

## NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	Lot 5 LP21000 20 Stone Road North, Gembrook
The application is for a permit to:	Alteration and Addition to Existing Dwelling
The applicant for the permit is:	Urban House
The application reference number is:	T170016
You may look at the application and any documents that support the application at the office of the Responsible Authority:	Cardinia Shire Council 20 Siding Avenue Officer 3809  This can be done during office hours and is free of charge.  Documents can also be viewed on Council's website <a href="http://www.cardinia.vic.gov.au">www.cardinia.vic.gov.au</a> .

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

- An objection must
- \* be sent to the Responsible Authority in writing, at Cardinia Shire Council, PO Box 7, Pakenham, Vic, 3810 or email at [mail@cardinia.vic.gov.au](mailto:mail@cardinia.vic.gov.au)
  - \* include the name and address of the objector/ submitter
  - \* include the application number and site address
  - \* include the reasons for the objection, and
  - \* state how the objector would be affected.

The Responsible Authority will not decide on the application before:	31 March 2017
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If you object, the Responsible Authority will advise you of its decision.

Please be aware that copies of objections/submissions received may be made available to any person for the purpose of consideration as part of the planning process.

For additional information or advice contact Cardinia Shire Council, Planning Department on 1300 787 624 or [mail@cardinia.vic.gov.au](mailto:mail@cardinia.vic.gov.au)

Your objection/ submission and personal information is collected by Cardinia Shire Council for the purposes of the planning process as set out in the *Planning and Environment Act 1987*. If you do not provide your name and address, Council will not be able to consider your objection/ submission. Your objection/ submission will be available free of charge at the Council office for any person to inspect and copies may be made available on request to any person for the relevant period set out in the *P&E Act*. You must not submit any personal information or copyright material of third parties without their informed consent. By submitting the material, you agree that the use of the material as detailed above does not breach any third party's right to privacy and copyright.




# PROPOSED ALTERATION & ADDITION

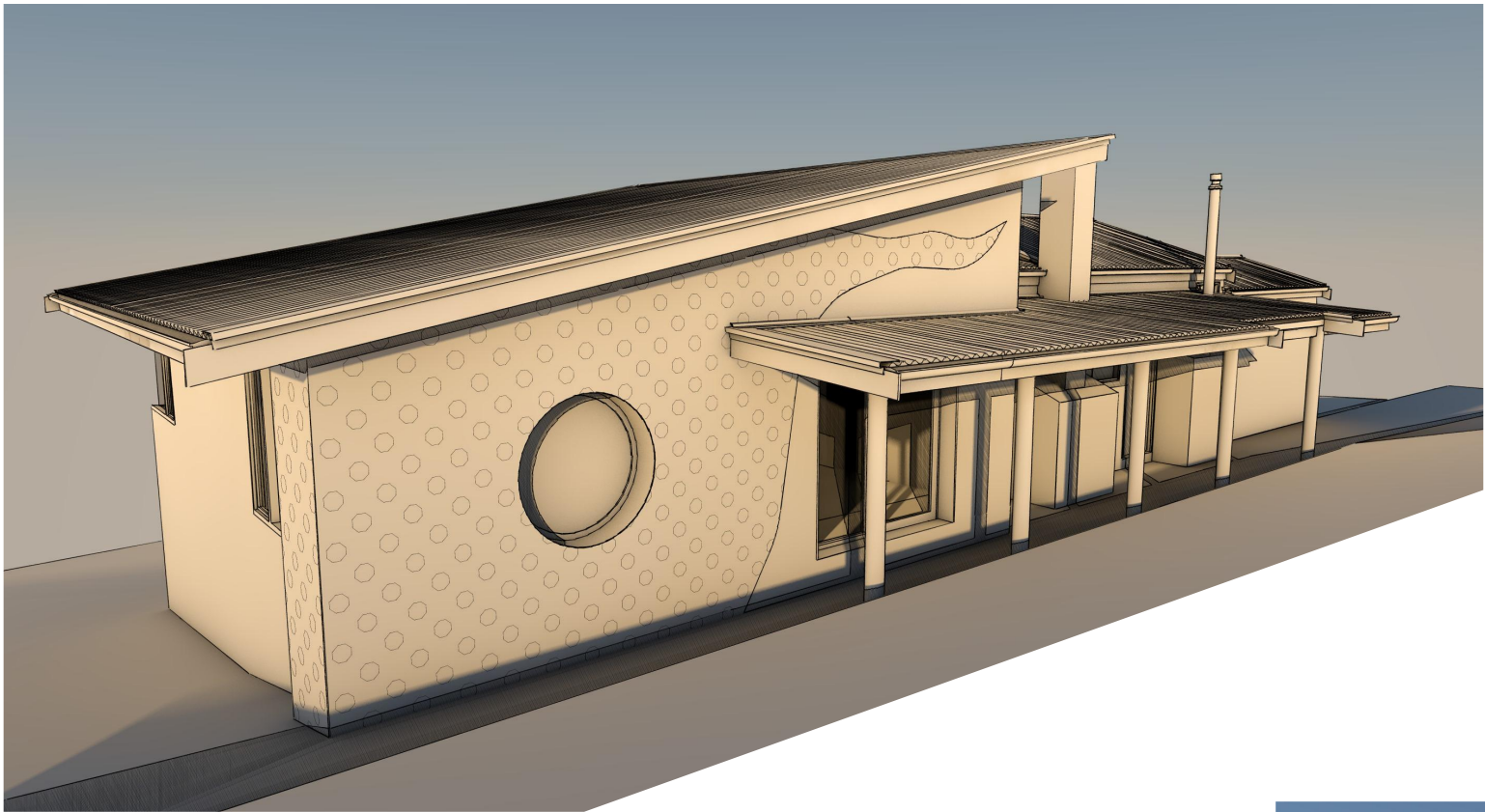
A & D WARE  
No.20 STONES RD NTH,  
GEMBROOK

