

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	8 Westlands Road, Emerald
The application is for a permit to:	Development of the land for a dwelling and vegetation removal
The applicant for the permit is:	Z House Design
The application reference number is:	T160856
You may look at the application and any documents that support the application at the office of the Responsible Authority:	<p>Cardinia Shire Council 20 Siding Avenue Officer 3809</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website www.cardinia.vic.gov.au.</p>

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

- An objection must
- * be sent to the Responsible Authority in writing, at Cardinia Shire Council, PO Box 7, Pakenham, Vic, 3810 or email at mail@cardinia.vic.gov.au
 - * include the name and address of the objector/ submitter
 - * include the application number and site address
 - * include the reasons for the objection, and
 - * state how the objector would be affected.

The Responsible Authority will not decide on the application before:	12 April 2017
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If you object, the Responsible Authority will advise you of its decision.

Please be aware that copies of objections/submissions received may be made available to any person for the purpose of consideration as part of the planning process.

For additional information or advice contact Cardinia Shire Council, Planning Department on 1300 787 624 or mail@cardinia.vic.gov.au

Your objection/ submission and personal information is collected by Cardinia Shire Council for the purposes of the planning process as set out in the *Planning and Environment Act 1987*. If you do not provide your name and address, Council will not be able to consider your objection/ submission. Your objection/ submission will be available free of charge at the Council office for any person to inspect and copies may be made available on request to any person for the relevant period set out in the *P&E Act*. You must not submit any personal information or copyright material of third parties without their informed consent. By submitting the material, you agree that the use of the material as detailed above does not breach any third party's right to privacy and copyright.



SITE NOTES

EFFLUENT WASTE TO CONNECT TO SEWER SYSTEM TO THE SATISFACTION OF THE RELEVANT AUTHORITY.

EXISTING HOUSE SITING APPROXIMATE ONLY - BOUNDARY NOT IDENTIFIED ON SITE. EXISTING FENCES ASSUMED APPROXIMATE BOUNDARY.


NEW DOWNPIPES AS SELECTED MIN 100x50 @ MAX 12.0m CTS TO CONNECT TO THE LPD TO THE SATISFACTION OF THE RELEVANT AUTHORITY.


AREA ANALYSIS

LIVING	197.5 m ²
ALFRESCO	26.0 m ²
PORCH/RAMP	8.7 m ²
CARPORT	38.2 m ²
PROPOSED DRIVEWAY	135.0 m ²
EXISTING GARAGE/SHEDS	145.0 m ²

