 by delivering it personally to that party;
- 9.1.2 by sending it by prepaid post addressed to that party at the address set out in this Agreement or subsequently notified to each party from time to time; or
- 9.1.3 sending it by facsimile provided that a communication sent by facsimile shall be confirmed immediately in writing by the sending party by hand delivery or prepaid post.

9.2 A notice or other communication is deemed served:

- 9.2.1 if delivered, on the next following business day;
- 9.2.2 if posted, on the expiration of two business days after the date of posting; or

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9.2.3 if sent by facsimile, on the next following business day unless the receiving party has requested transmission before the end of that business day.

9.3 No Waiver

Any time or other indulgence granted by the Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of Council in relation to the terms of this Agreement.

9.4 Severability

If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it must be severed and the other provisions of this Agreement will remain operative.

9.5 No Fettering of Council's Powers

It is acknowledged and agreed that this Agreement does not fetter or restrict the power or discretion of Council to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision applicable to the Land or relating to any use or development of the Land.

10. COMMENCEMENT OF AGREEMENT

Unless otherwise provided in this Agreement, this Agreement commences from the date of this Agreement.

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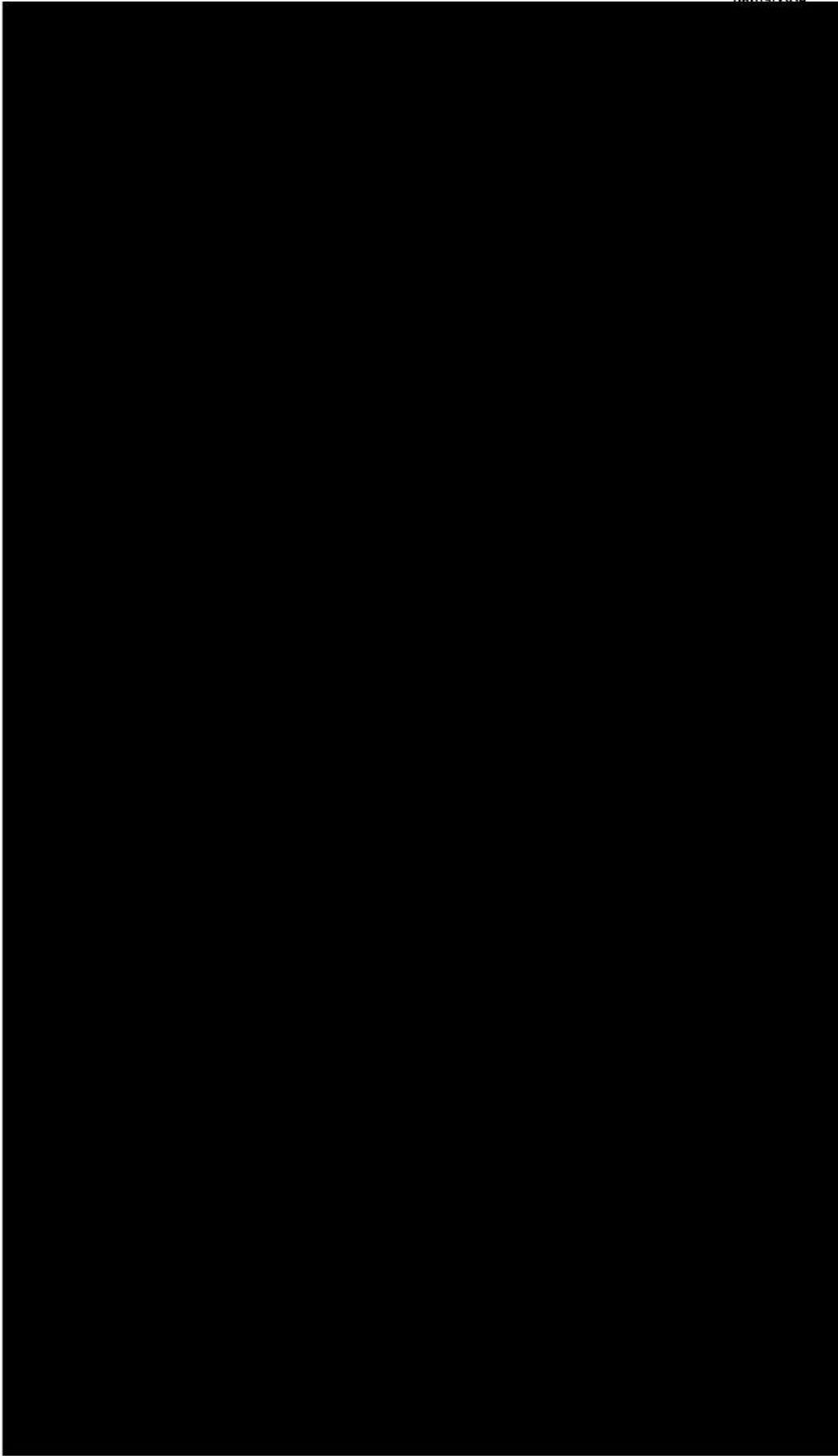
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DATED

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CARDINIA SHIRE COUNCIL

- and -

GALWAY VIEW PTY LTD

ACN 007 183 897

**AGREEMENT
UNDER SECTION 173
OF THE PLANNING
AND ENVIRONMENT
ACT 1987**

Land: Lot 1 & 2 LP8840, 120-150 Pakenham Road, Pakenham 3810



Creative

house plans



REGISTERED
Building Practitioner

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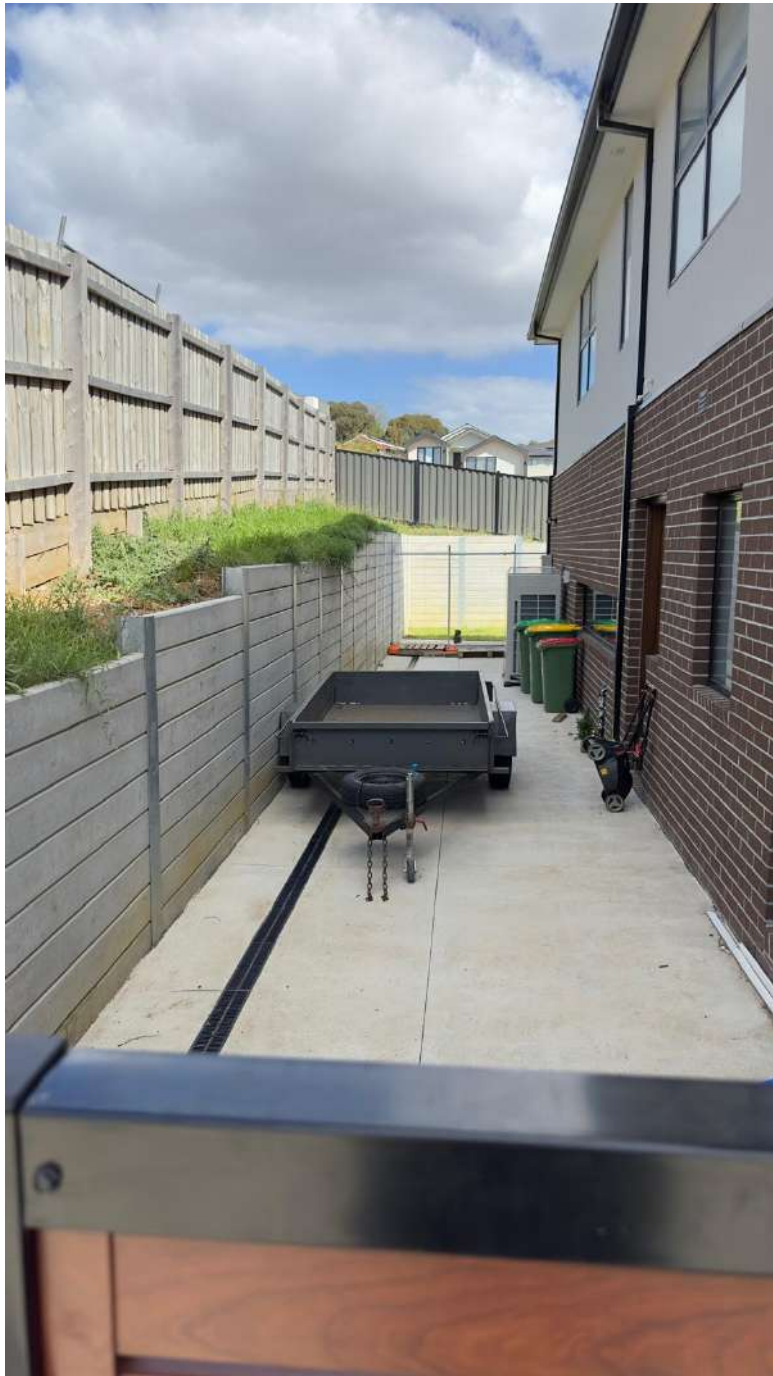
Visual bulk

• Site Responsive Design

- The subject site is located within the Environmental Significance Overlay – Schedule 4 (ESO4) Pakenham North Ridge. The decision guideline of the ESO4 encourages a design response that respects the landscape character of the Pakenham Ridge. The current design does not sufficiently respond to the natural slope of the land, resulting in significant earthworks and a visually obtrusive outcome, particularly from the westerly elevation. It is recommended that the dwelling design be revised to better integrate with the site's topography, potentially through the incorporation of a split-level design.

A brief drive through the estate reveals that the majority of dwellings are not designed with split levels. Notably, the property directly adjacent features a two-story home with a 2.4m-high retaining wall along the eastern boundary, with the entire lot leveled—demonstrating no incorporation of a split-level design.





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A similar design is located directly opposite the site, following the same approach. However, instead of conducting a site cut, the lot has been filled to a height of 2.5 meters to create a flat block.



Both of these developments appear to be non-compliant with the ES04 requirements, yet they have been constructed. Additionally, as double-story structures, they contribute significantly to visual bulk. In contrast, our proposal is a single-story design, ensuring a substantially reduced visual impact

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• **Building Articulation and Mass**

- Council has concerns regarding the proposed dwelling design, particularly the presentation of a sheer wall exceeding 6.5 metres in height to the western adjoining lot. While the proposal incorporates variations in materiality/finishes on the western façade, it lacks adequate articulation. In line with the abovementioned concern, a lack of articulation will not response the nature slope of land. Accordingly, it is strongly recommended that the development be amended to provide articulations to the western façade to improve the design response.

There may be some misunderstanding regarding the 6.5m wall height. This height applies only to a small corner of the dwelling and is a direct result of the site cut around the electrical station. To mitigate this we propose to incorporate a retaining wall with a maximum height of 1m adjacent to the electrical station, followed by backfilling and sloping towards the street. As illustrated in the attached 3D render, this adjustment would effectively reduce the overall height to 5.4m, which we can agree is a more favorable outcome. Furthermore, considering that other properties have been approved with retaining walls exceeding 1.6m along title boundaries, this 1m retaining wall would have minimal impact



This approach would result in less visual bulk compared to other existing dwellings. Notably, the neighboring property features a garage built on the boundary with a wall height of 4.6 meters

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Adjacent to this, there is a similar structure with a wall height of 5.8 meters, featuring no variation in materials and presenting as a sheer brick wall.



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In summary, our proposal seeks to deliver a site-responsive design that minimizes visual bulk and better integrates with the natural topography of the land. While other nearby developments have introduced significant earthworks, high retaining walls, and sheer structures, our single-story design substantially reduces visual impact. Additionally, the proposed modifications—including a 1m retaining wall and strategic backfilling—further mitigate concerns regarding articulation and massing. Given that similar developments with greater structural prominence have been approved, we believe our revised approach provides a balanced and considerate outcome. We appreciate Council's review of our response and look forward to your confirmation that these adjustments satisfactorily address the concerns raised

Regards

Elvir Bafto

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Design Response Report

Development of Land for a Single Dwelling **12 Galway Rise, PAKENHAM**

March 2025

Narelle Cassar

6/6 Leake Street Essendon Victoria 3040

info@townplannersmelbourne.com.au



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Subject Site & Surrounds

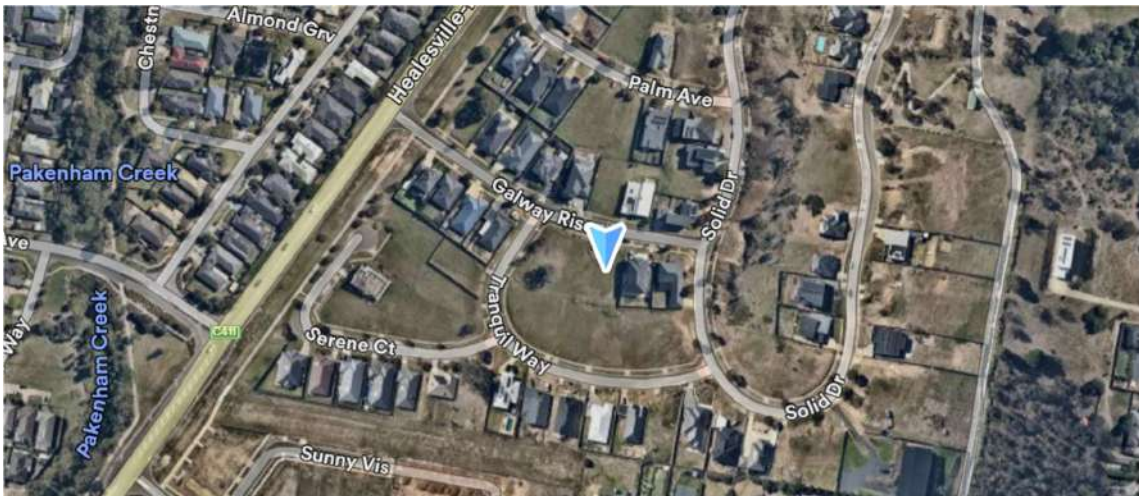
Subject site

The subject site is generally rectangular in shape parcel of approximately 676 square metres located on the southern side of Galway Rise in Pakenham. The frontage of the site to Galway Rise is (8.52m + 13.66m) 22.18 metres and the site has a depth of 38.92 metres (western boundary). The site is legally referred to as Lot 163 on Plan of subdivision 649677. There is one formed concrete vehicular crossover providing access directly from Galway Rise. There is a concrete pedestrian foot path along the street frontage and grassed nature strip.

The subject site is not within and area of Aboriginal Cultural Heritage Significance. A cultural heritage management plan is not required for this application.

The site is zoned General Residential - schedule 1 (GRZ1) and is affected by the following overlays:

- Schedule 1 to the development contribution plan overlay (DCPO1)
- Schedule 4 to the environmental significance overlay (ESO4)



Subject Site Source: Nearmap 4 March 2025

Surrounding area

The immediate area surrounding the subject land is a recently developed residential area. The vast majority of allotments range from 600 to 800 square metres in area accommodating single detached dwellings of brick construction with tiled roofing.

Design Response: The Proposal

A Brief Introduction

This application seeks to construct a single dwelling at 12 Galway Rise Pakenham. Ground floor comprising an open kitchen, meals and family area; separate formal living room, theatre room, bedroom 1 with WIR and ensuite, bedrooms 2, 3 and 4, main bathroom, laundry, study

and alfresco. There is an attached double lockable garage with direct internal access via the laundry and secluded private open space to the south.

Planning Triggers

Pursuant to 32.08-5 of the Planning Scheme a permit is not required to construct a dwelling on a lot less than 300 square metres. As such, a planning permit is not triggered by this clause.

Pursuant to 42.01-2 of the Planning Scheme a permit is required to Construct a building or construct or carry out works unless the schedule specifically states that a permit is not required. As such, a planning permit is triggered by this clause.

Planning Policies
State and Local Planning Policy Frameworks

10 Planning Policy Framework

The relevant provisions within Cardinia’s planning scheme include:

11 SETTLEMENT

Planning is to anticipate and respond to the needs of existing and future communities through provision of zoned and serviced land for housing, employment, recreation and open space, commercial and community facilities and infrastructure.