## TOWN PLANNING DRAWINGS - A

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1	COVER SHEET
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<b>PROJECT:</b> PROPOSED ALTERATION & ADDITION	<b>SCALE:</b> NA					 <b>WARRAGUL</b> E: info@urbanhouse.net.au W: urbanhouse.net.au P: 0474 727 648	<b>DRAWING NAME:</b> <b>COVER SHEET</b>	<b>PROJECT NO.</b> <b>16-010</b>
<b>CLIENT:</b> A & D WARE	<b>SIZE:</b> A3	<b>DRAWN:</b> AW						<b>REV</b> TP_A
<b>AT:</b> No.20 STONES RD NTH, GEMBROOK	<b>DATE:</b> DECEMBER 2016							<b>SHEET:</b> 1 of 6
			A	DEC '16	TOWN PLANNING APPLICATION			
			ISS:	DATE:	AMENDMENTS:			




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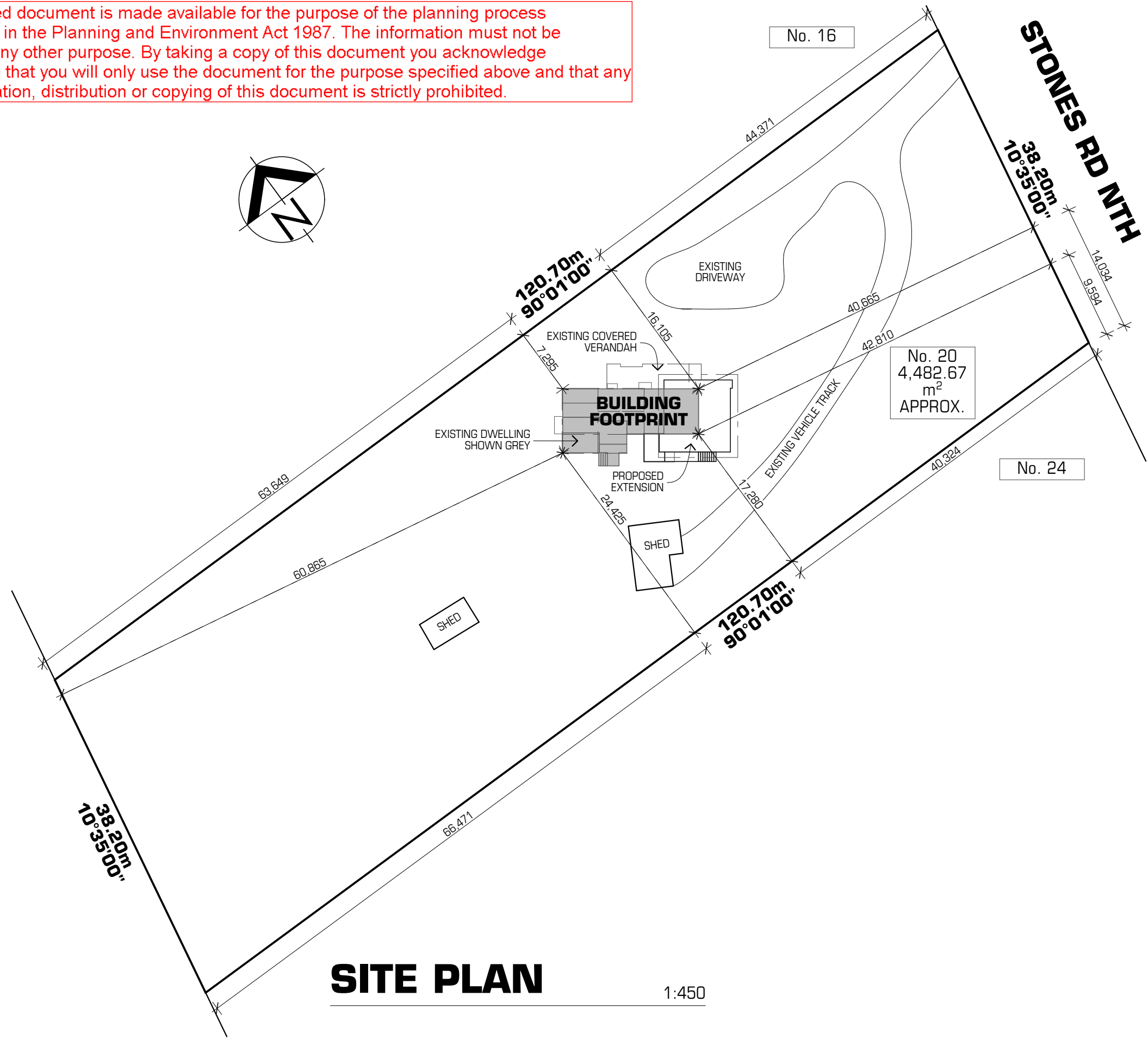
**NORTH-EASTERN ASPECT**