SITE 1517.2 m²

SITE KEY

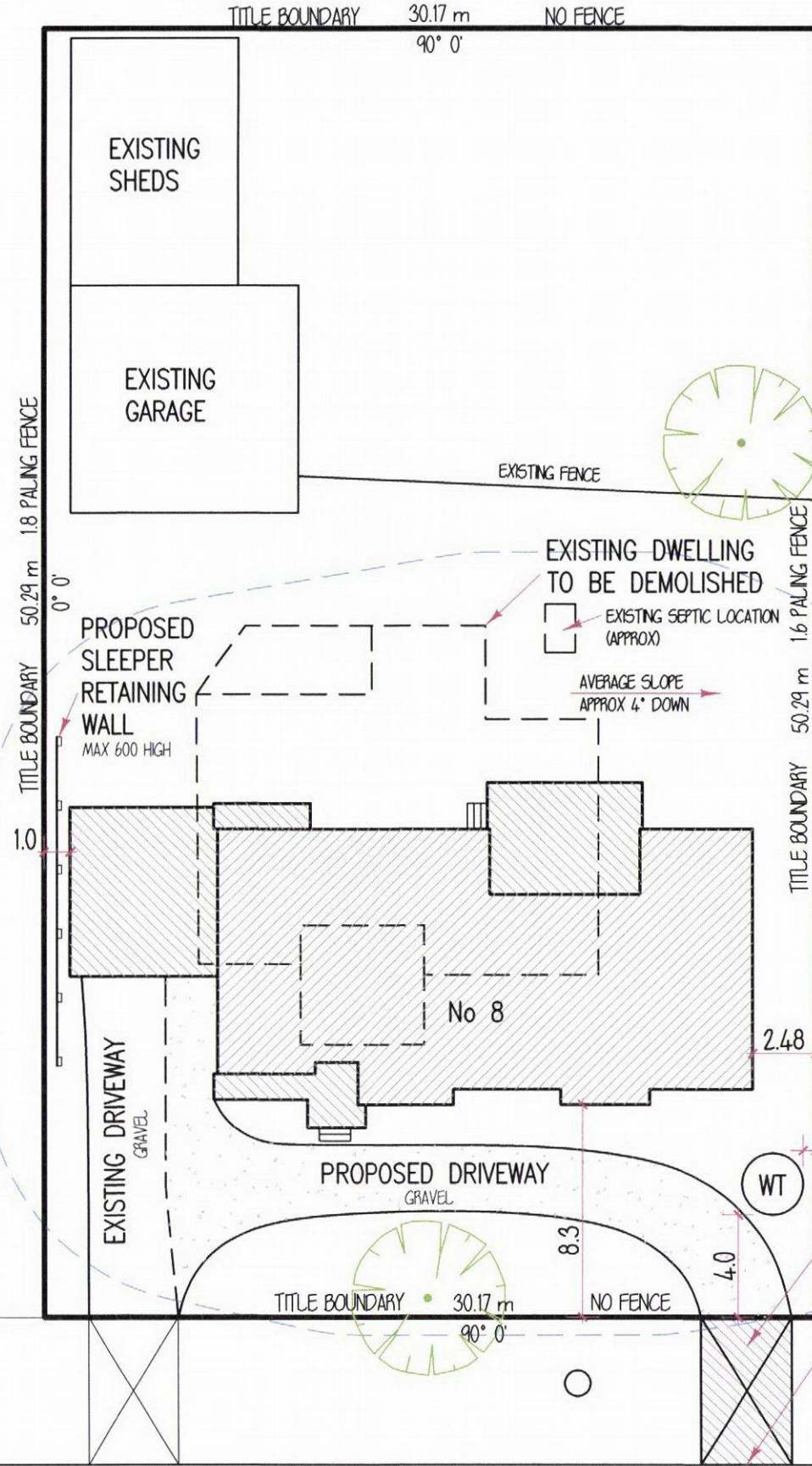
-  PROPOSED DWELLING
-  PROPOSED CARPORT / ALFRESCO / PORCH
-  RELEVANT EXISTING TREES
-  EXISTING TREES TO BE REMOVED
-  9.0m OVERLOOKING ARC