Planning is to recognise the need for, and as far as practicable contribute towards:

- Health, wellbeing and safety.
- Diversity of choice.
- Adaptation in response to changing technology.
- Economic viability.
- A high standard of urban design and amenity.
- Energy efficiency.
- Prevention of pollution to land, water and air.
- Protection of environmentally sensitive areas and natural resources.
- Accessibility.
- Land use and transport integration.

Planning is to prevent environmental, human health and amenity problems created by siting incompatible land uses close together.

Planning is to facilitate sustainable development that takes full advantage of existing settlement patterns and investment in transport, utility, social, community and commercial infrastructure and services.

11.01	VICTORIA
11.01-1S	Settlement
To facilitate the sustainable growth and development of Victoria and deliver choice and opportunity for all Victorians through a network of settlements.	
11.02	MANAGING GROWTH
11.02-1S	Supply of urban land
To ensure a sufficient supply of land is available for residential, commercial, retail, industrial, recreational, institutional and other community uses.	
11.02-2S	Structure planning

To facilitate the fair, orderly, economic and sustainable use and development of urban areas.
11.02-3S Sequencing of development
To manage the sequence of development in areas of growth so that services are available from early in the life of new communities.

11.03 PLANNING FOR PLACES

11.03-1S Activity centres

To encourage the concentration of major retail, residential, commercial, administrative, entertainment and cultural developments into activity centres that are highly accessible to the community.

11.03-2S Growth areas

To locate urban growth close to transport corridors and services and provide efficient and effective infrastructure to create sustainability benefits while protecting primary production, major sources of raw materials and valued environmental areas.

11.03-3S Peri-urban areas

To manage growth in peri-urban areas to protect and enhance their identified valued attributes.

11.03-4S Coastal settlement

To plan for sustainable coastal development.

11.03-5S Distinctive areas and landscapes

To recognise the importance of distinctive areas and landscapes to the people of Victoria and protect and enhance the valued attributes of identified or declared distinctive areas and landscapes.

11.03-6S Regional and local places

To facilitate integrated place-based planning.

12 ENVIRONMENTAL AND LANDSCAPE VALUES

Planning should help to protect the health of ecological systems and the biodiversity they support (including ecosystems, habitats, species and genetic diversity) and conserve areas with identified environmental and landscape values.

Planning must implement environmental principles for ecologically sustainable development that have been established by international and national agreements. Foremost amongst the national agreements is the Intergovernmental Agreement on the Environment, which sets out key principles for environmental policy in Australia. Other agreements include the National Strategy for Ecologically Sustainable Development, National Greenhouse Strategy, the National Water Quality Management Strategy, Australia's Strategy for Nature 2019-2030, the National Forest Policy Statement and National Environment Protection Measures.

Planning should protect, restore and enhance sites and features of nature conservation, biodiversity, geological or landscape value.

12.01 BIODIVERSITY

12.01-1S Protection of biodiversity

To protect and enhance Victoria's biodiversity.

12.01-2S Native vegetation management

To ensure that there is no net loss to biodiversity as a result of the removal, destruction or lopping of native vegetation.

12.02 MARINE AND COASTAL ENVIRONMENT

12.02-1S Protection of the marine and coastal environment

To protect and enhance the marine and coastal environment.

12.02-2S Marine and coastal Crown land

To ensure the use and development of marine and coastal Crown land is ecologically sustainable, minimises impacts on cultural and environmental values, and improves public benefit for current and future generations.

12.03 WATER BODIES AND WETLANDS

12.03-1S River and riparian corridors, waterways, lakes, wetlands and billabongs

To protect and enhance waterway systems including river and riparian corridors, waterways, lakes, wetlands and billabongs.

12.04 ALPINE AREAS
12.04-1S Sustainable development in alpine areas
To facilitate sustainable use and development of Alpine areas for year-round use and activity.

12.05 SIGNIFICANT ENVIRONMENTS AND LANDSCAPES
12.05-1S Environmentally sensitive areas
To protect and conserve environmentally sensitive areas.
12.05-2S Landscapes
To protect and enhance significant landscapes and open spaces that contribute to character, identity and sustainable environments.

13 ENVIRONMENTAL RISKS AND AMENITY

Planning should strengthen the resilience and safety of communities by adopting a best practice environmental management and risk management approach.

Planning should identify, prevent and minimise the risk of harm to the environment, human health, and amenity through:

Land use and development compatibility.

- Effective controls to prevent or mitigate significant impacts.
- Planning should identify and manage the potential for the environment and environmental changes to impact on the economic, environmental or social wellbeing of society.

Planning should ensure development and risk mitigation does not detrimentally interfere with important natural processes.

Planning should prepare for and respond to the impacts of climate change.

13.01 CLIMATE CHANGE IMPACTS
13.01-1S Natural hazards and climate change
To minimise the impacts of natural hazards and adapt to the impacts of climate change through risk-based planning.
13.01-2S Coastal inundation and erosion
To plan for and manage coastal hazard risk and climate change impacts.

13.02 BUSHFIRE
13.02-1S Bushfire planning
To strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of human life.

13.03 FLOODPLAINS
13.03-1S Floodplain management
To assist the protection of:

- Life, property and community infrastructure from flood hazard, including coastal inundation, riverine and overland flows.
- The natural flood carrying capacity of rivers, streams and floodways.
- The flood storage function of floodplains and waterways.
- Floodplain areas of environmental significance or of importance to river, wetland or coastal health.

13.04 SOIL DEGRADATION
13.04-1S Contaminated and potentially contaminated land
To ensure that contaminated and potentially contaminated land is used and developed safely.
13.04-2S Erosion and landslip

To protect areas prone to erosion, landslip or other land degradation processes.
13.04-3S Salinity
To minimise the impact of salinity and rising water tables on land uses, buildings and infrastructure in rural and urban areas and areas of environmental significance and reduce salt load in rivers.

13.05 NOISE
13.05-1S Noise management
To assist the management of noise effects on sensitive land uses..

13.06 AIR QUALITY
13.06-1S Air quality management
To assist the protection and improvement of air quality.

13.07 AMENITY, HUMAN HEALTH AND SAFETY
13.07-1S Land use compatibility
To protect community amenity, human health and safety while facilitating appropriate commercial, industrial, infrastructure or other uses with potential adverse off-site impacts.
13.07-2S Major hazard facilities
To minimise the potential for human and property exposure to risk from incidents that may occur at a major hazard facility and to ensure the ongoing viability of major hazard facilities.
13.07-3S Live music
To encourage, create and protect opportunities for the enjoyment of live music.

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14 NATURAL RESOURCE MANAGEMENT

Planning is to assist in the conservation and wise use of natural resources including energy, water, land, stone and minerals to support both environmental quality and sustainable development.

Planning should ensure agricultural land is managed sustainably, while acknowledging the economic importance of agricultural production.

14.01 AGRICULTURE
14.01-1S Protection of agricultural land
To protect the state's agricultural base by preserving productive farmland.
14.01-2S Sustainable agricultural land use
To encourage sustainable agricultural land use.
14.01-3S Forestry and timber production
To facilitate the establishment, management and harvesting of plantations and the harvesting of timber from native forests.

14.02 WATER
14.02-1S Catchment planning and management
To assist the protection and restoration of catchments, waterways, estuaries, bays, water bodies, groundwater, and the marine environment.
14.02-2S Water quality
To protect water quality.
14.02-3S Protection of declared irrigation districts
To plan and manage for sustainable change within irrigation districts declared under Part 6A of the Water Act 1989.

14.03 EARTH AND ENERGY RESOURCES
14.03-1S Resource exploration and extraction
To encourage exploration and extraction of natural resources in accordance with acceptable environmental standards.

15 BUILT ENVIRONMENT AND HERITAGE

Planning is to recognise the role of urban design, building design, heritage and energy and resource efficiency in delivering liveable and sustainable cities, towns and neighbourhoods. Planning should ensure all land use and development appropriately responds to its surrounding landscape and character, valued built form and cultural context.

Planning should protect places and sites with significant heritage, architectural, aesthetic, scientific and cultural value.

Planning must support the establishment and maintenance of communities by delivering functional, accessible, safe and diverse physical and social environments, through the appropriate location of use and development and through high quality buildings and urban design.

Planning should promote development that is environmentally sustainable and should minimize detrimental impacts on the built and natural environment.

Planning should promote excellence in the built environment and create places that:

- Are enjoyable, engaging and comfortable to be in.
- Accommodate people of all abilities, ages and cultures.
- Contribute positively to local character and sense of place.
- Reflect the particular characteristics and cultural identity of the community.
- Enhance the function, amenity and safety of the public realm.

Planning should promote development that is environmentally sustainable and minimise detrimental impacts on the built and natural environment.

Planning should facilitate development that:

- Is adapted and resilient to climate related hazards.
- Supports the transition to net zero greenhouse gas emissions.
- Minimises waste generation and supports resource recovery.
- Conserves potable water.
- Supports the use of, and access to, low emission forms of transport.
- Protects and enhances natural values.
- Minimises off-site detrimental impacts on people and the environment.

15.01	BUILT ENVIRONMENT
15.01-1S	Urban design To create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity.
15.01-2S	Building design To achieve building design and siting outcomes that contribute positively to the local context, enhance the public realm and support environmentally sustainable development.
15.01-3S	Subdivision design To ensure the design of subdivisions achieves attractive, safe, accessible, diverse and sustainable neighbourhoods.
15.01-4S	Healthy neighbourhoods To achieve neighbourhoods that foster healthy and active living and community wellbeing.
15.01-5S	Neighbourhood character To recognise, support and protect neighbourhood character, cultural identity, and sense of place.
15.01-6S	Design for rural areas To ensure development respects valued areas of rural character.

15.02 No content

15.03	HERITAGE
15.03-1S	Heritage conservation To ensure the conservation of places of heritage significance.
15.03-2S	Aboriginal cultural heritage To ensure the protection and conservation of places of Aboriginal cultural heritage significance.

16 HOUSING

Planning should provide for housing diversity, and ensure the efficient provision of supporting infrastructure.

Planning should ensure the long term sustainability of new housing, including access to services, walkability to activity centres, public transport, schools and open space.

Planning for housing should include the provision of land for affordable housing.

16.01	RESIDENTIAL DEVELOPMENT
16.01-1S	Housing supply
To facilitate well-located, integrated and diverse housing that meets community needs.	
16.01-2S	Housing affordability
To deliver more affordable housing closer to jobs, transport and services.	
16.01-3S	Rural residential development
To identify land suitable for rural residential development.	
16.01-4S	Community care accommodation
To facilitate the establishment of community care accommodation and support their location being kept confidential.	

17 ECONOMIC DEVELOPMENT

Planning is to provide for a strong and innovative economy, where all sectors are critical to economic prosperity.

Planning is to contribute to the economic wellbeing of the state and foster economic growth by providing land, facilitating decisions and resolving land use conflicts, so that each region may build on its strengths and achieve its economic potential.

17.01	EMPLOYMENT
17.01-1S	Diversified economy
To strengthen and diversify the economy.	
17.01-2S	Innovation and research
To create opportunities for innovation and the knowledge economy within existing and emerging industries, research and education.	
17.02	COMMERCIAL
17.02-1S	Business
To encourage development that meets the community's needs for retail, entertainment, office and other commercial services.	
17.02-2S	Out-of-centre development
To manage out-of-centre development.	
17.03	INDUSTRY
17.03-1S	Industrial land supply
To ensure availability of land for industry.	
17.03-2S	Sustainable industry
To facilitate the sustainable operation of industry.	
17.03-3S	State significant industrial land
To protect industrial land of state significance.	
17.03	TOURISM
17.04-1S	Facilitating tourism
To encourage tourism development to maximise the economic, social and cultural benefits of developing the state as a competitive domestic and international tourist destination.	
17.04-2S	Coastal and maritime tourism and recreation

To encourage a diverse range of strategically located and well-designed coastal and maritime tourism and recreational opportunities that strengthen people's connection with the marine and coastal environment.

18 TRANSPORT

Planning should ensure a safe, integrated and sustainable transport system that:

- Provides access to social and economic opportunities to support individual and community wellbeing.
- Facilitates economic prosperity.
- Actively contributes to environmental sustainability.
- Facilitates network-wide efficient, coordinated and reliable movements of people and goods.
- Supports health and wellbeing.

18.01 LAND USE AND TRANSPORT

18.01-1S Land use and transport integration

To facilitate access to social, cultural and economic opportunities by effectively integrating land use and transport.

18.01-2S Transport system

To facilitate the efficient, coordinated and reliable movement of people and goods by developing an integrated and efficient transport system.

18.01-3S Sustainable and safe transport

To facilitate an environmentally sustainable transport system that is safe and supports health and wellbeing.

18.02 MOVEMENT NETWORKS

18.02-1S Walking

To facilitate an efficient and safe walking network and increase the proportion of trips made by walking.

18.02-2S Cycling

To facilitate an efficient and safe bicycle network and increase the proportion of trips made by cycling.

18.02-3S Public transport

To facilitate an efficient and safe public transport network and increase the proportion of trips made by public transport.

18.02-4S Roads

To facilitate an efficient and safe road network that integrates all movement networks and makes best use of existing infrastructure.

18.02-5S Freight

To facilitate an efficient, coordinated, safe and sustainable freight and logistics system that enhances Victoria's economic prosperity and liveability.

18.02-6S Ports

To support the effective and competitive operation of Victoria's commercial trading ports at local, national and international levels, and to facilitate their ongoing sustainable operation and development.

18.02-7S Airports and airfields

To strengthen the role of Victoria's airports and airfields within the state's economic and transport infrastructure, guide their siting and expansion, and safeguard their ongoing, safe and efficient operation.

19 INFRASTRUCTURE

Planning for development of social and physical infrastructure should enable it to be provided in a way that is efficient, equitable, accessible and timely.

Planning is to recognise social needs by providing land for a range of accessible community resources, such as education, cultural, health and community support (mental health, aged care, disability, youth and family services) facilities.

Planning should ensure that the growth and redevelopment of settlements is planned in a manner that allows for the logical and efficient provision and maintenance of infrastructure, including the setting aside of land for the construction of future transport routes.

Planning should facilitate efficient use of existing infrastructure and human services.

Providers of infrastructure, whether public or private bodies, are to be guided by planning policies and should assist strategic land use planning.

Planning should minimise the impact of use and development on the operation of major infrastructure of national, state and regional significance, including communication networks and energy generation and distribution systems.

Infrastructure planning should avoid, minimise and offset environmental impacts, and incorporate resilience to natural hazards, including future climate change risks.

Planning authorities should consider the use of development and infrastructure contributions in the funding of infrastructure.

19.01	ENERGY
19.01-1S	Energy supply
To facilitate appropriate development of energy supply infrastructure.	
19.01-2S	Renewable energy
To support the provision and use of renewable energy in a manner that ensures appropriate siting and design considerations are met.	
19.01-3S	Pipeline infrastructure
To ensure that gas, oil and other substances are safely delivered to users and to and from port terminals at minimal risk to people, other critical infrastructure and the environment.	
19.02	COMMUNITY INFRASTRUCTURE
19.02-1S	Health facilities
To assist the integration of health facilities with local and regional communities.	
19.02-2S	Education facilities
To assist the integration of education and early childhood facilities with local and regional communities.	
19.02-3S	Cultural facilities
To develop a strong cultural environment and increase access to arts, recreation and other cultural facilities.	
19.02-4S	Social and cultural infrastructure
To provide fairer distribution of and access to, social and cultural infrastructure.	
19.02-5S	Emergency services
To ensure suitable locations for police, fire, ambulance and other emergency services.	
19.02-6S	Open space
To establish, manage and improve a diverse and integrated network of public open space that meets the needs of the community.	
19.03	DEVELOPMENT INFRASTRUCTURE
19.03-1S	Development and infrastructure contributions plans
To facilitate the timely provision of planned infrastructure to communities through the preparation and implementation of development contributions plans and infrastructure contributions plans.	
19.03-2S	Infrastructure design and provision
To provide timely, efficient and cost-effective development infrastructure that meets the needs of the community.	
19.03-3S	Integrated water management
To sustainably manage water supply and demand, water resources, wastewater, drainage and stormwater through an integrated water management approach.	
19.03-4S	Telecommunications
To facilitate the orderly development, extension and maintenance of telecommunications infrastructure.	
19.03-5S	Waste and resource recovery
To reduce waste and maximise resource recovery to reduce reliance on landfills and minimise environmental, amenity and public health impacts.	