**SOUTH-EASTERN ASPECT**

<b>PROJECT:</b> PROPOSED ALTERATION & ADDITION		<b>SCALE:</b>					 <div><b>WARRAGUL</b> E: info@urbanhouse.net.au W: urbanhouse.net.au P: 0474 727 648</div>	<b>DRAWING NAME:</b> <b>3D VIEWS</b>		<b>PROJECT NO.</b> <b>16-010</b>
<b>CLIENT:</b> A & D WARE		<b>SIZE:</b> A3	<b>DRAWN:</b> AW					<b>REV</b> TP_A		
<b>AT:</b> No.20 STONES RD NTH, GEMBROOK		<b>DATE:</b> DECEMBER 2016								
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## SITE PLAN NOTES

- ❌. SITE PLAN MEASUREMENTS IN METRES - ALL OTHER MEASUREMENTS IN MILLIMETRES U.N.O.
- ❌. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- ❌. THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS.
- ❌. THE BUILDER AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS AND SPECIFICATIONS AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION.
- ❌. INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS.
- ❌❌ WHERE THE BUILDING (EXCLUDES A DETACHED CLASS 10) IS LOCATED IN A TERMITE PRONE AREA, THE AREA TO UNDERSIDE OF BUILDING AND PERIMETER IS TO BE TREATED AGAINST TERMITE ATTACK.
- ❌. THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.

## STORMWATER


- Ø. ALL STORMWATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES APPROVAL.  
100MM DIA. CLASS 6 UPVC  
STORMWATER LINE LAID TO A MINIMUM GRADE OF 1:100 AND CONNECTED TO THE LEGAL POINT OF STORMWATER DISCHARGE. PROVIDE INSPECTION OPENINGS AT 9000MM C/C AND AT EACH CHANGE OF DIRECTION.  
THE COVER TO UNDERGROUND STORMWATER DRAINS SHALL BE NOT LESS THAN
- 100MM UNDER SOIL
  - 50MM UNDER PAVED OR CONCRETE AREAS
  - 100MM UNDER UNREINFORCED CONCRETE OR PAVED DRIVEWAYS
  - 75MM UNDER REINFORCED CONCRETE DRIVEWAYS

## SITE AREA SCHEDULE

SITE AREA:	4,482.67 m <sup>2</sup>
BUILDING AREA:	162.00 m <sup>2</sup>
SITE COVERAGE:	3.6 %
HARD PAVING:	0 m <sup>2</sup>
TOTAL HARD COVER:	162.00 m <sup>2</sup>
PERMEABLE AREA:	96.4 %