 10,000 LITRE WATERTANK COLOUR MATCHED TO ROOF. NOM 2400x2400. REFER TO BUSHFIRE MANAGEMENT PLAN FOR FURTHER DETAILS

AMENDMENT T1.1 3/2/17
RFI ITEMS - COLOURS, BMO & SEPTIC

ADJACENT DWELLING
SINGLE STOREY WEATHERBOARD SHEET HIP ROOF
No 10

No 10



WESTLANDS RD

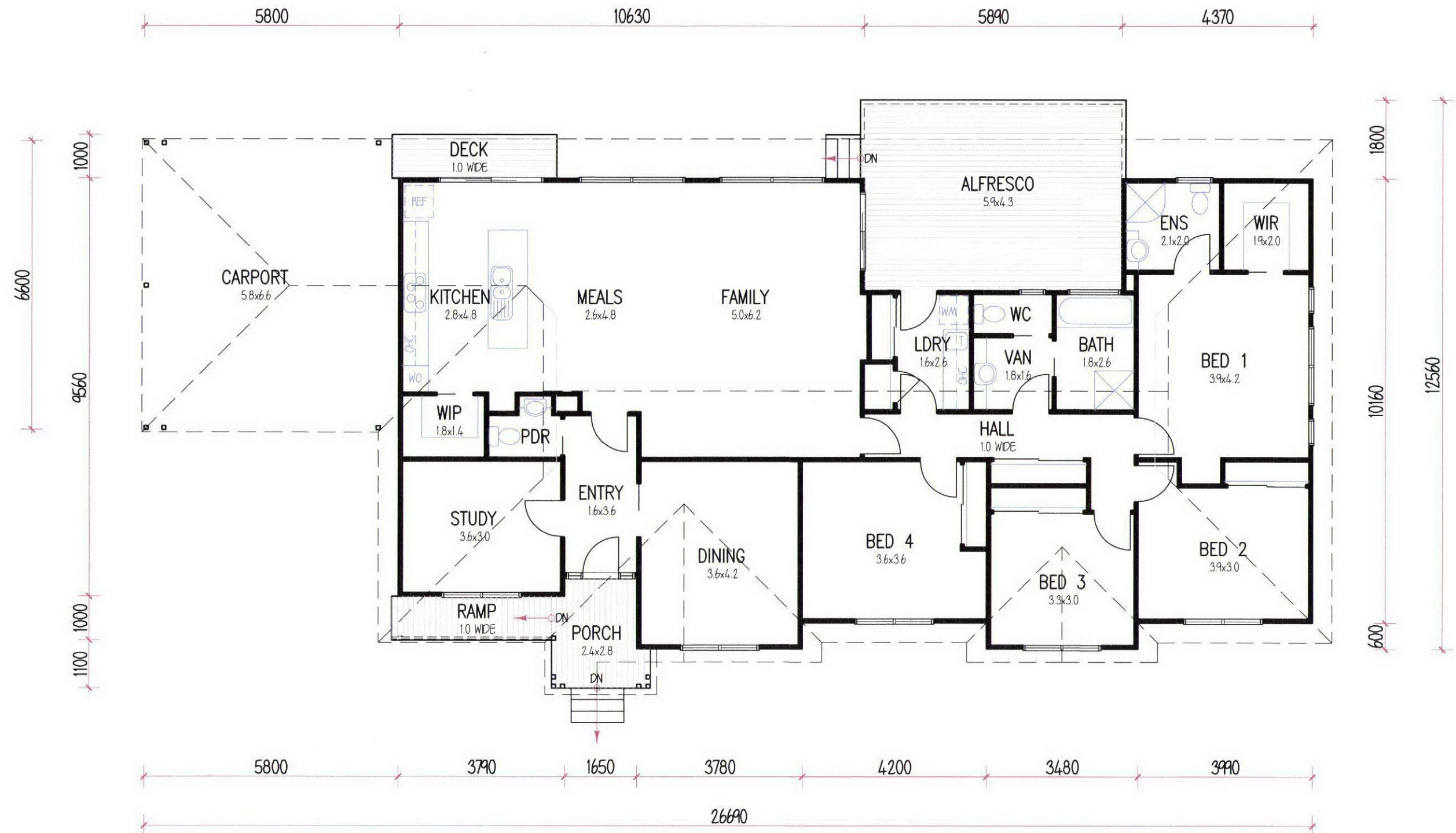
PROPOSED SINGLE DWELLING
& ATTACHED CARPORT
8 WESTLANDS RD
EMERALD
ST MARKS CHURCH EMERALD


www.zhouse.com.au

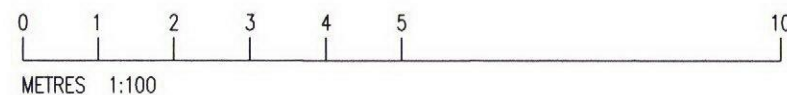
GARY MOULE
RBP: DP AD 22291
PO BOX 7248
UPPER FERNTREE GULLY 3156
T 03 9752 2524
M 0400 946 638
E office@zhouse.com.au