10 Local Planning Policy Framework

The relevant provisions within Cardinia's planning scheme include:

21.01-1 Snapshot of Cardinia Shire

The Cardinia Shire is located on the south east fringe of Melbourne and is one of eight 'interface Councils' which form the perimeter of metropolitan Melbourne, providing a transition between urban and rural areas. The municipality has an area of approximately 1,280 square kilometres, comprising a variety of landforms and landscapes.

The northern part of the Cardinia Shire is set in the foothills of the Dandenong Ranges, and includes the Bunyip State Park and the Cardinia Reservoir. The red volcanic soils around Gembrook have been historically significant for potato production. The area is located within two water catchments being the Yarra Valley and Westernport catchments.

The Koo Wee Rup swamp and Western Port form the significant features of the southern part of the Cardinia Shire, and includes high quality agricultural land of State significance. The land is generally flat alluvial plains which have been substantially cleared of vegetation. The exception to this is the Heath Hill area, which is recognised as being of landscape significance by the National Trust.

The Princes Highway and the Princes Freeway corridor runs east-west through the centre of the Cardinia Shire and provides a demarcation between the hills in the northern part of the municipality and the alluvial plains to the south. The corridor is a key road and rail link between Melbourne, the Latrobe Valley and Gippsland. The South Gippsland Highway is a key link to South Gippsland and a tourist route to Phillip Island.

The majority of the Cardinia Shire's population is located within the urban areas of Beaconsfield, Officer and Pakenham. These areas are within the Casey-Cardinia South-east Growth Corridor, and will accommodate the majority of future residential and commercial growth. The remainder of the population is located within Cardinia's townships and rural residential areas.

The population within the Cardinia growth area is expected to grow 82% from a current population of around 109,000 people (2018) to approximately 198,000 people in 2041. The future Officer-Pakenham Industrial Precinct, located south of the Princes Freeway, has been identified by Plan Melbourne 2050 as a State-significant Industrial Precinct. When developed, this 2,500 hectare employment corridor will be a major provider of employment and business opportunities for Melbourne's south-east region.

21.01-5 Strategic framework plan

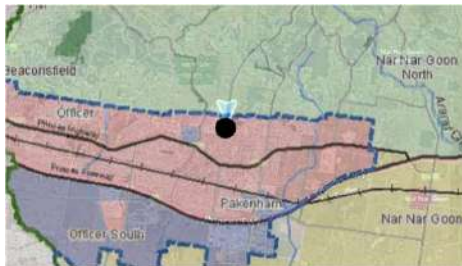
The Cardinia Shire Strategic Framework Plan (Figure 1) sets out the general pattern for land use and development to respond to the key influences and issues to achieve the strategic vision for the municipality.

The purpose of the framework plan is to provide an overview of land use in the Cardinia Shire and to identify locations where specific land use outcomes will be supported and promoted.

The major strategic directions identified in the Cardinia Shire Strategic Framework Plan include:

- Identification of major landscape features within the Cardinia Shire, including:
 - Western Port.
 - Cardinia Reservoir.
 - Bunyip State Park.
 - Dandenong Ranges Foothills.
- Locations of areas primarily used for general agriculture.
- Locations of areas identified as having high quality soils for agriculture and horticulture.
- Locations of areas identified as having environmental and landscape significance.
- Locations of rural townships and the urban growth area.
- Existing major transport links.
- Natural and man-made drainage.

Figure 1: Cardinia Shire strategic framework plan



No 12 Galway Rise Pakenham is within:

- *Residential area*

21.03 SETTLEMENT AND HOUSING

21.03-1 Housing

Overview

Housing within the Cardinia Shire is currently dominated by detached dwellings in both urban and rural areas. The urban area includes the Urban Established Area and the Urban Growth Area, while the rural area comprises Townships and rural-residential development..

The urban area in the Cardinia Shire will continue to attract predominantly young families into the foreseeable future. However, as the housing market progressively matures and the needs of households change there will be increasing demand for more diverse forms of housing.

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Key issues

- Providing for a diversity of housing types and densities, including increased housing density around activity centres.
- Balancing diversity of housing choices in rural townships while ensuring consistency with the character of the township.
- Recognising the need for affordability and availability of housing choice for different income levels in both the rental and purchaser markets.
- Recognising the demand for specialist design housing including housing for the aged, people with a disability or mobility issues.
- Identifying the demand for social and community housing.
- Providing opportunity for development of 'Affordable Housing'.

Objectives

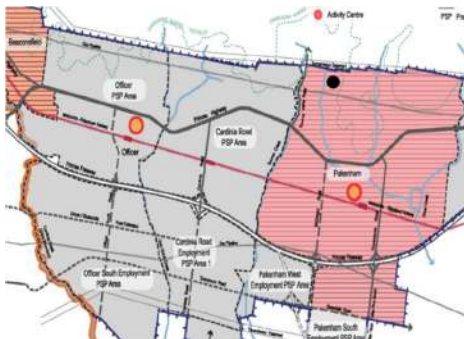
- To encourage a diversity in housing to meet the needs of existing and future residents.
- To encourage the provision of housing to cater for groups within the community with specific housing requirements.

21.03-2 Urban Established Area - Beaconsfield and Pakenham

Landscape and built form

Part of the Cardinia Shire, between Beaconsfield and Pakenham East, is located within the Casey-Cardinia Growth Area for metropolitan Melbourne, and has been recognised as part of a metropolitan growth corridor since 1971.

The Cardinia Shire urban area is divided into ten precincts. The Beaconsfield and Pakenham precincts represent the Urban Established Area of the Shire, as shown in Figure 1.



No 12 Galway Rise Pakenham is within an urban established area

Key issues

Key elements of the Urban Established Area includes:

- Land for residential purposes in Beaconsfield, and generally north of the Princes Freeway in Pakenham.
- Land for employment purposes in Beaconsfield Activity Centre, and in Pakenham Major Activity Centre land north of Greenhills Road.
- A Major Activity Centre at Pakenham.
- A Large Neighbourhood Activity Centre at Beaconsfield.
- Open space corridors along Toomuc Creek and Deep Creek.
- An arterial road network including the Princes Freeway (Pakenham Bypass), Princes Highway, Beaconsfield-Emerald Road, McGregor Road, Greenhills Road, Healesville-Koo Wee Rup Road, and Racecourse Road.
- A principal public transport network comprising railway stations at Beaconsfield and Pakenham along the Gippsland Railway Line, and a regional bus route along the Princes Highway to the Pakenham Major Activity Centre.

Key principles for development include:

To coordinate the appropriate staging and development of land.

- To ensure greater diversity of housing types and size.
- To increase 'Affordable Housing' for very low, low and moderate income households.
- To attract commercial investment and create diverse employment opportunities.
- To create vibrant well serviced activity centres.

- To provide sustainable transport networks.
- To ensure that urban areas are well serviced by utility infrastructure.
- To deliver accessible community facilities and infrastructure.
- To deliver arts and cultural facilities.
- To create multi use, linked open space networks.
- To increase environmental sustainability.
- To achieve good urban design outcomes with a strong urban character.
- To ensure the development of new infrastructure supports and encourages an active lifestyle.

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Objective

- To create a functional, attractive, safe and sustainable urban environment for the existing and future community of the Urban Established Area.

Planning Policies - Design Response Discussion

The proposal generally satisfies the abovementioned objectives in the Purposes & Vision and the state and local Planning Policy Framework. This application builds on the policy expectation for housing improvement close to existing infrastructure, in creating better livability without compromising the amenity of adjoining properties and neighbourhood character.

The proposed dwelling make a positive contribution to housing affordability and diversity within Pakenham. Appropriately located within a 800 metre walkable catchment area local community facilities and infrastructure encouraging other modes of transport.

Proposal thoughtfully responds to the existing built form in terms of its scale and form, Proposed articulation and selection of materials, particularly their colours textures and finishes creates visual interest making a positive contribution to the emerging streetscape of Galway Rise, no front fencing provides a sense of openness to the streetscape and the garage being further setback minimises dominance of car parking structures. Permeability exceeds minimum requirements and the internal layout employs passive design principals supporting sustainability.

Zoning and Overlays

Zoning, Minimum Garden Area and Overlays

30.0 Zoning

32.09 General Residential Zone

The General Residential Zone provisions contained in the Cardenia's Planning Scheme has four main purposes.

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To encourage development that respects the neighbourhood character of the area.
- To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations..

32.08-2 Table of uses – Section 1 Permit not required

Use	Condition
Dwelling (other than Bed and breakfast)	None
Home based business	
Informal outdoor recreation	

32.08-4 Construction or extension of a dwelling, small second dwelling or residential building - Minimum Garden Area requirement

Pursuant to 32.08-4 of the Planning Scheme an application to construct or extend a dwelling or residential building on a lot must provide a minimum garden area as set out below:

Allotment size (in square metres)	Minimum % of allotment set aside as garden area	Applicable
400-500	25	
500-650	30	
650 and over	35	Yes

The proposal is compliant with clause 32.08-4 as:

The site occupies an area of 759 square metres and the proposed dwellings present an overall site coverage of 44.9%, resulting in having sufficient remaining land to provide for 35% garden area.

This application includes **over 49.9% garden area**.

32.08-5 Construction and extension of one dwelling on a lot

Pursuant to 32.08-5 of the Planning Scheme a permit is required to construct or extend one dwelling on a lot less than 300 square metres. As such, a planning permit is not triggered by this clause.

Schedule 1 to the General Residential Zone

Standard	Ref	Description	Response
Minimum Street Setback	B6	None specified	In compliance with B6 ✓
Site Coverage	B8	None specified	In compliance with B8 ✓
Permeability	89	None specified	In compliance with B9 ✓
Landscaping	B13	None specified	In compliance with B13 ✓
Side and Rear Setbacks	B17	None specified	In compliance with B17 ✓
Walls on Boundaries	B18	None specified	In compliance with B18 ✓

Private Open Space	B28	None specified	<i>In compliance with B28</i>	√
Front Fence Height	B32	None specified	<i>In compliance with B32</i>	√

4.0 Overlays

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45.06 Development Contributions Plan Overlay

Purpose:

- To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies
- To identify areas which require the preparation of a development contributions plan for the purpose of levying contributions for the provision of works, services and facilities before developments can commence.

Schedule 1 applies

42.01 Environmental Significance Overlay

The BMO provisions contained in the Manningham's Planning Scheme has three main purposes.

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To identify areas where the development of land may be affected by environmental constraints.
- To ensure that development is compatible with identified environmental values.

42.01-2 Permit requirement

Pursuant to 42.01-2 of the Planning Scheme a permit is required to Construct a building or construct or carry out works unless the schedule specifically states that a permit is not required. As such, a planning permit is triggered by this clause.

SCHEDULE 4 TO CLAUSE 42.01 ENVIRONMENTAL SIGNIFICANCE OVERLAY PAKENHAM NORTH RIDGE

1.0 Statement of environmental significance

The Pakenham ridge has regional significance for biodiversity. It makes a substantial contribution to biodiversity in the Gippsland Plain Bioregion as well as the Pakenham area. The area has remnants of Grassy Forest, an ecosystem that is vulnerable in the area. The Cobra Greenhood Orchid (*Pterostylis grandiflora*) which is of state significance, and the Green Scentbark (*Eucalyptus fulgens*) which is of state/national significance, are found in the area. The area is characterised by a geology of Devonian Granitic and Silurian Sediment origin, moderate to steep slopes, and areas of remnant vegetation. These characteristics contribute to environmental values including landscape quality, water quality, and habitat of botanical and zoological significance. These characteristics are also a significant factor contributing to environmental hazards such as erosion, salinity and fire risk, and susceptibility to visual intrusion from buildings and works.

2.0 Environmental objective to be achieved

- To protect and enhance the significant environmental and landscape values of the Pakenham North ridge.
- To ensure that the siting and design of buildings and works does not adversely impact on environmental and landscape values including the ridge landform, the diverse and interesting landscape, the natural skyline of ridge areas, areas of remnant vegetation, and habitat of botanical and zoological significance.
- To ensure that the siting and design of buildings and works responds to environmental and landscape values, and addresses environmental hazards of erosion, salinity and fire.
- To maintain, manage and promote replanting of native vegetation as an important element of the Pakenham North ridge landscape and natural systems.
- To ensure long term protection of areas of high conservation value and promote the protection and enhancement of wildlife habitat and corridors

6.0 Decision Guidelines

General	Design Response	
	The Land Capability Study for the Cardinia Shire (February 1997).	<i>The application is within a recent subdivision where the Land Capability Study for the Cardinia Shire (February 1997) would have been already considered</i>
	The need for an environmental and landscape impact assessment report, prepared by a properly qualified person and to the satisfaction of the responsible authority, that includes: <ul style="list-style-type: none"> • An appropriate consideration of alternative subdivision layouts and alternative sites for buildings • Possible design responses and design guidelines • Consideration of appropriate environmental management practices, including replanting of native vegetation and ongoing protection and management of vegetation and habitat areas. 	<i>The application is within a recent subdivision where a landscape impact assessment report would have been conducted</i>
	The protection and enhancement of environmental significance having regard to: <ul style="list-style-type: none"> • Protecting habitat areas, landscape areas and vantage points of high quality • Protecting and enhancing areas of native vegetation • Setting development back from the ridgeline to allow appreciation of the ridge landform and topography, and to maintain the natural skyline of the ridge • The visual prominence of land above the 60-metre contour as a defining landscape feature • The integration of buildings and works with environmental and landscape features • Appropriate environmental management practices. 	<i>The application is within a recent subdivision where the protection and enhancement of environmental significance has been assessed</i>

Buildings and works

Measures to address environmental hazards or constraints including erosion, drainage and fire.

The application is within a recent subdivision where the measures to address environmental hazards or constraints has been conducted

The impact of any buildings and works on areas of remnant vegetation, and habitat of botanical and zoological significance.

This application will not result in the removal of native vegetation

The impact of proposed buildings and works on the landscape character of the area, including prominent ridgelines and significant views.

A brief drive through the estate reveals that the majority of dwellings are not designed with split levels. Notably, the property directly adjacent features a two-story home with a 2.4m-high retaining wall along the eastern boundary, with the entire lot leveled—demonstrating no incorporation of a split-level design.



A similar design is located directly opposite the site, following the same approach. However, instead of conducting a site cut, the lot has been filled to a height of 2.5 meters to create a flat block.



Both of these developments appear to be non-compliant with the ES04 requirements, yet they have been constructed. Additionally, as double-story structures, they contribute significantly to visual bulk. In contrast, our proposal is a single-story design, ensuring a substantially reduced visual impact

The control of the density of buildings and subdivision necessary to meet environmental objectives.

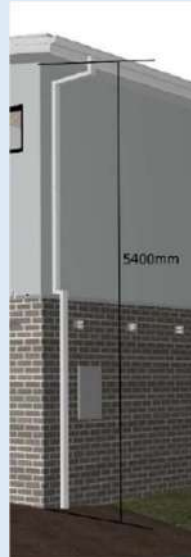
Not applicable

The establishment of appropriate building envelopes and the benefits of requiring building envelopes to be shown on plans of subdivision.

Not applicable

Whether the siting, height, scale, materials, colours and form of proposed buildings and works, including roads and infrastructure service lines, have been designed to have least visual effect on the ridge environment and landscape.

The 6.5 metre wall height applies only to a small corner of the dwelling and is a direct result of the site cut around the electrical station. To mitigate this we propose to incorporate a retaining wall with a maximum height of 1m adjacent to the electrical station, followed by backfilling and sloping towards the street. As illustrated in the attached 3D render, this adjustment would effectively reduce the overall height to 5.4m, which we can agree is a more favorable outcome. Furthermore, considering that other properties have been approved with retaining walls exceeding 1.6m along title boundaries, this 1m retaining wall would have minimal impact



This approach would result in less visual bulk compared to other existing dwellings. Notably, the neighboring property features a garage built on the boundary with a wall height of 4.6 meters

Whether approval of any proposed buildings and works is compatible with maintaining the visual, natural and cultural significance of the ridge landscape.