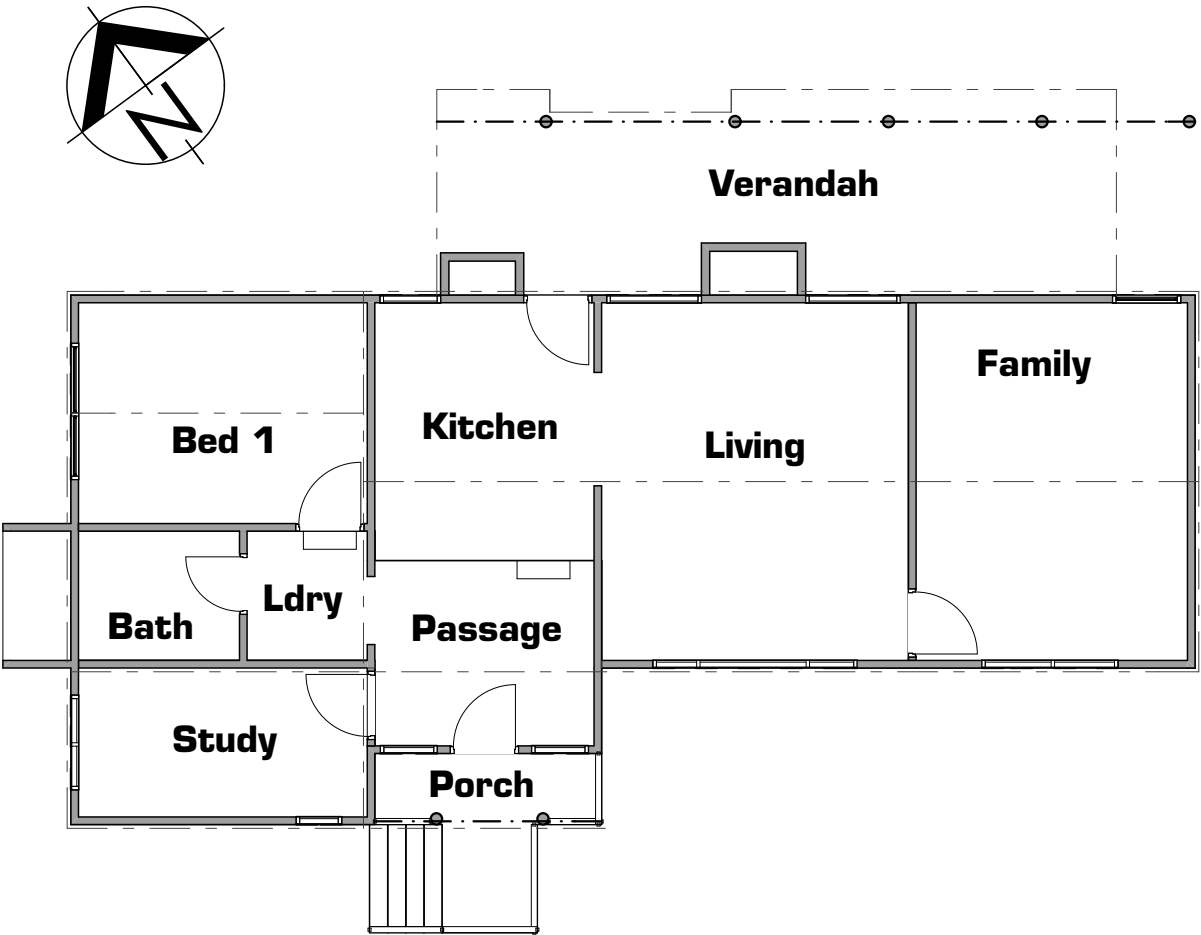
NOTE:

CONTRACTORS MUST VERIFY ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS, SHOP DRAWINGS, MANUFACTURE OR INSTALLATION. ANY DISCREPANCIES TO BE REPORTED TO URBAN HOUSE FOR CLARIFICATION/ AMENDMENT. ALL WORKS TO BE IN ACCORDANCE WITH THE BCA AND ALL AUSTRALIAN STANDARDS AND CODES OF PRACTICE. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. IF IN DOUBT ASK.

<b>PROJECT:</b> PROPOSED ALTERATION & ADDITION		<b>SCALE:</b> 1:450					 <b>WARRAGUL</b> E: info@urbanhouse.net.au W: urbanhouse.net.au P: 0474 727 648	<b>DRAWING NAME:</b> <b>SITE PLAN</b>		<b>PROJECT NO.</b> <b>16-010</b>
<b>CLIENT:</b> A & D WARE		<b>SIZE:</b> A3	<b>DRAWN:</b> AW					<b>REV</b> TP_A		
<b>AT:</b> No.20 STONES RD NTH, GEMBROOK		<b>DATE:</b> DECEMBER 2016						URBAN HOUSE OWNS COPYRIGHT ON THESE DRAWINGS/ DESIGN & ASSOCIATED DOCUMENTATION. USE/ REPRODUCTION OR ADAPTION IN WHOLE OR PART WITHOUT THE PRIOR WRITTEN PERMISSION OF THE OWNER URBAN HOUSE WILL CONSTITUTE AN INFRINGEMENT OF THIS COPYRIGHT. INFRINGEMENT WILL BE TAKEN UNDER THE PROVISIONS OF THE COPYRIGHT ACT	<b>SHEET:</b> 3 of 6	
				A	DEC '16	TOWN PLANNING APPLICATION				
				ISS:	DATE:	AMENDMENTS:				



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EXISTING CONDITIONS PLAN

1:100

PROJECT: PROPOSED ALTERATION & ADDITION	SCALE: 1:100			<div>WARRAGUL</div> <div>E: info@urbanhouse.net.au</div> <div>W: urbanhouse.net.au</div> <div>P: 0474 727 648</div> <div>URBAN HOUSE</div>	DRAWING NAME: <b>EXISTING CONDITIONS</b>	PROJECT NO. <b>16-010</b>
	SIZE: A3	DRAWN: AW				REV TP_A
	DATE: DECEMBER 2016		A ISS: DATE: AMENDMENTS:			SHEET: 4 of 6