DATE: 01/08/2016
SCALE: 1:250
PROJECT#: Z 0261
VERSION: T1.1
A3 SHEET: 1 OF 4
TOWN PLANNING - SITE PLAN

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FLOOR PLAN



AMENDMENT T1.1 3/2/17
RFI ITEMS - COLOURS, BMO & SEPTIC

PROJECT: PROPOSED SINGLE DWELLING
& ATTACHED CARPORT
FOR ADDRESS: 8 WESTLANDS RD
EMERALD
ST MARKS CHURCH EMERALD

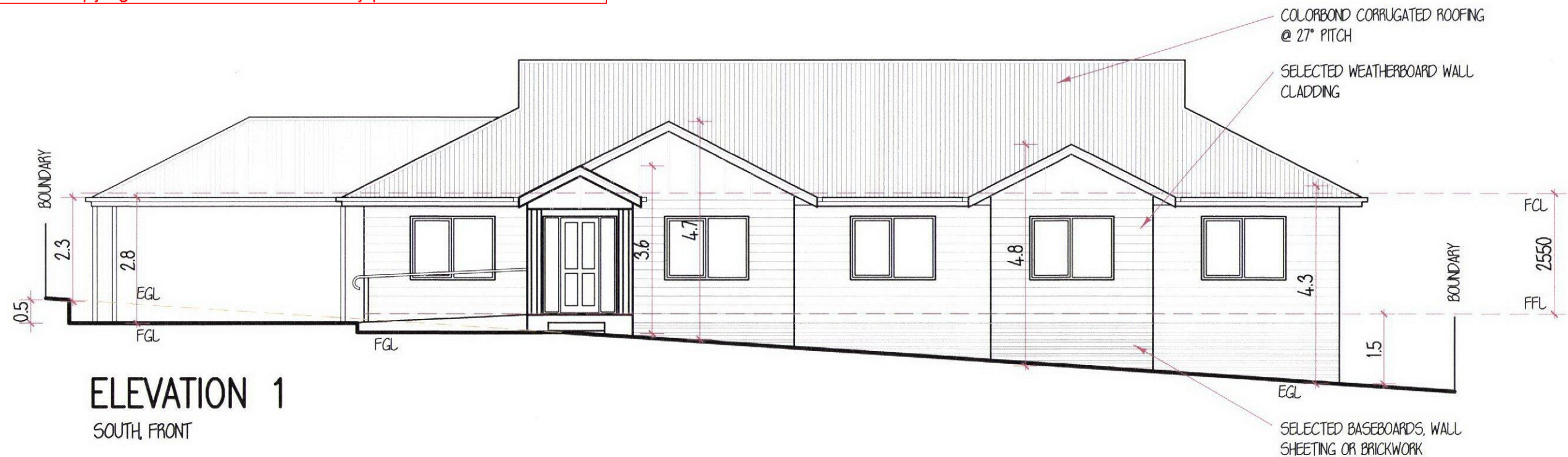
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GARY MOULE
RBP: DP AD 22291
PO BOX 7248
UPPER FERNTREE GULLY 3156
T 03 9752 2524
M 0400 946 638
E office@zhouse.com.au

DATE: 01/08/2016
SCALE: 1:100
PROJECT#: Z 0261
VERSION: T1.1
A3 SHEET: 2 OF 4
TOWN PLANNING FLOOR PLAN

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COLOUR SCHEDULE

MEMBER	COLOUR
CI SHEET ROOF	MONUMENT / DARK GREY
WEATHERBOARDS	DULUX CRUST / MID GREY-BROWN
BASEWALL	MONUMENT / DARK GREY

ELEVATIONS NOTES

ALLOW 0.3m HEIGHT VARIATION FOR CONSTRUCTION DETAILS & GROUND VARIATION

ALLOW 200 OVERALL LENGTH VARIATION FOR CONSTRUCTION DETAILS

WINDOW SASHES & SIZES MAY VARY SLIGHTLY. ALLOW FOR REDUCTION OF WINDOW SIZES IF REQUIRED BY ENERGY RATING

ELEVATIONS KEY

FGL - FINISHED GROUND LEVEL
EGL - EXISTING GROUND LEVEL
NGL - NATURAL GROUND LEVEL
FCL - FINISHED CEILING LEVEL
FFL - FINISHED FLOOR LEVEL