The proposed dwelling thoughtfully responds to the future development vision reinforcing the prevailing pattern of development with respect to front and rear setbacks and site coverage. Given the site is over 750 square metres, it is considered a single dwelling is an acceptable an outcome at the subject site. Proposed siting, bulk and selection of materials is consistent with the emerging character of development within the greater locality and is an appropriate neighbourhood character response.

Generous front and rear setbacks promote planting of vegetation, open spaces and allowance for established trees which will ultimately provide canopy backdrop to the streetscape.

In addition, no front fencing proposed is in keeping with the character of low front fences providing a sense of openness to the streetscape and encouraging views into front gardens.

Vegetation and habitat	The benefit of permit conditions requiring all building materials to be non-reflective and of colours that are complementary to those of the natural landscape.	<i>Proposed building materials are contextually responsive and non-reflective</i>
	The benefit of conditions requiring the landscaping of buildings and works, while also having regard to the maintenance of existing viewlines.	<i>Proposed dwelling will not adversely impact existing viewlines</i>
	The retention of remnant vegetation and wildlife habitat, and the need to plant vegetation along waterways, gullies, ridgelines and property boundaries.	<i>This application will not result in the removal of remnant vegetation and wildlife habitat</i>
	The conservation and enhancement of the area's native vegetation and habitat values, including allowing for natural regeneration of native vegetation	<i>The application is within a recent subdivision where the area's native vegetation and habitat values would have been considered</i>
	Providing linked open space and local habitat corridors.	<i>The application is within a recent subdivision where the provision of linked open space and local habitat corridors would have been conducted</i>
	Maintaining vegetation as a key element of the landscape, and maintaining and enhancing the continuity of vegetation.	<i>Proposed siting and bulk are in keeping with the emerging pattern of development ensuring the preservation of landscape as the dominant built form. Generous front and rear setbacks promote planting of vegetation, open spaces and allowance for established trees which will ultimately provide canopy backdrop to the streetscape.</i>
Response to slope	The significance of any vegetation proposed to be removed, including its rarity and habitat value.	<i>This application will not result in the removal of significant vegetation</i>
	The need to revegetate or landscape the site with native species and dispersing buildings to allow trees to be planted between them.	<i>Not applicable</i>
	The availability of other alternative sites, alternative building designs or alternative construction practices for proposed buildings and works that minimise cut and fill and would better meet the environmental objectives of this schedule, having regard to the size and topography of the land, retention of vegetation, and the form and nature of the proposed buildings and works.	<i>The proposed dwelling is sited to work harmoniously with the existing topographical profile of the site; minimising extent of cut and fill</i>
	The availability of reasonable alternative routes, alternative designs or alternative forms of installation for roads, access driveways and infrastructure service lines that would avoid impact on vegetation and habitat areas, follow the contours of the land, minimise cut and fill and better meet the environmental objectives of this schedule.	<i>Not applicable</i>
	Locating buildings and works in low lying positions on a site.	<i>The proposed dwelling is sited to work harmoniously with the existing topographical profile of the site</i>

	Slope stability and the need for a geotechnical report, particularly where slopes are greater than 20 percent.	<i>The application is within a recent subdivision where slope stability assessment would have been conducted. Furthermore, a geotechnical report should be carried out at building permit stage</i>
Waterways	The protection of waterways and water quality through the appropriate management of stormwater, effluent disposal, erosion, sediment pollution and the provision and protection of vegetation especially along watercourses.	<i>A Stormwater Management Plan has not been provided however there is capacity for Water Sensitive Urban Design (WSUD) treatments in the form of rainwater tanks to each dwelling. The site permeability exceeds the minimum requirements under Standard B9 of Clause 55 (which requires 20%), supporting the opportunity for water to filtrate rather than run off into stormwater which will encourage water infiltration</i>
Salinity	Whether vegetation retention and revegetation is occurring and whether appropriate management techniques are being put in place to address water table and salinity issues.	<i>Not applicable</i>

Overlay – Design Response Discussion

The proposed dwelling has considered and responded to the purpose of schedule 4 to the Environmental Significance Overlay. Being within a recent subdivision, The Land Capability Study, environmental and landscape impact assessment, environmental significance and hazards have been considered.

The proposed dwelling will not result in the removal of remnant vegetation and wildlife habitat, siting and bulk are in keeping with the emerging pattern of development ensuring the preservation of landscape as the dominant built form, sited to work harmoniously with the existing topographical profile of the site and Proposed building materials are contextually responsive and non-reflective.

Conclusion

This proposed dwelling at 12 Galway Rise Pakenham strikes a balance between the provision of housing stock while preserving the environmental integrity and character of our neighbourhoods. It reflects a high standard of design, and has been reached through careful consideration of adjoining properties and the nature of the proposed site.

It is generally in accordance with the relevant objectives of the Planning Policy Frameworks and neighbourhood studies. The proposed dwelling meets the objectives and Standards in schedule 4 to the environmental significance overlay and is in keeping with Cardenia's housing strategy.



Narelle Cassar MPIA147874 BAppSc(Surv) BPlanningDesign

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Buildings and works

Measures to address environmental hazards or constraints including erosion, drainage and fire.

The application is within a recent subdivision where the measures to address environmental hazards or constraints has been conducted

The impact of any buildings and works on areas of remnant vegetation, and habitat of botanical and zoological significance.

This application will not result in the removal of native vegetation

The impact of proposed buildings and works on the landscape character of the area, including prominent ridgelines and significant views.

A brief drive through the estate reveals that the majority of dwellings are not designed with split levels. Notably, the property directly adjacent features a two-story home with a 2.4m-high retaining wall along the eastern boundary, with the entire lot leveled—demonstrating no incorporation of a split-level design.



A similar design is located directly opposite the site, following the same approach. However, instead of conducting a site cut, the lot has been filled to a height of 2.5 meters to create a flat block.



Both of these developments appear to be non-compliant with the ES04 requirements, yet they have been constructed. Additionally, as double-story structures, they contribute significantly to visual bulk. In contrast, our proposal is a single-story design, ensuring a substantially reduced visual impact

The control of the density of buildings and subdivision necessary to meet environmental objectives.

Not applicable

The establishment of appropriate building envelopes and the benefits of requiring building envelopes to be shown on plans of subdivision.

Not applicable

GENERAL NOTES

- INTELLECTUAL PROPERTY AND USE OF THIS DOCUMENT
- This document has been prepared for the exclusive use of the client of Creative House Plans (the designer), for the purpose expressly notified to the designer. Any other person who uses or relies on these plans without the designer's written consent does so at their own risk and no responsibility is accepted by the designer for such use and/or reliance.
 - This document is to be read in conjunction with all drawings, details and information provided by the consultants named herein, and with any other written instructions issued in the course of the contract.
 - A building permit is required prior to the commencement of these works. The release of this document is conditional on the client obtaining the required building permit.
- MATERIALS AND TRADE PRACTICES
- All materials, construction and work practices shall comply with but not be limited to the current issue of NCC 2022 01-05-23, National Construction Code 2022 Building Code Of Australia Vol. 2 (hereafter referred to as BCA), and all relevant current Australian Standards referred to therein.
 - Work and site management practices shall comply with all relevant laws and by-laws.
 - If any performance solution is proposed, it shall be assessed and approved by the [relevant building surveyor/building certifier] as meeting BCA performance requirements prior to implementation or installation.
 - Installation of all services shall comply with the respective supply authority's requirements.

MEASUREMENTS

- Figured dimensions take precedence over scaled dimensions.
- All measurements are in millimetres, unless noted otherwise.
- Unless noted otherwise, dimensions on floor plans, sections and external elevations represent timber frame and structural members, not finished linings/cladding.
- Window sizes are nominal only. Actual size may vary according to manufacturer.
- The builder and subcontractors shall check and verify all dimensions, setbacks, levels, specifications, and all other relevant documentation prior to the commencement of any works. Report all discrepancies to the designer for clarification.

SITE CLASSIFICATIONS & PROPERTY INFORMATION

- Site Classification as Class "P"
- Wind Speed Class : N3
- BAL Level : NA
- Refer Soil Report No : 2234098-1
- By:ResCom Dated: 12-12-23

SUPPLEMENTARY NOTES

SITE PROTECTION DURING THE CONSTRUCTION PERIOD

- Protective outriggers, fences, awnings, hoarding, barricades and the like shall be installed where necessary to guard against danger to life or property or when required by the relevant building surveyor and/or council.
- Where required by council, the builder shall construct a temporary crossing placed over the footpath.
- All practicable measures shall be implemented to minimise waste to landfill. The builder may use a construction waste recovery service, or sort and transport recyclable materials to the appropriate registered recycler. Materials shall not be burned on site.
- A site management plan shall be implemented from the commencement of works, to control sediment run-off in accordance with [insert relevant state/council guidelines or regulation]. Silt fences shall be provided to the low side of the allotment and around all soil stockpiles and storm water inlet pits/sumps and 'silt stop' filter bags or equivalent shall be placed over all storm water entry pits. Erosion control fabric shall be placed over garden beds to prevent surface erosion.
- Dust-creating material shall be kept sprayed with water so as to prevent any nuisance from dust.
- Waste materials shall not be placed in any street, road or right of way.
- Earthworks (unretained) shall not exceed 2m.
- Cut and fill batters shall comply with BCA Table 3.2.1.

PROTECTION OF THE BUILDING FABRIC

- The builder shall take all steps necessary to ensure the stability and general water tightness of all new and/or existing structures during all works.
- Windows, doors and service penetrations shall be flashed all around.
- All pliable membranes shall be installed to comply and be in accordance with BCA 10.8.1
- Gutters and drainage shall be supplied and installed in accordance with AS3500.3.
- Anti-ponding devices/boards shall be installed according to BCA 7.3.5.
- Dampcourses with weepholes and cavity flashings shall be installed in accordance with AS4773.2.
- Surfaces around the perimeter of a residential slab shall fall away from that slab by not less than 50mm over the first 1m. Where not stipulated in the geotechnical report, freeboard shall be not less than 50mm from an impermeable surface or 150mm from a permeable surface.
- Subfloor vents shall be located >600mm from corners and be installed below bearers. Such vents shall provide a rate per 1000mm run of external or internal cross walls of:
 - 7,500mm² clear ventilation where particle board flooring is used; or
 - 6,000mm² for other subfloor types.
- [Where a building other than detached class 10 is located in a termite-prone area] the building shall be provided with a termite management system compliant with AS3660.1 or AS3660.2.
- In saline or industrial environments, masonry units, mortar, and all built-in components shall comply with the durability requirements of Table 4.1 of AS4773.1, Part 1: Design.
- Building tie-downs shall be appropriate for the site wind classification and provided in accordance with BCA 5.6.6.
- Corrosion protection shall be suited to the site context and provided for built-in structural steel members such as steel lintels, shelf angles, connectors, accessories (other than wall ties) in accordance with Table 4.1 of AS4773.1 Masonry in Small Buildings, Part 1: Design.
- Sheet roofing shall be protected from corrosion in a manner appropriate to the site context, in accordance with BCA Table 7.2.2a.
- Single leaf masonry walls shall be weatherproofed per BCA 5.7.6.
- [In climate zones 6, 7 and 8] Unless excluded by BCA 10.8.3(2) roofs shall be provided with ventilation openings per BCA 10.8.3.
- External waterproofing for on flat roofs, roof terraces, balconies and terraces and other similar horizontal surfaces located above internal spaces of a building shall comply with BCA H2D8.
- Waterproofing of wet areas - being bathrooms, showers, shower rooms, laundries, sanitary compartments and the like - shall be provided in accordance with BCA 10.2.
- Balcony waterproofing shall be provided in accordance with AS4654.1 & AS4654.2.

GLAZING

- Glazed units shall be installed in accordance with BCA 8.3.2.
- Fully framed glazing installed in the perimeter of buildings shall comply with BCA 8.3.3.
- Glass - including, but not limited to, windows, doors, screens, panels, splashbacks and barriers - shall comply with BCA 3.3.3.
- Glazing subject to human impact shall comply with BCA 8.4.

FOOTINGS

- Footings shall not, under any circumstance, encroach over title boundaries or easement lines.
- Where concrete stumps are to be used, these shall be:
 - 100 x 100mm (1x 5mm HD wire) if up to 1400mm long
 - 100 x 100mm (2x 5mm HD wires) if 1401mm to 1800mm long
 - 125 x 125mm (2x 5mm HD wires) if 1801mm to 3000mm long.
- 100mm x 100mm stumps that exceed 1200mm above ground level shall be braced where no perimeter base brickwork is provided.
- All concrete footings shall be founded at a depth to a minimum required bearing capacity and/or in accordance with recommendations contained in soil report (or otherwise at engineer's discretion).

STORMWATER & SEWERS

- 100mm dia. Class 6 UPVC stormwater line min grade 1:100 shall be connected to the legal point of discharge to the relevant authority's approval. Provide inspection openings at 9m centres and at each change of direction.
- Covers to underground stormwater drains shall be not less than:
 - 100mm under soil
 - 50mm under paved or concrete areas
 - 100mm under unreinforced concrete or paved driveways
 - 75mm under reinforced concrete driveways
- The builder and subcontractor shall ensure that all stormwater drains, sewer pipes and the like are located at a sufficient distance from any buildings, footing and/or slab edge beams so as to prevent general moisture penetration, dampness, weakening and undermining of any building and its footing system.

-SAFETY OF BUILDING USERS

- Where stairs, ramps and balustrades are to be constructed, these shall comply with all provisions of BCA 11.2.
- Other than spiral stairs:
 - Risers shall be 190mm max and 115mm min
 - Goings shall be 355mm max and 240mm min
 - 2r+g shall be 700mm max and 550mm min
 - There shall be less than 125mm gap between open treads.
- All treads, landings and the like shall have a slip resistance classification of P3 or R10 for dry surface conditions and P4 or R11 for wet surface conditions, or a nosing strip with a slip-resistance classification of P3 for dry surface conditions and P4 for wet surface conditions.
- Barriers shall be provided where it is possible to fall 1m or more from the level of the trafficable surface to the surface beneath. Such barriers (other than tensioned wire barriers) shall be:
 - 1000mm min above finished stair level (FSL) of balconies, landings etc; and
 - 865mm min above FSL of stair nosing or ramp; and
 - vertical, with gaps of no more than 125mm.
- Where the floor below a bedroom window is 2m or more above the surface beneath, the window shall comply with BCA Clause 11.3.7.
- Where the floor below a window other than in a bedroom is 4m or more above the surface beneath, the window shall comply with BCA Clause 11.3.8.
- Where a bedroom window is 2m or more above the surface beneath, or it is possible to fall 4m or more from the level of any trafficable surface to the surface beneath, any horizontal element within a barrier between 150mm and 760mm above the floor shall not facilitate climbing.
- Handrails shall be continuous, with tops set >865mm vertically above stair nosing and floor surface of ramps.
- Wire barriers shall comply with BCA 11.3.4 and 11.3.6.
- A glass barrier or window serving as a barrier shall comply with BCA H1D8.
- Class 1 buildings with air permeability of not more than 5 m³/hr.m² at 50 Pa shall be provided with a mechanical ventilation system complying with H6V3.inward-opening swing doors to fully enclosed sanitary compartments shall comply with BCA Clause 10.4.2.
- Flooring in wet areas, laundry and kitchen shall be slip resistant.
- Door hardware shall be installed 900mm - 1100mm above the finished floor.
- There shall be a level transition between abutting internal surfaces (a maximum vertical tolerance of 5mm between abutting surfaces is allowable provided the lip is rounded or bevelled).

SERVICES

- Solar collector panel locations are indicative only. Location and size are dependent on manufacturer's/installer's recommendation.
- Ductwork for heating and cooling systems shall comply with AS4254 & AS/NZS 4859.1 in accordance with climate zone requirements set down in BCA Table 3.

TIMBER FRAMING

- Standard timber roofing and wall framing shall be provided in accordance with AS1684 (Residential Timber-Framed Construction) and all relevant supplements.