AREAS:

EXISTING GROSS FLOOR AREA	113.30 sqm	(12.20 sqs)
EXISTING TO REMAIN:	113.30 sqm	(12.20 sqs)
PROPOSED EXTENSION:	42.87 sqm	( 4.61 sqs)
PROPOSED DECK:	5.83 sqm	( 0.63 sqs)
TOTAL:	162.00 sqm	(17.44 sqs)

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FLOOR PLAN NOTES

. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL AND ALL OTHER CONSULTANTS DRAWINGS/ DETAILS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.

. WATERPROOFING OF WET AREAS, BEING BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH AS 3740-2010: WATERPROOFING OF DOMESTIC WET AREAS.







. STEP SIZES (OTHER THAN FOR SPIRAL STAIRS) TO BE:

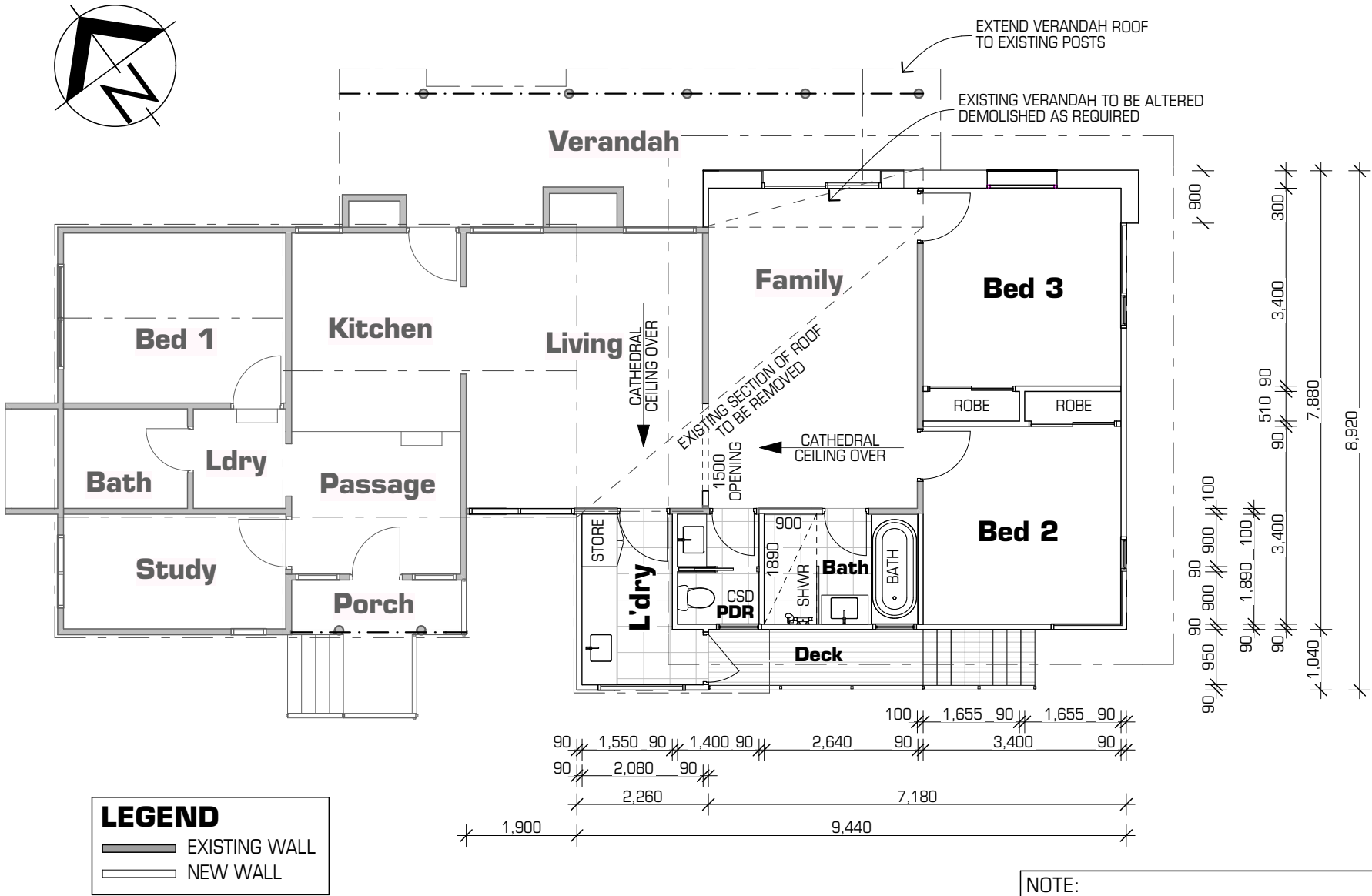
- RISERS (R) 190MM MAXIMUM AND 115MM MINIMUM
- GOING (G) 355MM MAXIMUM AND 240MM MINIMUM
- 2R + 1G = 700MM MAXIMUM AND 550MM MINIMUM
- WITH LESS THAN 125MM GAP BETWEEN OPEN TREADS.