AMENDMENT T1.1 3/2/17
RFI ITEMS - COLOURS, BMO & SEPTIC

PROPOSED SINGLE DWELLING
& ATTACHED CARPORT
8 WESTLANDS RD
EMERALD
ST MARKS CHURCH EMERALD

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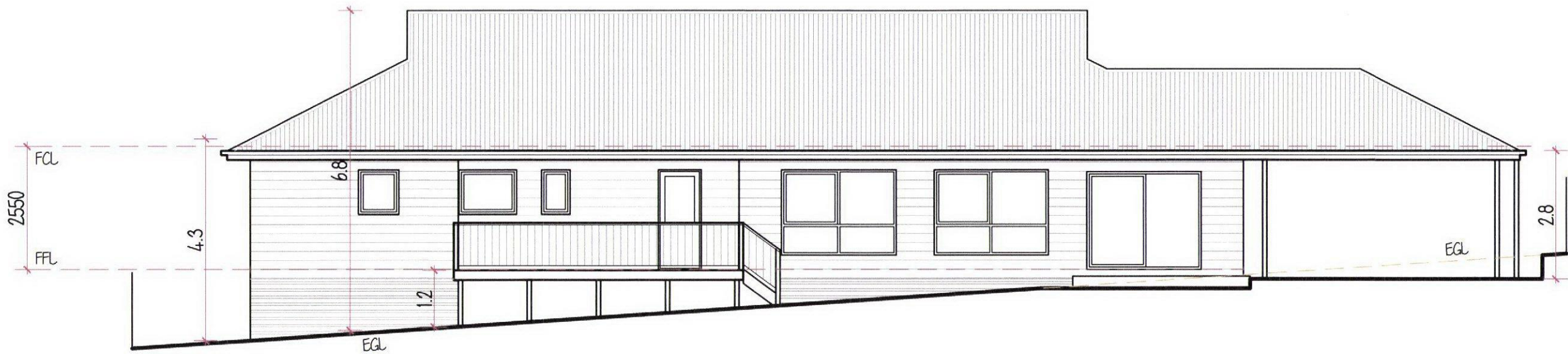
Z House
DESIGN

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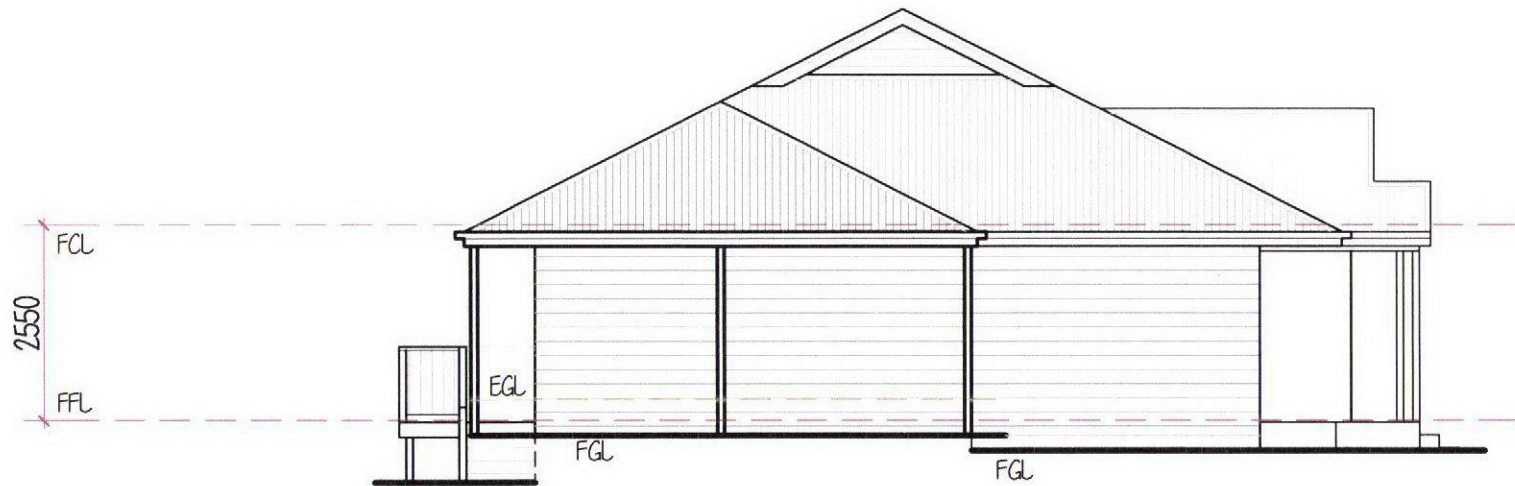
GARY MOULE
RBP: DP AD 22291
PO BOX 7248
UPPER FERNTREE GULLY 3156
T 03 9752 2524
M 0400 946 638
E office@zhouse.com.au