ELECTRICAL

- Smoke detectors shall be fitted where none are present, or where existing are non-compliant with AS3786.
- New smoke detectors shall be interconnected; mains-powered; and located and installed per BCA 9.5.2 and 9.5.4.
- In a Class 10a private garage, an alternative alarm may be installed per BCA 9.5.1(b).
- Light switches shall be positioned in a consistent location 900mm - 1100mm above the finished floor level; horizontally aligned with the door handle at the entrance to a room.
- Power points shall not be installed lower than 300mm above finished floor level.
- All electrical penetrations shall be sealed using material appropriate to the rating of the cable and/or device.
- Only stamped IC4-rated downlights shall be installed and insulation shall not be penetrated for downlights.
- Ductwork for exhaust fans and heating and cooling systems shall comply with AS4254 & AS/NZS 4859.1 in accordance with climate zone requirements set down in BCA 13.7.4.
- Exhaust from a bathroom, sanitary compartment or laundry shall be discharged directly via an insulated shaft or R1 insulated ducting to outdoor air. Minimum flow rates shall be:
 - 40 l/s for kitchen & laundry
 - 25 l/s for bathroom or sanitary compartment.
- An exhaust system that is not run continuously and is serving a bathroom or sanitary compartment that is not ventilated in accordance with BCA 10.6.2(a) shall be interlocked with the room's light switch; and include a 10 minute run-on timer.
- Exhaust fans, rangehoods and the like shall be installed with self-closing dampers.

BUILDING THERMAL PERFORMANCE

- Works shall be constructed in accordance with the stamped plans endorsed by, accredited thermal performance assessor, without alteration.
- The NatHERS energy rating contains inbuilt assumptions about the integrity of the building fabric with regards insulation, draughtproofing and glazing. Works shall comply with the following measures, to ensure that the as-built performance corresponds to that modelled in the energy rating.
- Insulation as per thermal performance Report shall be installed in accordance with BCA 13.2.2
- Insulation shall be installed tight and continuous, without gaps and cracks, hard up against internal linings (including subfloor). There shall be no air gap between an internal lining and insulation. Junctions between internal and external walls shall be insulated.
- Insulation shall not be crushed or compressed.
- Box gutters and manhole covers shall be insulated to the same R-value as the roof, using insulation batts or blanket or closed-cell foam.
- Downlights shall be stamped as IC4 rated, airtight and covered by insulation.
- [In climate zones 6, 7 and 8] a vapour permeable layer shall be installed per manufacturer's instructions in all new external walls. The material shall be overlapped and fully taped on the external side to ensure a tight seal. All penetrations in the membrane shall be sealed, ensuring that the material covers gaps between studs and doors and window frames. Any flashing around windows shall be taped over the building wrap.
- Where a foil-backed membrane is used, timber battens shall be used to minimise thermal conduction.
- All trades shall be instructed to replace any insulation they have removed in the course of their work and to tape any cuts/penetrations in building wrap. All penetrations shall be caulked using a fit-for-purpose flexible sealant.
- Caulking products shall be appropriate for the intended application.
- Where it is not possible to insulate under an existing timber floor, gaps between floorboards shall be sealed before applying finishes or coverings.
- External doors and windows shall be draughtproofed per BCA 13.4.4 using a durable, fit-for-purpose seal.
- Cavity slider pockets shall be sealed before installation, either by wrapping with vapour permeable membrane, or by screwing plaster securely to the frame and applying a silicon bead.
- Conditioned Class 1 and unconditioned Class 10a spaces shall be separated by insulation. Any openings between such spaces shall be weather-stripped.
- Window sizes nominated are nominal. Actual size may vary minimally according to manufacturer; however, opening styles, overall size, U-value and SHGC values are inbuilt into the energy rating and may not be altered without the express approval of the project's energy rater.
- Glazed doors and windows shall be N3 wind rated, weather-stripped and flashed all around.



AREA ANALYSIS

Residence	259.75 m²
Porch	7.69 m²
Alfresco	34.67 m²
Garage	38.90 m²
TOTAL	341.01m² OR 36.70 SQ

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Owner Builder

Notes

- Site Drainage shall comply with NCC 3.1.2 'Drainage' and AS3500 National Plumbing Drainage Code
- Sites should be drained so that water cannot pond against or near the house. The ground immediately adjacent to the house should be graded to fall 50mm over the first metre. Where this is Impractical, use A.G.Drains adjacent to footings where the ground falls towards the building.
- Agricultural (AG) cut-off drains must be installed at the base of all excavations and along the high side of a sloping site and be connected to the storm water drainage system via a 300mm x 300mm silt pit
- AG drains must be laid a minimum of 400mm into the soil and 100mm below any adjacent footing or pavement
- Contractor to connect to Existing Legal Point of Discharge to the standard & satisfaction of the responsible authority. Contractor to confirm location & depth of legal point of discharge prior to construction to ensure design intent is achievable
- Stormwater Drains are indicative only. Drainer may connect to LPD at their discretion.
- Downpipes shall be minimum 100mm x 50mm, must not be located more than 12m apart and securely fixed to walls with approved brackets at maximum 2.2m centres
- Small Immature trees located in Nature strip or adjoining properties may affect the structure of the building if allowed to grow in excess of 6m in Height. It is recommended that the owner monitors the tree(s) growth & restrict their height to 6M max.
- A rainwater tank installed in a new Class 1 building in order to comply with the requirements of the building regulations must:
 - be installed in such a way that it receives the rainfall from a minimum catchment area of 50 square metres; and
 - have a minimum capacity of 2000 litres; and
 - be connected to all toilets in the building for the purpose of sanitary flushing.

SITE COVERAGE ANALYSIS

SITE AREA	759 m ²
Residence	259.75 m ²
Porch	7.69 m ²
Alfresco	34.67 m ²
Garage	38.90m ²
TOTAL	341.01 m ² OR 44.9% of Site
DRIVE & PATH	39 m ² or 5.1% of Site
PERVIOUS AREA	378.99 m ² or 50% of Site

The Site Cut indicated is approximately only. The Builder Shall Assess and adjust the cuts as necessary to accommodate construction variables such as:

- Site Drainage (To comply with AS 3500 & NCC 3.1.2)
- Slab forming/boxing System
- Termite Treatment/Control System
- Proposed Landscape Features Including finishedlevels, Backfilling, Pavement Depths,Cross Falls for Drainage etc. Grade surface away from house footings (Minimum 1:20)

The Height of the slab-on-ground, above external finished surfaces must be not less than 100mm above the finished Ground level in Low rainfall Intensity areas or sandy, Well drained areas or; 50mm Above Impermeable (Paved or Concreted areas) that slope away from the Building or 150mm in any other case (To comply with NCC 3.1.2.2)

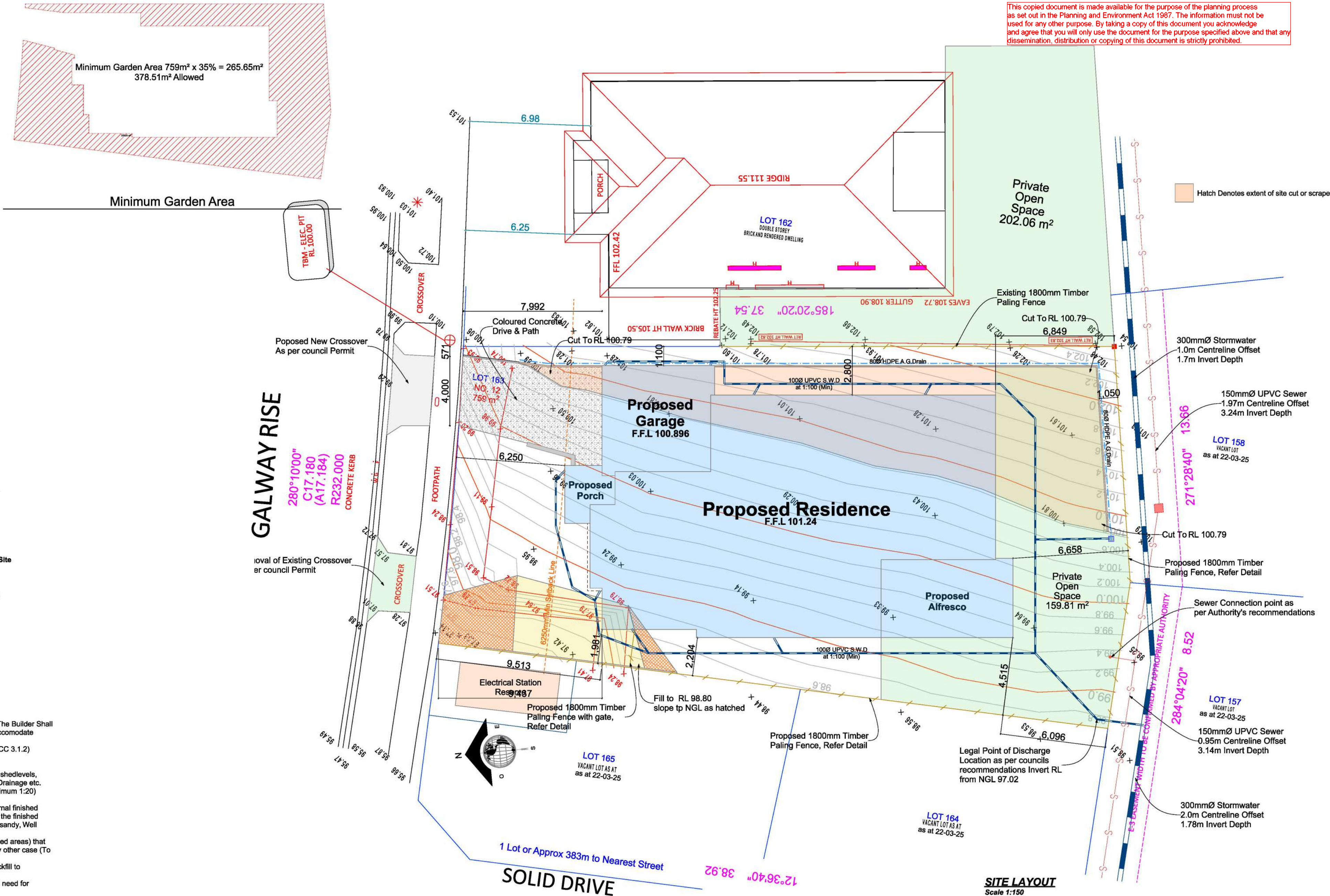
Site Cuts should allow for 100mm Top soil Backfill to Landscape areas unless noted otherwise.

However, Cuts are to be minimised to limit the need for excessive Backfill.

On Sites where landscaped areas require in excess of 100mm Backfill, Clean excavated material may be used in 150mm compacted layers with 100mm of F.G.L

Backfill under slabs shall be to Engineer Design/Details

All Site cuts are to have cross fall to provide positive drainage. The toe of every cut Batter to be provide with 90mm uPVC Slotted Aggi Drain connected to stormwater system v protected by Gravel Filters.



- Where there is no window to W/C, Mechanical Ventilation Must be provided with a minimum 35Ltr per Second clean Air simultaneously with Artificial Light Source.
- Exhaust Fan

- Removable Hinges are to be provided to all W/C without a minimum 1.2m clear space between the toilet Pan and the closest part of the doorway.

All Light Fittings are to be Energy Saving type - (CFLs) Compact Florescent Lamp & Downlights are to be of (LED) Light Emitting Diode Type

Max 5W/m² Class 1 Building
Max 4W/m² Verandah, Balcony or
the like attached to a Class 1
Max 3W/m² in a Class 10A
Building associated with a Class 1

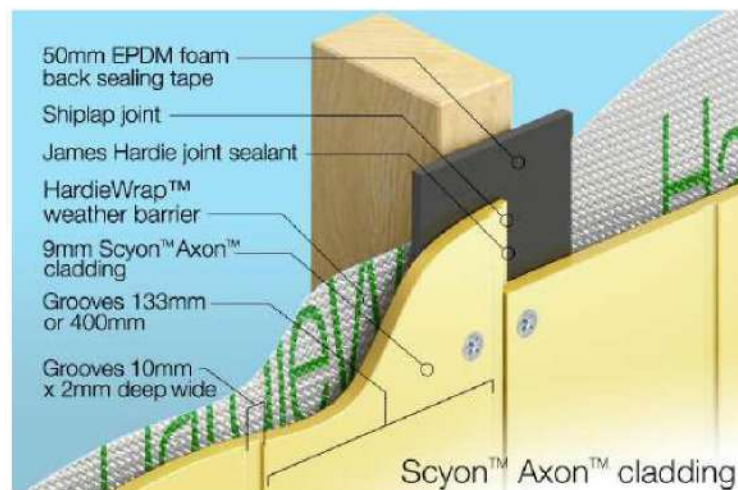
Artificial Lighting Around the perimeter of a building must:
A) Be controlled by a daylight Sensor
B) Have an average light source efficiency of not less than 40 Lumens per Watt

- SD** Smoke Detector - Where there is more than one, Smoke detectors must be interconnected

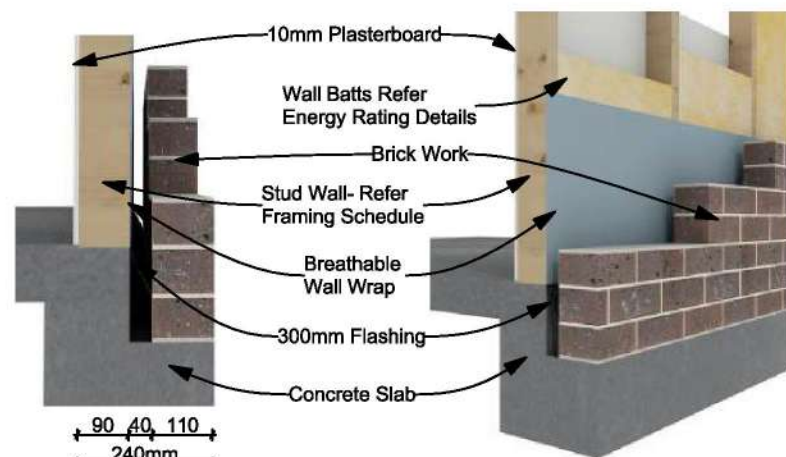
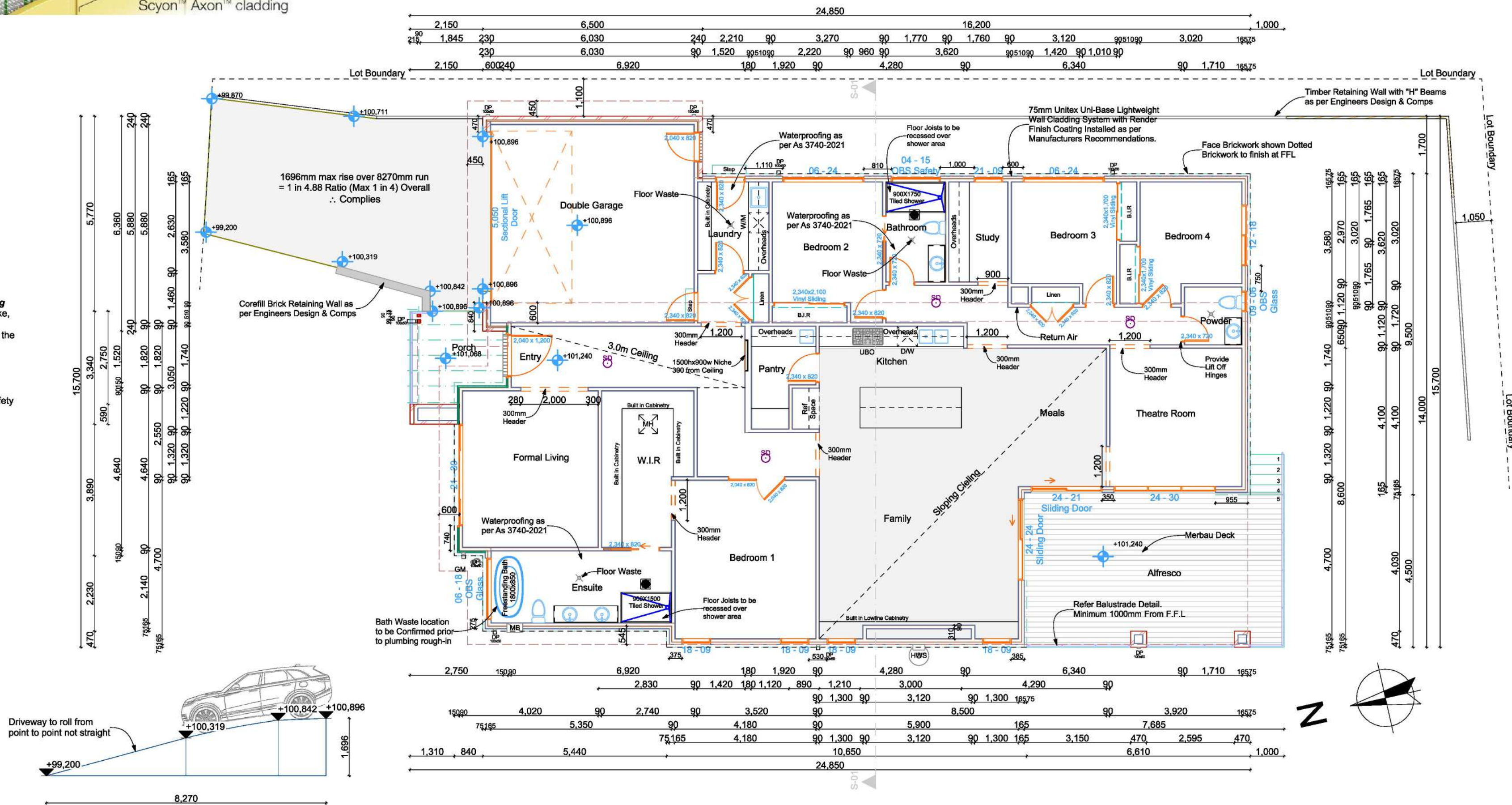
Kitchen, bathroom, ensuite, spa room and splashback glazing
All glazing in kitchens, bathrooms, ensuites, spa rooms or the like, including shower doors, shower screens, bath enclosures, and associated windows and doors (including cabinet doors), where the lowest sight line is less than 2.0 m above the highest abutting finished level of the floor, bottom of the bath, or shower base, must-