. ALL WINDOWS ARE NOMINAL ONLY. BUILDER TO CONFIRM EXACT SIZES AND TYPE WITH WINDOW MANUFACTURER.

. ARTICULATION JOINTS ARE TO BE LOCATED IN ACCORDANCE WITH THE RELEVANT STANDARDS, AND TO THE SATISFACTION OF THE BUILDING SURVEYOR.

LEGEND

	SD	SMOKE DETECTOR	
		EXHAUST FAN - VENTED EXTERNALLY	
	METER BOX	METER BOX LOCATION	
	HWS	HOT WATER SERVICE (SHWS DENOTES SOLAR HWS)	
	DP	DOWNPIPE	
	AJ	ARTICULATION JOINT	
OHS		OVERHEAD SHELVING	
OHC		OVERHEAD CUPBOARDS	
DW		DISHWASHER CAVITY	
HP	HOTPLATE	WM	WASHING MACHINE SPACE
VB	VANITY BASIN	FR	FRIDGE SPACE
P	WC PAN	SHWR	SHOWER
CSD	CAVITY SLIDING DOOR		SK SINK
SGD	SLIDING GLASS DOOR		SKL SKYLIGHT
VSL	VENTED SKYLIGHT		TR TROUGH



NOTE:  
- ALL INTERNAL DIMENSIONS ARE APPROXIMATE  
- WINDOWS SIZES ARE INDICATIVE  
- WINDOW SIZES MAY VARY SLIGHTLY UPON CONSTRUCTION  
- WINDOW STYLES MAY VARY SLIGHTLY UPON CONSTRUCTION  
- LIGHTWEIGHT CLADDING DENOTES ANY CLADDING OF A LIGHTWEIGHT NATURE INCLUDING WEATHERBOARDS OF VARYING PROFILES

PROPOSED FLOOR PLAN

1:100

PROJECT:  
PROPOSED ALTERATION & ADDITION

SCALE:  
1:100

CLIENT:  
A & D WARE

SIZE:  
A3

DRAWN:  
AW

AT:  
No.20 STONES RD NTH, GEMBROOK

DATE:  
DECEMBER 2016

A DEC '16 TOWN PLANNING APPLICATION  
ISS: DATE: AMENDMENTS:



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P: 0474 727 648

DRAWING NAME:

PROPOSED FLOOR PLAN

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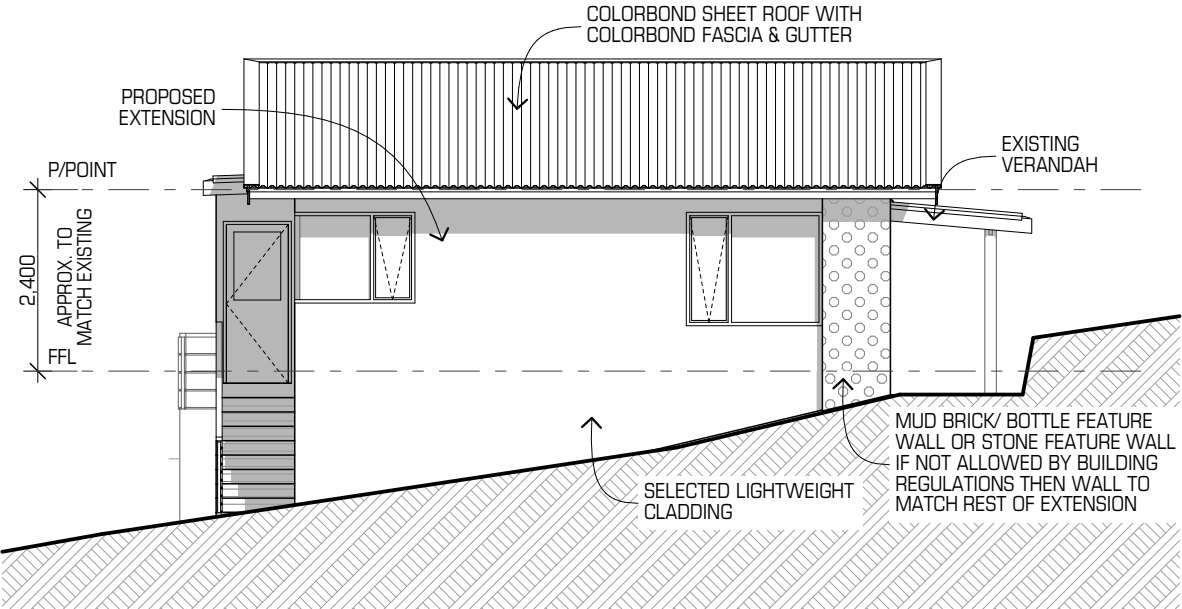
PROJECT NO.