DATE: 01/08/2016
SCALE: 1:100
PROJECT#: Z0261
VERSION: T1.1
A3 SHEET: 3 OF 4
TOWN PLANNING ELEVATIONS

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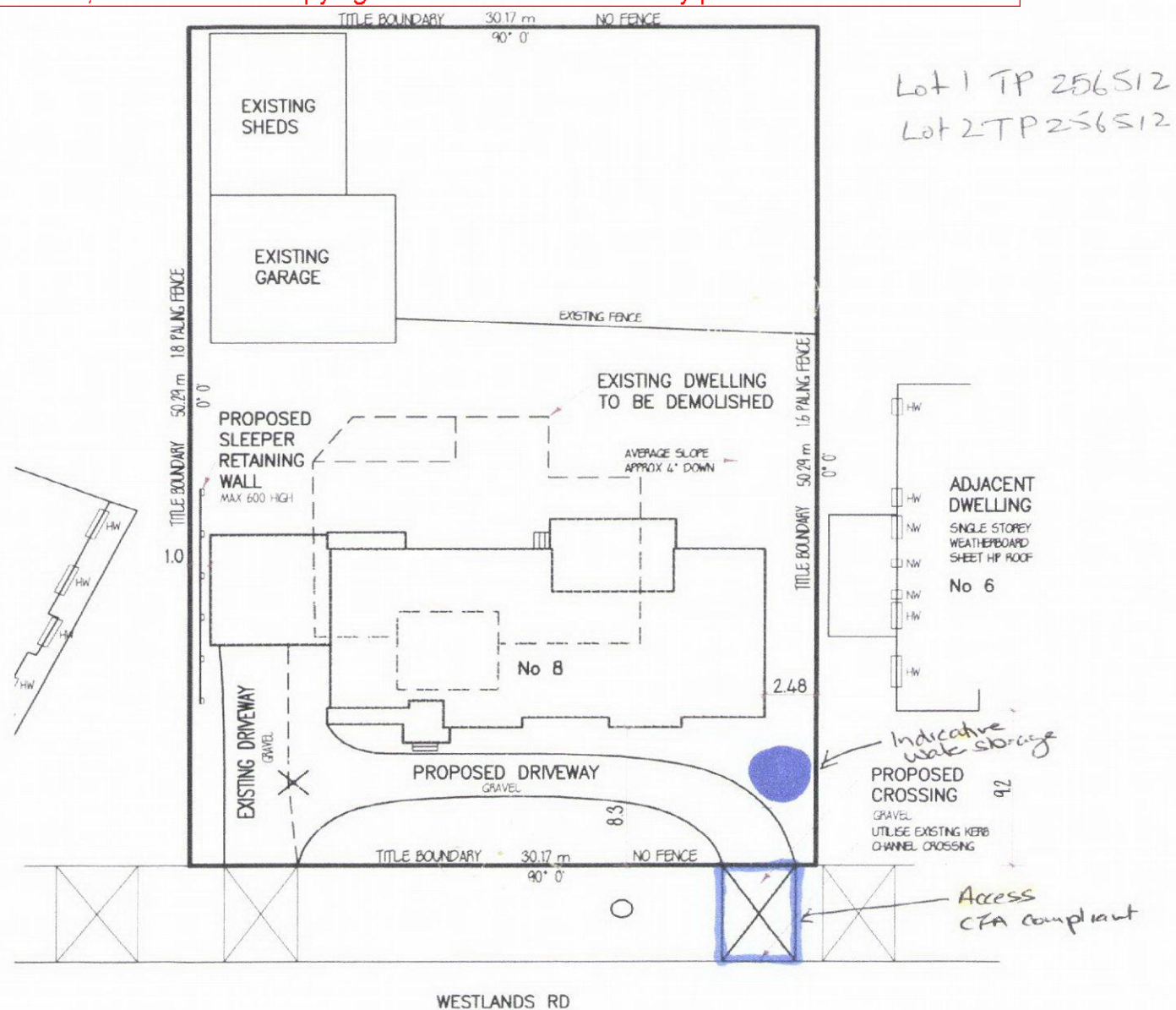
ELEVATION 3
NORTH