- a) for framed panels, be glazed with Grade A safety glazing material in accordance with Table 8.4.2; or
- b) for panels or doors with any edge exposed, be toughened safety glass in accordance with Table 8.4.6 with a minimum nominal thickness of 6 mm.

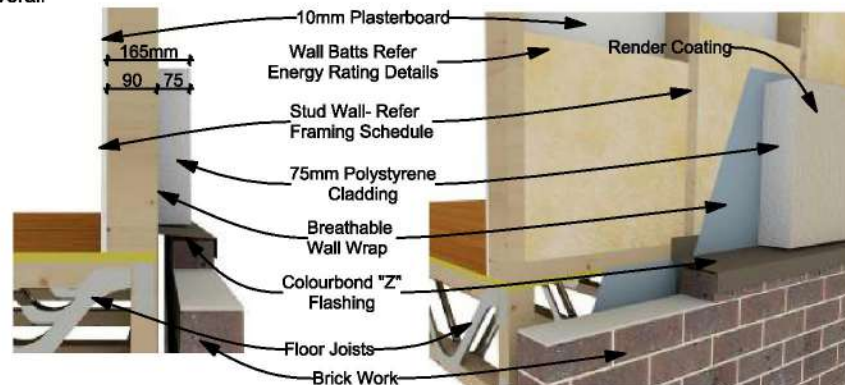
Scan QR Code for Full Part 8.46 Details and Tables



Scan QR Code for full
Installation Details



Typical External Wall Detail -Brick Veneer

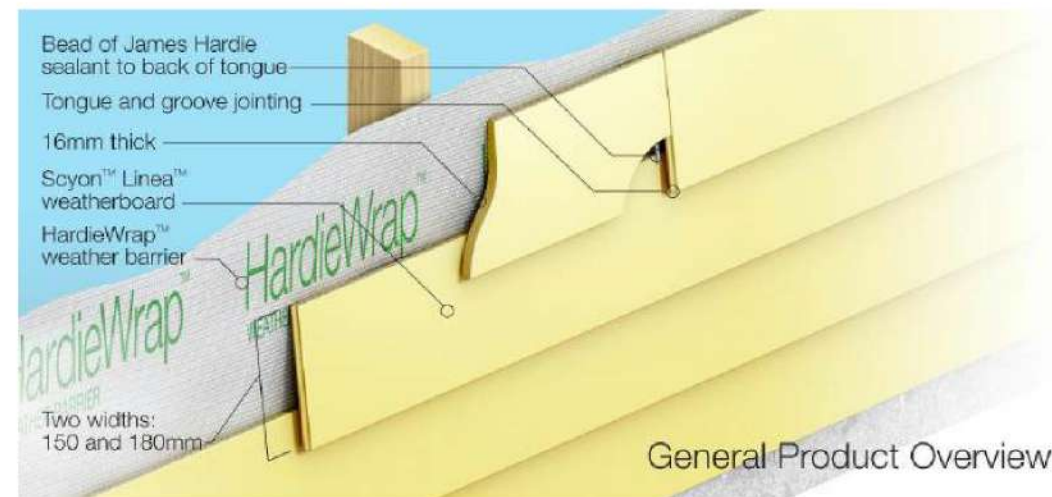


Must be Installed as per Manufacturers Details to comply with BCA Accreditation # V11/03

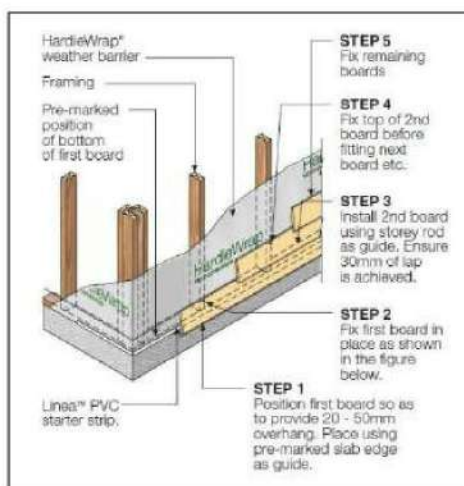
75mm UNITEX Uni-Base Board
Light Weight Wall Cladding System



Scan QR Code for full
Installation Details



General Product Overview



Scan QR Code for full
Installation Details



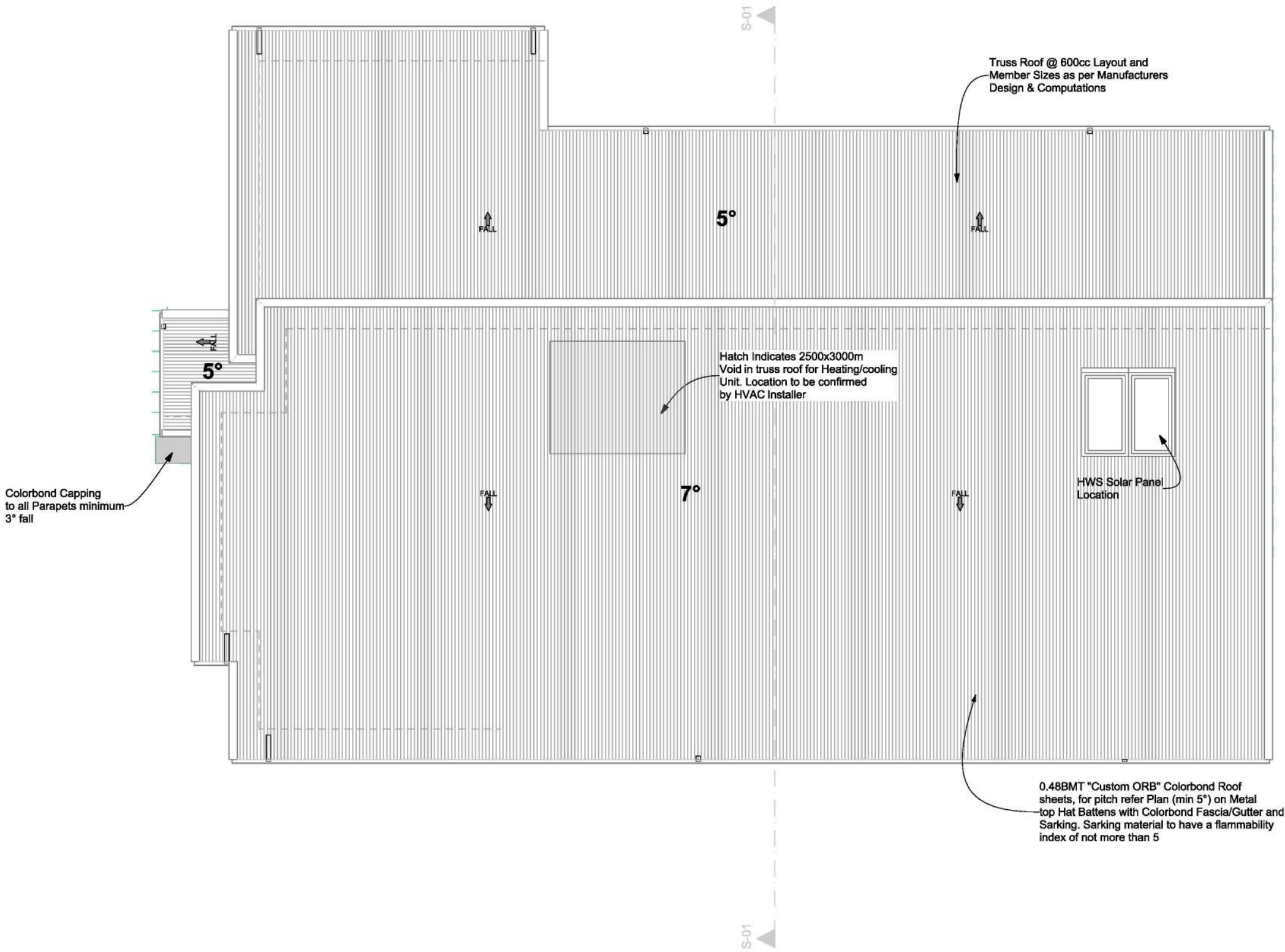
- Box Gutter Notes**
- The depth of box gutters and sizing of sumps, rainheads, downpipes and overflows must be designed using the general methods specified in the AS/NZS 3500.3.
 - The maximum design flow per downpipe can only be plotted between 3 and 16 Litres per second.
 - 100mm x 50mm downpipes are not an option that can be plotted from the standard for use with a sump.
 - The minimum width of any box gutter: Domestic 200 mm and Commercial 300 mm.
 - Grade of box gutters can be plotted at 1:200, 1:150, 1:100 and 1:40.
 - Length of a sump with a side overflow device shall not be less than 400mm.
 - The width of any sump shall be equal to the width of the box gutter.
 - Rainheads shall be left open above the overflow weir, inverted pops, Ned Kelly slots, round holes and vertical chutes or ducts are not deemed-to-satisfy solutions.
 - Overflow devices must discharge to the atmosphere and be clear of neighbouring properties and public areas.
 - Box gutters must be straight without a change of direction and discharge at the downstream end without a change in direction (i.e. not to the side).
 - The box gutter sole width must not be reduced towards the outlet without a proportional increase in depth, the width of the gutter must not reduce to less than the minimum width at which it was designed (i.e. if designed at 200 mm sole width, gutter must not reduce to less than 200mm in width).
 - Sumps and rainheads must be fixed and fully sealed to the box gutter.
 - All box gutters must incorporate provision for expansion; where the distance between fixed points exceeds 6 metres; and at appropriate intervals for the material and situation as prescribed by the standard.
 - No part of the outlet is above the sole of the sump or rainhead, and
 - Lap joints of box gutters to have 25mm laps sealed and fastened in the direction of fall.

Part 10.8 Condensation management

- 10.8.1 External Wall Construction**
- (1)Where a pliable building membrane is installed in an external wall, it must—
- a)comply with AS 4200.1; and
 - b) be installed in accordance with AS 4200.2; and
 - c) be located on the exterior side of the primary insulation layer of wall assemblies that form the external envelope of a building.
- (2)Where a pliable building membrane, sarking-type material or insulation layer is installed on the exterior side of the primary insulation layer of an external wall it must have a vapour permeance of not less than—
- a) in climate zones 4 and 5, 0.143 µg/N.s; and
 - b) in climate zones 6, 7 and 8, 1.14 µg/N.s.
- (3)Except for single skin masonry or single skin concrete, where a pliable building membrane is not installed in an external wall, the primary water control layer must be separated from water sensitive materials by a drained cavity.

- 10.8.2 Exhasut Systems**
- An exhaust system installed in a kitchen, bathroom, sanitary compartment or laundry must have a minimum flow rate of—
- a) 25 L/s for a bathroom or sanitary compartment; and
 - b)40 L/s for a kitchen or laundry.
- (2)Exhaust from a kitchen, kitchen range hood, bathroom, sanitary compartment or laundry must discharge directly or via a shaft or duct to outdoor air.
- (3)Where a venting clothes dryer is installed, it must discharge directly or via a shaft or duct to outdoor air.
- (4)An exhaust system that is not run continuously and is serving a bathroom or sanitary compartment that is not ventilated in accordance with 10.6.2(a) must—
- a) be interlocked with the room's light switch; and
 - b) include a run-on timer so that the exhaust system continues to operate for 10 minutes after the light switch is turned off.
- (5)Except for rooms that are ventilated in accordance with 10.6.2(a), a room with an exhaust system in accordance with (1) must be provided with make-up air—
- a)via openings to an adjacent room with a free area of 14,000 mm2; or
 - b) in accordance with AS 1668.2.
- (6)Except for rooms that are ventilated in accordance with 10.6.2(a), a room with an exhaust system in accordance with (3) must be provided with make-up air in accordance with AS 1668.2.