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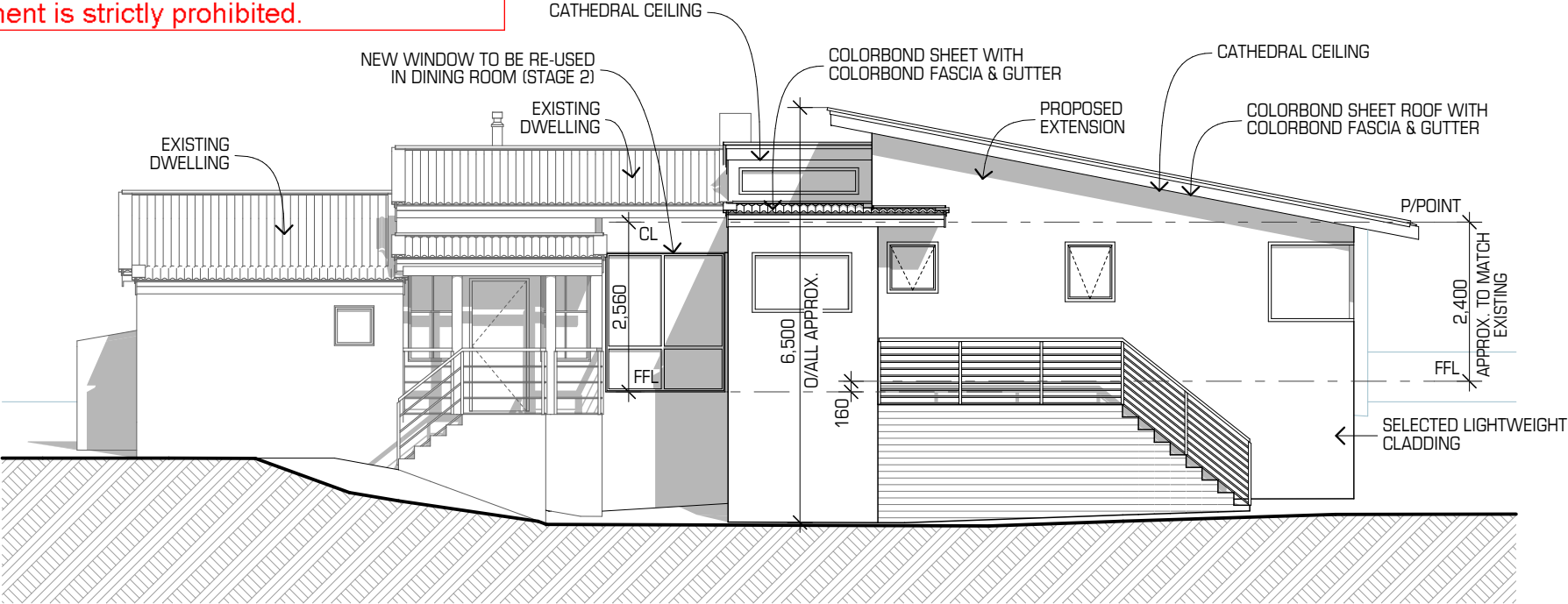
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EAST ELEVATION

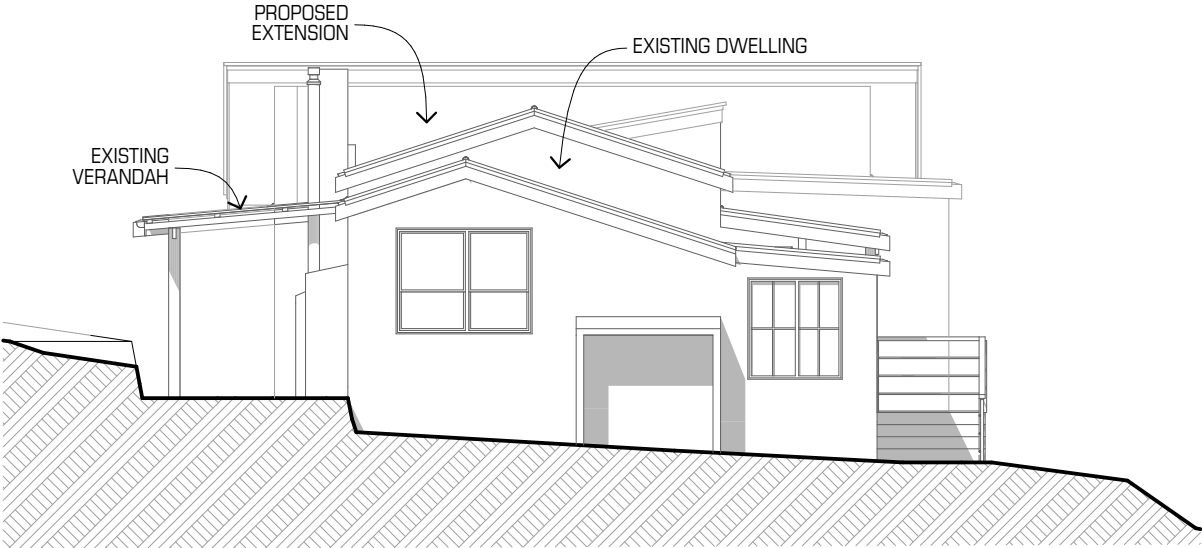
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SOUTH ELEVATION