ELEVATION 4
WEST

AMENDMENT T1.1 3/2/17
RFI ITEMS - COLOURS, BMO & SEPTIC

FOR ADDRESS PROJECT	PROPOSED SINGLE DWELLING	© COPYRIGHT		GARY MOULE RBP: DP AD 22291 PO BOX 7248 UPPER FERNTREE GULLY 3156 T 03 9752 2524 M 0400 946 638 E office@zhouse.com.au	DATE: 01/08/2016
	& ATTACHED CARPORT				SCALE: 1:100
	8 WESTLANDS RD				PROJECT#: Z 0261
	EMERALD				VERSION: T1.1
	ST MARKS CHURCH EMERALD				A3 SHEET: 4 OF 4
www.zhouse.com.au				TOWN PLANNING ELEVATIONS	



Map 2: Bushfire Management Plan v1.1

Schedule to Map 2 Bushfire Management Plan 11

Construction standard

The dwelling shall be constructed in the location shown and to the Construction Standard of BAL 12.5.

Defendable space

The defendable space comprising the whole of the land in the site shall be managed in accordance with the following requirements commencing once a dwelling is constructed on the lot. Within defendable space on the subject lot:

- Grass shall be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris shall be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects shall not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimetres in height shall not be placed within 3 metres of a window or glass feature of the building.
- Shrubs shall not be located under the canopy of trees.
- Individual and clumps of shrubs shall not exceed 5 square metres in area and clumps shall be a minimum of 5 metres apart.
- Trees shall not overhang or touch any elements of the building.
- Tree canopies shall be separated by a minimum of 2 metres.
- Tree branches shall be a minimum of 2 metres above ground level.

Water storage

The water supply shown on this plan shall be in accordance with the following requirements:

- Store a minimum of 10,000 litres of water dedicated for firefighting purposes.
- Be constructed above ground of concrete or metal.
- Be readily identifiable from the building or appropriate identification signage to the satisfaction of CFA must be provided.
- All fixed above-ground water pipes and fittings required for firefighting purposes shall be corrosion resistant metal.
- Incorporate a ball or gate valve a minimum of 65 mm and CFA 3 threads per inch 64 mm male coupling.
- The outlet of the water tank shall be within 4m of the approved access and be unobstructed.

Access

Access for firefighting shown on this plan shall be to the following requirements:

- Provide a minimum trafficable width of 3.5m of all-weather construction and be clear of encroachments for at least 0.5m on each side and 4m above the driveway.
- Curves must have a minimum inner radius of 10m.
- The average grade must be no more than 1 in 7 (14.4 per cent) (8.1 degrees) with a maximum of no more than 1 in 5 (20 per cent) (11.3 degrees) for no more than 50m. Dips must have no more than a 1 in 8 (12.5 per cent) (7.1 degrees) entry and exit angle.
- If more than 100m in length the driveway shall incorporate a turning area for fire fighting vehicles close to the building
- If more than 200m in length the driveway shall incorporate passing bays at least every 200m which must be at least 20m long and have a minimum trafficable width of 6m.