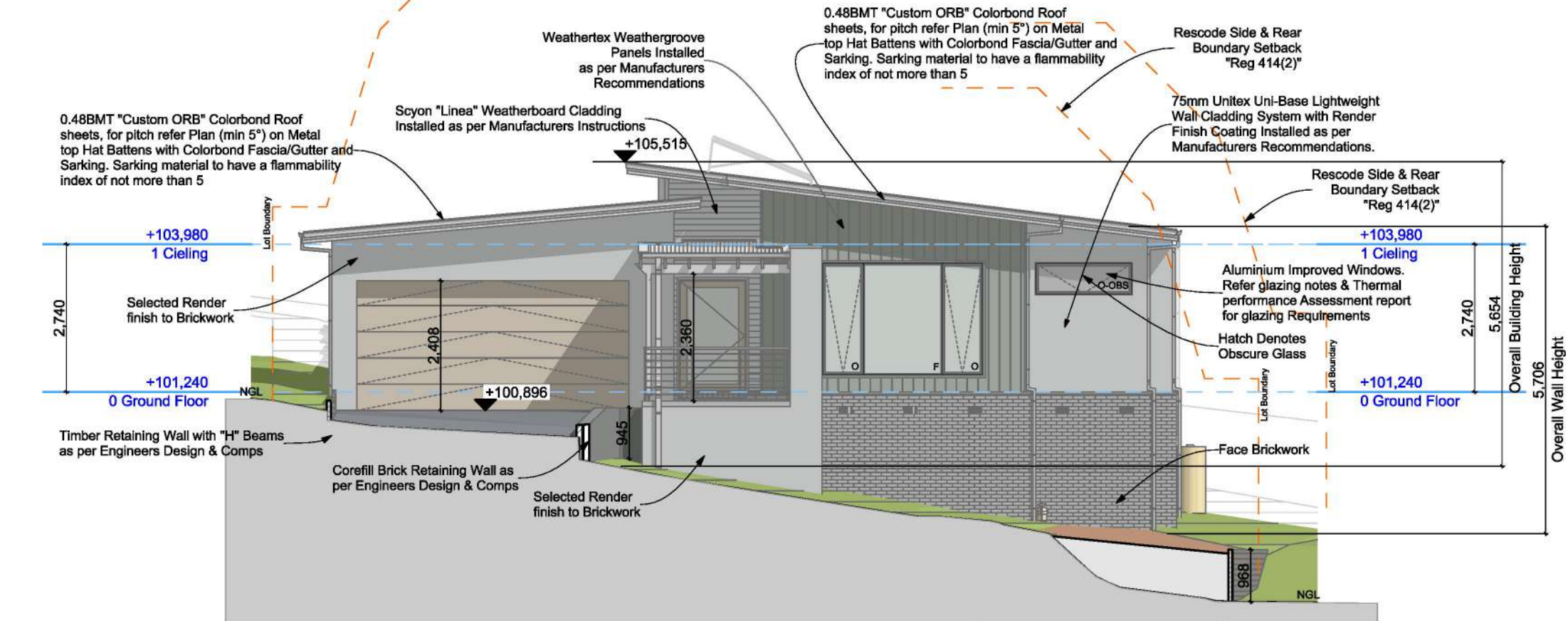
- 10.8.3 Ventilation of roof spaces**
- (1)In climate zones 6, 7 and 8, a roof must have a roof space that—
- a) is located—
 - (i)immediately above the primary insulation layer; or
 - (ii)immediately above sarking with a vapour permeance of not less than 1.14 µg/N.s, which is immediately above the primary insulation layer; or
 - (iii)immediately above ceiling insulation that meets the requirements of 13.2.3(3) and 13.2.3(4); and
 - b) has a height of not less than 20 mm; and
 - c) is either—
 - (i)ventilated to outdoor air through evenly distributed openings in accordance with Table 10.8.3; or
 - (ii)located immediately underneath the roof tiles of an unsarked tiled roof.
- (2)The requirements of (1) do not apply to a—
- a) concrete roof; or
 - b) roof that is made of structural insulated panels; or
 - c) roof that is subject to Bushfire Attack Level FZ requirements in accordance with AS 3959.
- Scan QR Code for full requirements incl Tables and Explanatory Notes



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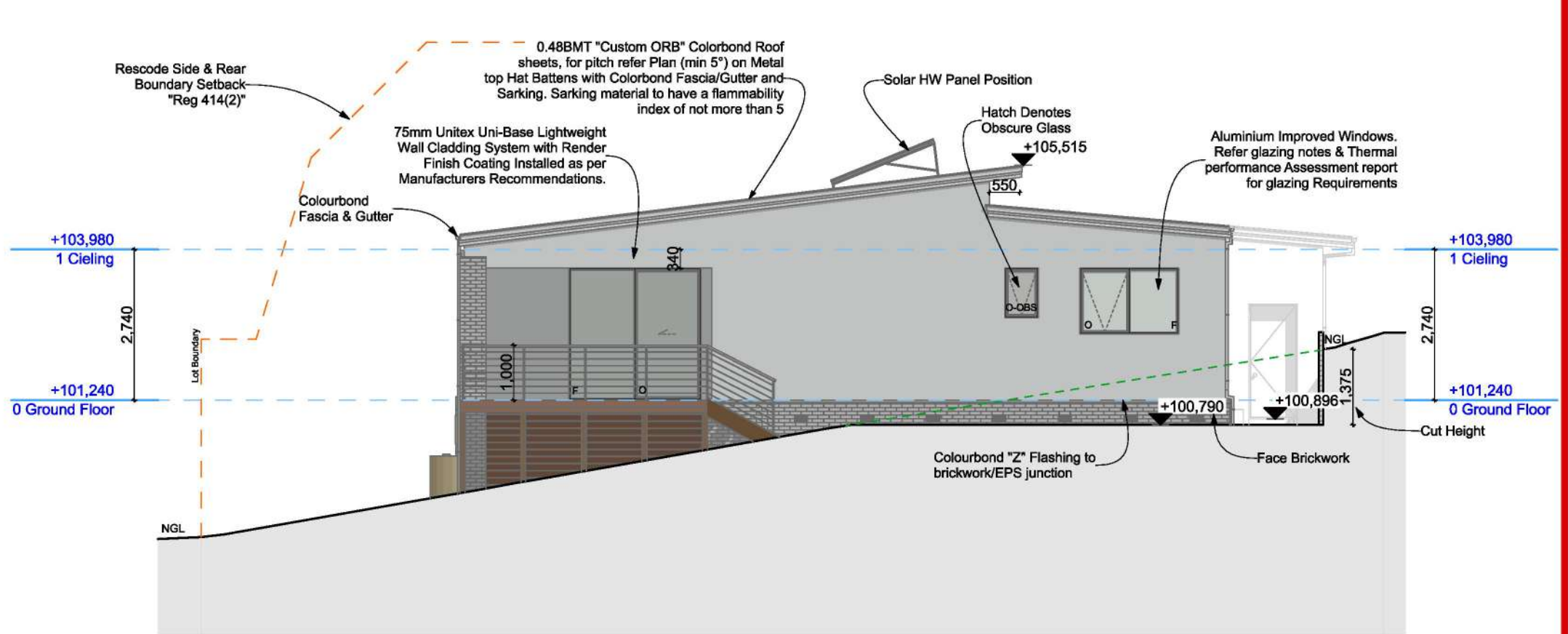


Render to Provide Dripline to any and all rendered areas below the damp proof course.



North Elevation

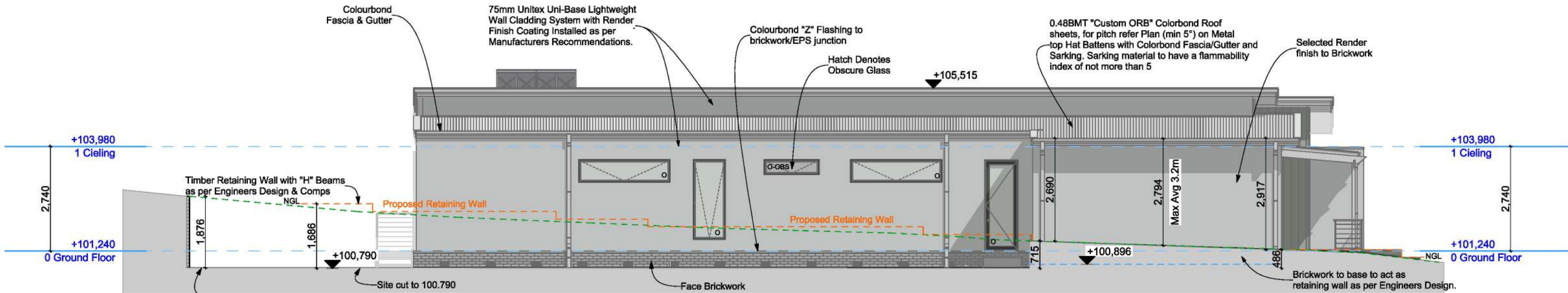
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South Elevation

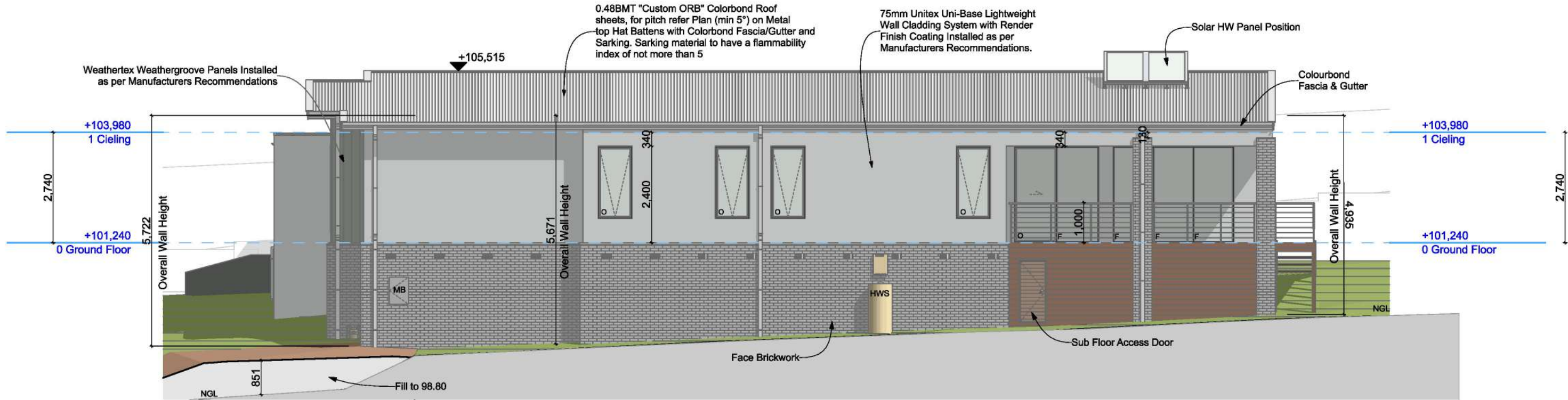
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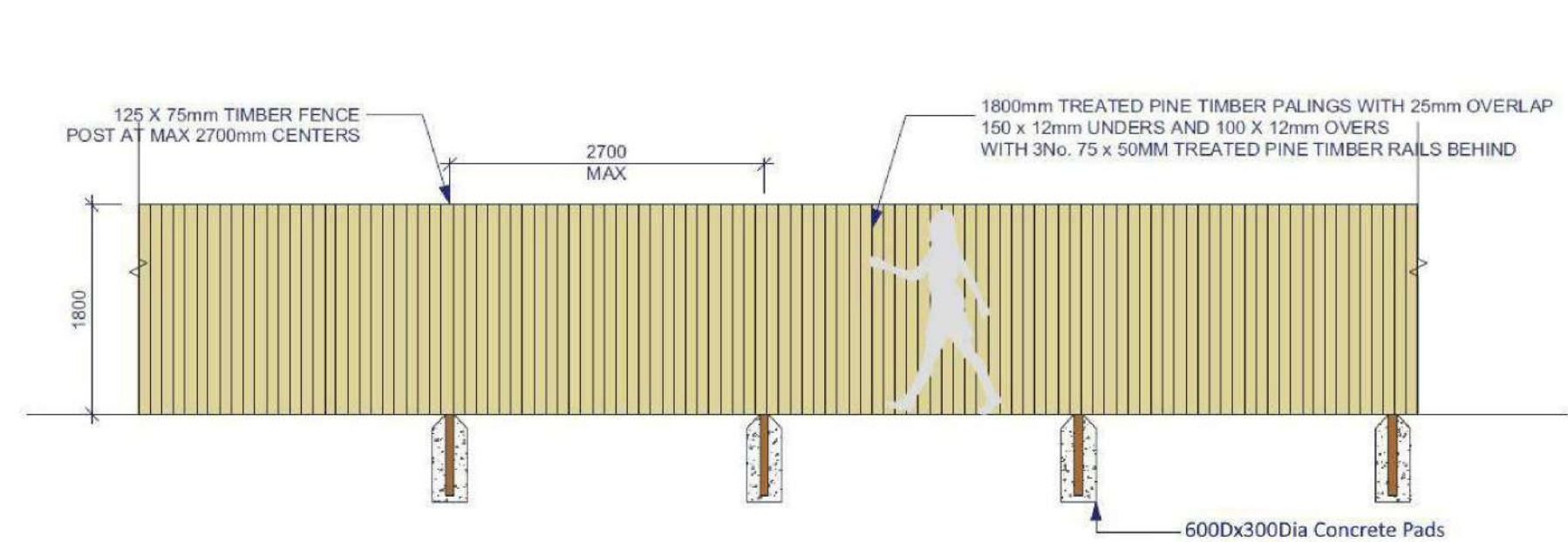
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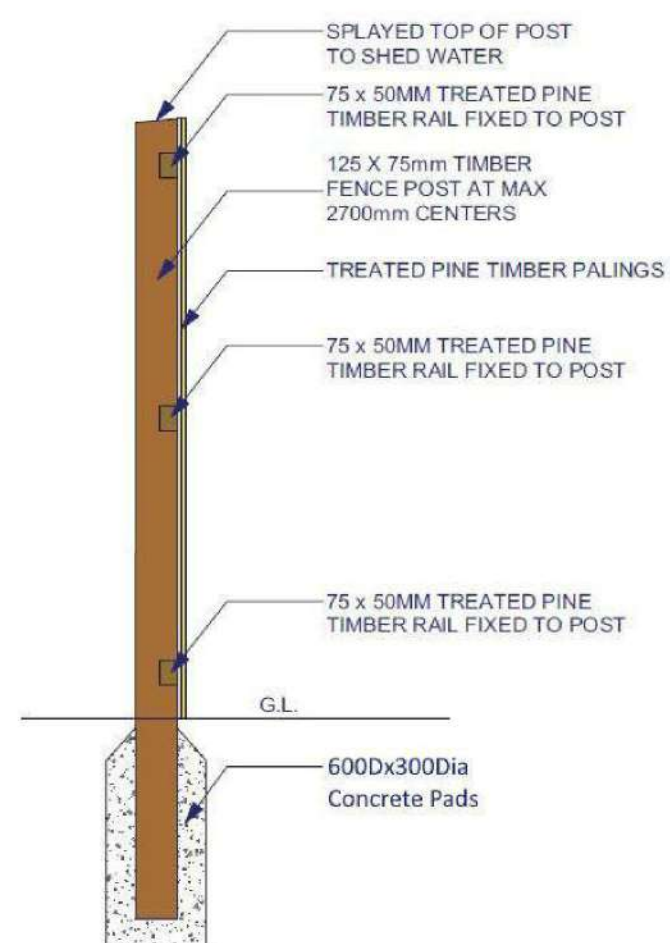
East Elevation

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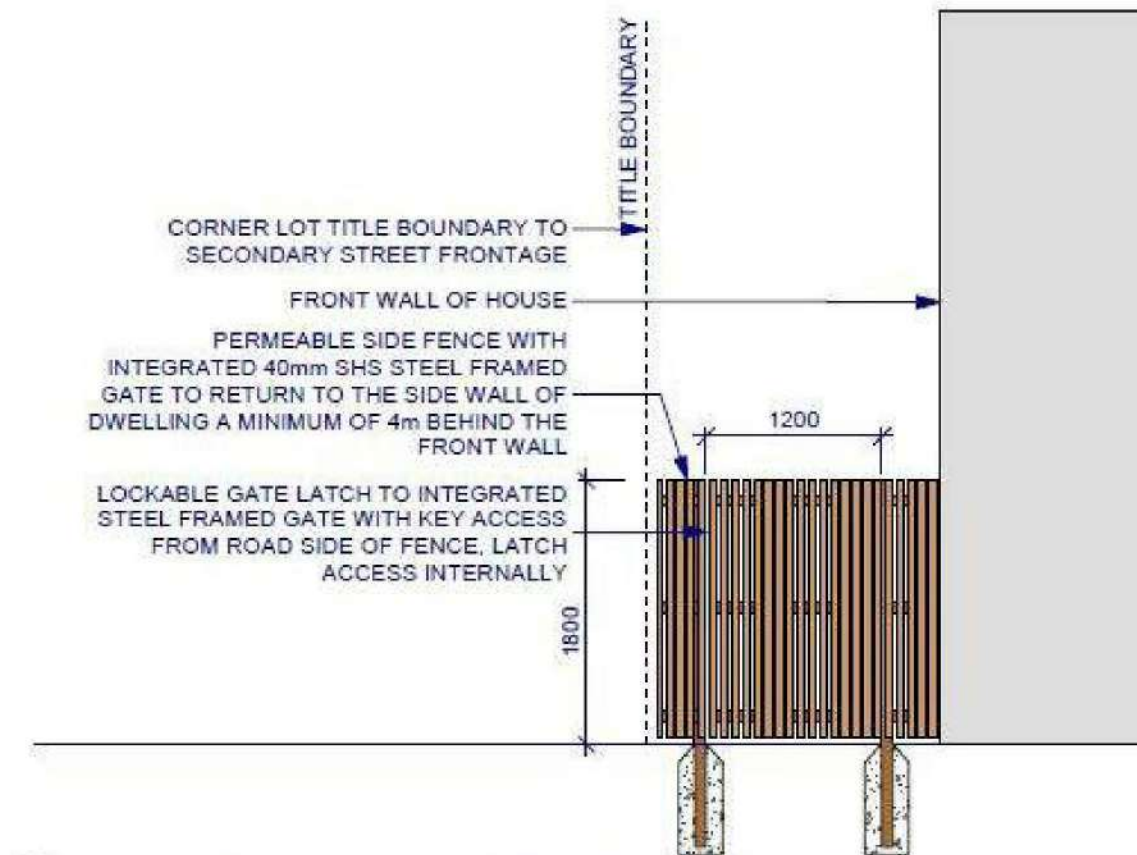




1 Inter Lot Boundary & Rear Boundary Fence



2 Post Section



4 Permeable Side Fence to Dwelling - Elevation
SCALE: 1:50

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Fencing Specifications



External Colours & Materials



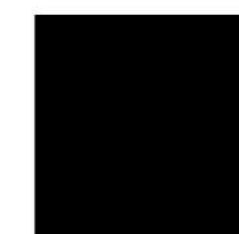
PGH Olympus
Brickwork



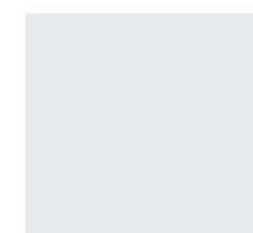
Dover White
Roof, Fascia & Gutter, Flashings, Downpipes, Porch Column and Beam, Weatherboard, Entry Door frame



Shale Grey
Feature Colourbond Cladding, Brick Junction Flashings, Letterbox



Night Sky
Window Frames



Dulux Lexicon
Render Finish



Dulux-Milton Moon
Retainig wall Colour



Walnut Veneer
Garage Door, Entry Door



CPM Anges Mix
Concrete Driveway

Specifications

Subgrade preparation

Site preparation to be carried out in accordance with best horticultural practice and under suitable conditions. Disturbance to indigenous soil structure is to be minimised. The use of machinery that may damage soil structure or profile is not acceptable. Sub-grade to all lawn and planted areas is to be cultivated to a minimum depth of 150mm and shaped to achieve drainage falls prior to topsoiling. Subgrade to be tested prior to preparation and conditioning to determine ph, salinity and gypsum requirement. Any gypsum required is to be distributed at the manufacturers recommended rate and cultivated into the sub-grade at a minimum depth of 150mm. Proposed topping areas to be graded / drained to prevent water discharge into neighbouring properties

Weed control

Remove and dispose of environmental weeds off site prior to subgrade preparation, topsoiling and planting works.

Soil Preparation

Topsoil is to be spread in maximum 150mm layers, lightly compacted by use of a 150 - 200kg roller, or by thoroughly walking until it accords with finished kerb levels or to within 75mm below edging levels to accommodate mulch. Imported topsoil for garden beds is to be medium texture general purpose garden soil and lightly compacted to minimum 300mm depth to garden beds. Soil is to comply with s.a.s. 2223-1978, and as follows:

- free from perennial weeds and their roots, bulbs and rhizomes
- free from building rubble and any other matter deleterious to plant growth
- ph to be 6.0 - 7.0
- texture to be light to medium friable loam
- free from silt material

Imported topsoil for lawn rejuvenation / establishment shall have the above characteristics, but shall be a free draining sandy loam lightly compacted to minimum 100mm depth

Mulch

The specified mulch for garden beds is to be an aged organic material with 60 - 80 percent of its volume being wood chips particles in a size range of 25 - 50 mm maximum. Mulch is to be spread at a consolidated depth of 75mm

Planting Procedure

If soil to planting hole is dry - fill with water and allow to drain completely. Tree roots are to be teased outwards if matted or circling occurs prior to backfilling. Place tree in centre of hole on firm soil to prevent sinking, ensuring top of the rootball is flush with the surrounding soil surface and the trunk is vertical. Backfill material is to be in a loose, friable state, with no bricks, rocks or foreign material - if sufficient material is not available form the original hole to backfill, a similar soil type must be sourced and used. Soil material must be firmly backfilled in layers to prevent large air pockets from occurring, then thoroughly watered in. Trees to be staked with two 2250mm x 70mm hardwood stakes driven firmly into the ground - stakes must not be placed through the rootball area. Trees are to be secured to each stake with a strong, soft and flexible material, tight enough to support the tree in windy conditions - yet loose enough to simulate development of a good supportive root system. Tree tie material must not injure tree bark or restrict trunk growth for a minimum period of three years. Slow release fertiliser (3/6 month formulation) such as 'Osmocote' is to be applied to the top of the rootball area away from the trunk / stem to manufacturers specifications and watered in immediately. All trees to be mulched to a diameter of 1200mm wide and to a depth of 100mm but must not be in contact with the tree trunk. Mulch is to be an aged organic material with 60 - 80 percent of its volume being wood chip particles in a size range of 25 - 50mm maximum. Mulch is to be spread at a consolidated depth of 75mm. The planting hole surface is to be shaped to minimise waterlogging/excessive water retention but retain the mulch material neatly. The site must be left in a clean and safe condition

Plant Establishment Period

The landscape is to be maintained by applying best horticultural practice to promote healthy plant performance for a 13 week establishment period following the approval of Practical Completion by the responsible authority including (but not limited to) the following tasks - Pruning as necessary to maintain plants in a healthy and structurally sound manner, pest and diseases - vegetation to be pest and disease free, mulching, staking and tying - 75mm mulch depth to be maintained around tree bases throughout maintenance period, watering - as often as necessary to ensure healthy and vigorous growth in accordance with current local watering regulations, weeding - maintained in a weed free state over the entire mulch area by spraying or mechanical mean, fertilising - 3/6 monthly slow release fertiliser in accordance with manufacturers recommended application rates, replacement of deceased, stolen or vandalised plants beyond repair or regrowth with the same species as specified in the plant schedule within the assigned maintenance period

Irrigation

An in-ground automatic drip irrigation system to be installed to all garden areas and planter boxes (if applicable) in accordance with current local watering regulations

Timber Edging

Timber edging to be 75mm x 25mm treated pine secured to 300mm long treated pine stakes at nom. min 1000mm spacings with galvanised screws and installed to all junctions between garden beds, lawn and topping / pebble areas

Metal edging

proposed 150x5mm metal edging to all garden bed & grass interfaces > 250mm reo bars for support & spot weld joints.

Drainage

Landscape and / or building contractor(s) are responsible for civil and hydraulic computations for landscape building works including, but not limited to surface and sub surface drainage for all landscape areas prior to commencement of works

General

While care has been taken to select tree species with non-invasive root systems it is recommended that root control barriers be installed for any trees located within two metres of any building lines.

Climbing plants (if applicable) are to be trained to supportive mesh, wire or lattice fixed over entire fence section from base to top

Do not scale from plan - contractor to verify all dimensions on site prior to commencing construction

Plants - Quality of Trees and Shrubs

Trees and shrubs shall be healthy nursery stock free from insects, diseases and weeds. The specified plant heights, and pot sizes are minimums. If plant material is unavailable in these sizes, larger stock must be used. Plant substitutions is not acceptable unless confirmed by the responsible authority in writing. The contractor is to supply and install semi mature trees which meet the following criteria: Have a minimum planted height to sizes as indicated in the plant schedule, have a minimum trunk calliper of 50mm at ground level, be undamaged and free of diseases and insect pests, not be root bound or have circling or girdling roots but have roots grown to the edge of the container, should bear a single straight trunk, strong branching pattern, and full canopy, show healthy, vigorous growth

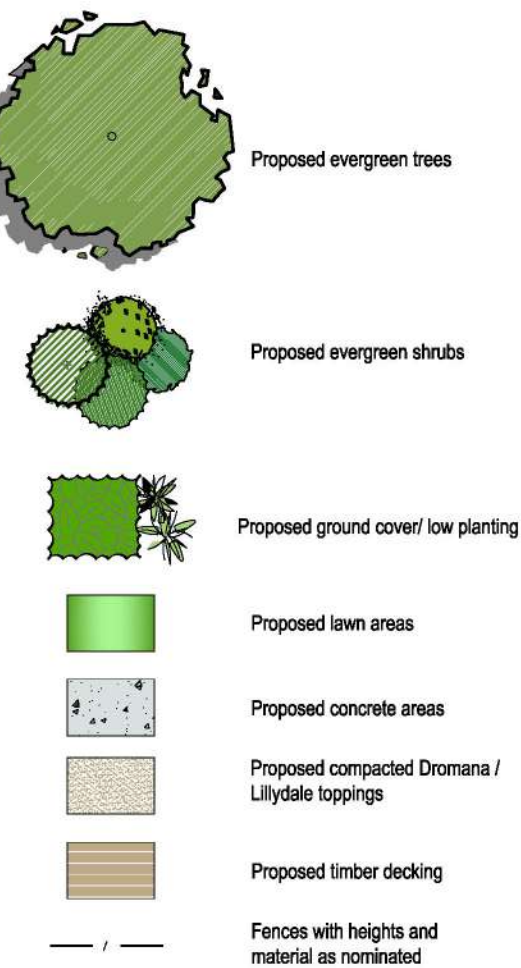
Protection of Existing Trees

All existing vegetation shown on the endorsed plan (subject site and neighbouring properties) to be retained must be suitably marked before any development (including demolition) commences on the land and that vegetation must not be removed, destroyed or topped without the written consent of the responsible authority. Before the commencement of works (including demolition) start, tree protection barriers must be erected around trees (subject site and neighbouring properties) to form a defined tree protection zone during demolition and construction in accordance with tree protection measures as per AS 4970-2009 (Tree protection in development sites).

Any pruning that is required must be carried out by a trained and competent arborist with a thorough knowledge of tree physiology and pruning methods to carry out pruning to the Australian standard - AS 4373-2007 (Pruning of amenity trees). All tree protection practices must be in accordance with a consulting arborist and / or to the satisfaction of the responsible authority

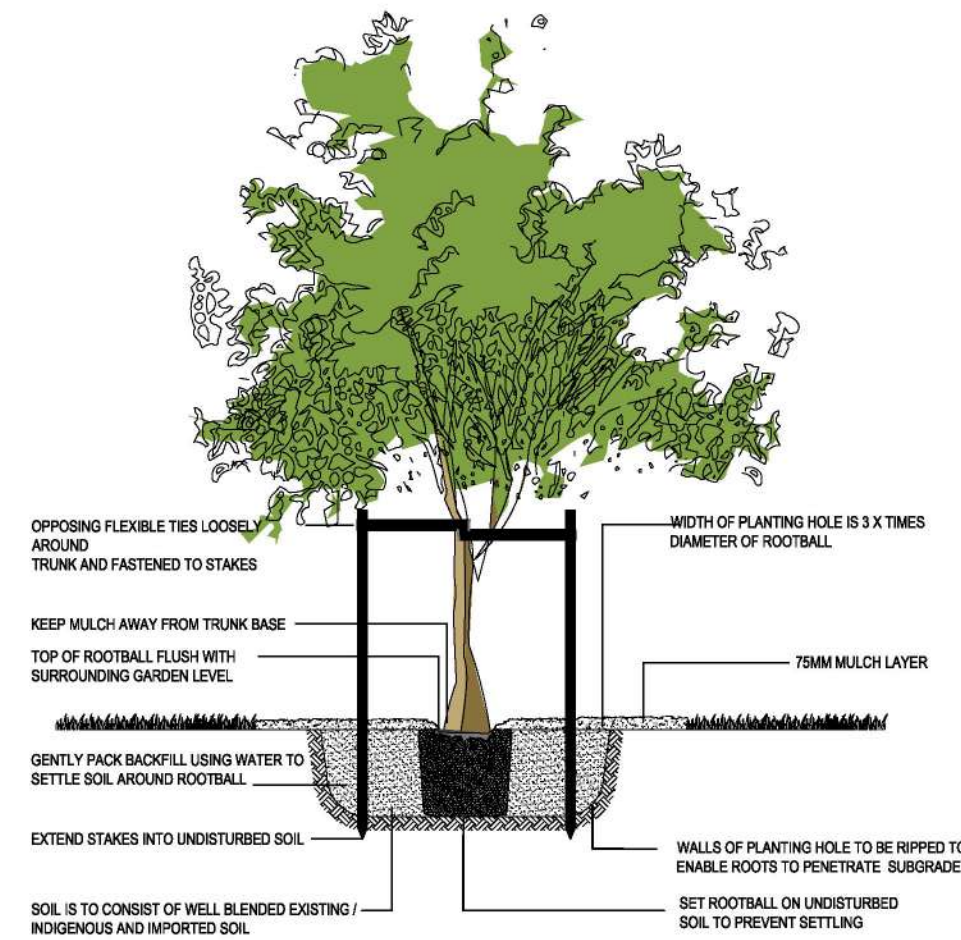


Legend



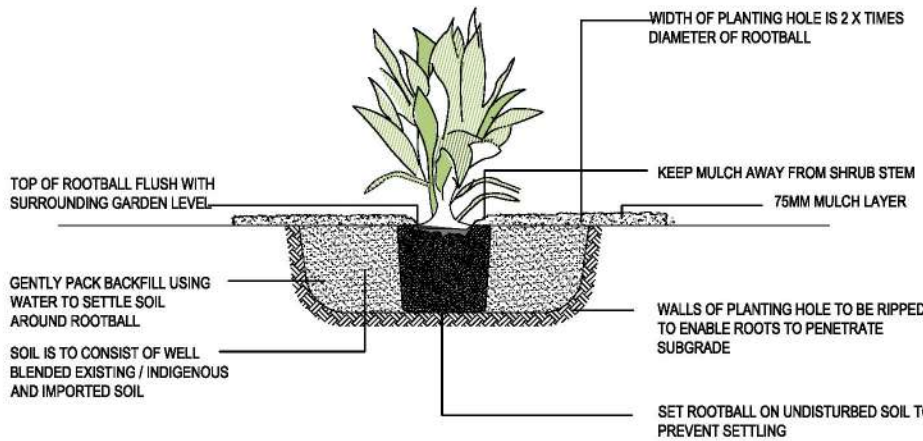
Advanced Tree Planting

detail not drawn to scale



Shrub Planting

detail not drawn to scale

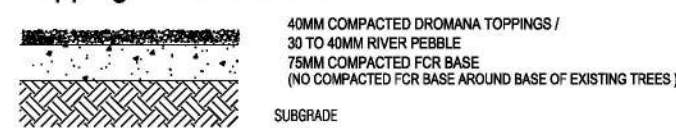


Surface Finishes Detail

Garden Beds



Topping / Pebble areas



Lawn areas



Plant Schedule

CODE	BOTANICAL NAME	COMMON NAME	QTY	SUPPLY SIZE	MATURE H x W
TREES					
AIM	<i>Acacia implexa</i>	Lightwood	1	40ltr / min 1.8m high	10m x 5m
TL	<i>Tristania laurina</i>	Kanooka	1	40ltr / min 1.8m high	5m x 5m
SHRUBS					
AS	<i>Acacia smithii</i> var. 'Minor'	Compact Lilly Pilly	21	20cm pot	3m x 1.5m
COR	<i>Cornus alba</i>	Coastal Cornus	2	20cm pot	1.2m x 1.5m
GO	<i>Goodenia ovata</i>	Hop Goodenia	3	20cm pot	1.5m x 1.5m
PH	<i>Pimelea humilis</i>	Common Rice-Flower	7	30cm pot	.5m x 1m
WFN	<i>Westringia fruticosa</i> 'Neritiga'	Coast Rosemary	19	20cm pot	2m x .8m
WFI	<i>Westringia fruticosa</i> 'Jervis Gem'	Compact Coastal Rosemary	4	20cm pot	1m x 1m
GROUND COVERS & LOW SHRUBS					
CHR	<i>Chrysocarpum apiculatum</i>	Yellow Buttons	18	14cm pot	.5m x .7m
VH	<i>Viole hederacea</i>	Native Violet	16	14cm pot	Prostrate x .2
TUSSOCKS / GRASSES / EVERGREEN PERENNIALS					