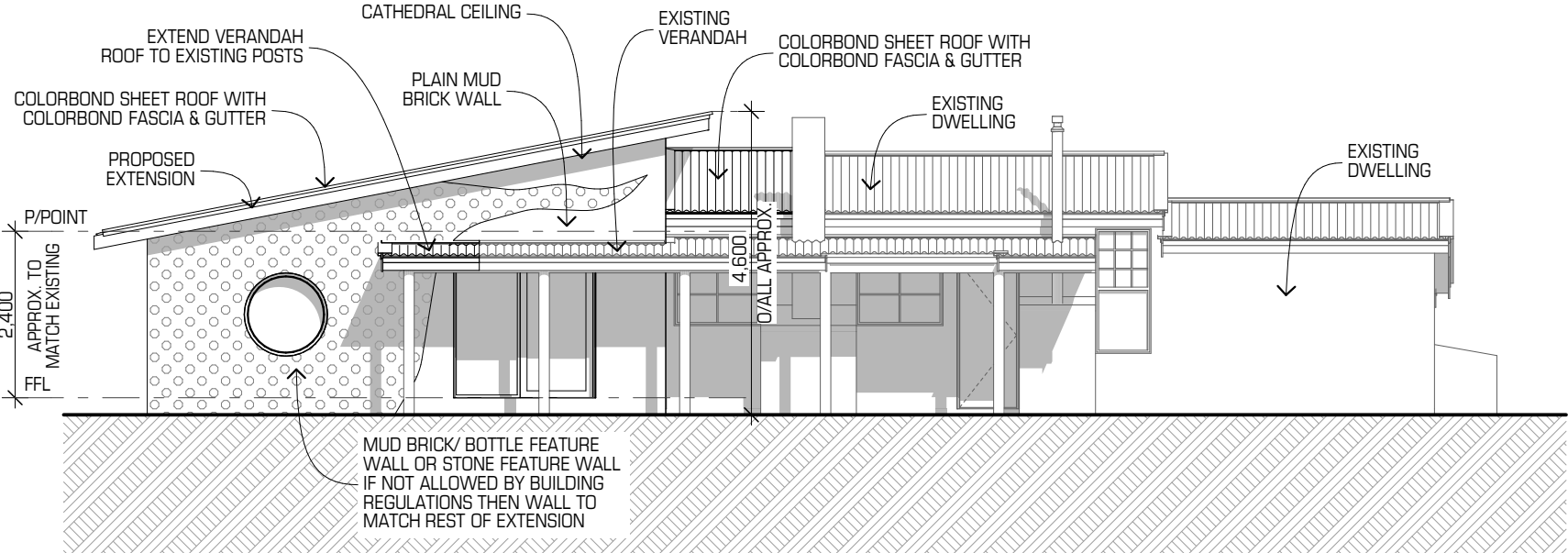
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- WINDOW STYLES MAY VARY SLIGHTLY UPON CONSTRUCTION  
- LIGHTWEIGHT CLADDING DENOTES ANY CLADDING OF A LIGHTWEIGHT NATURE INCLUDING WEATHERBOARDS OF VARYING PROFILES




WEST ELEVATION

1:100



NORTH ELEVATION

1:100

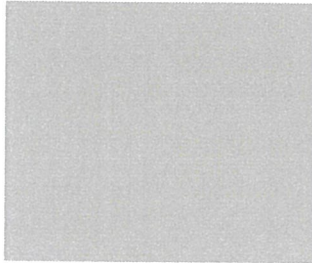
PROJECT: PROPOSED ALTERATION & ADDITION	SCALE: 1:100				WARRAGUL E: info@urbanhouse.net.au W: urbanhouse.net.au P: 0474 727 648	DRAWING NAME: <b>ELEVATIONS</b>	URBAN HOUSE OWNS COPYRIGHT ON THESE DRAWINGS/ DESIGN & ASSOCIATED DOCUMENTATION. USE/ REPRODUCTION OR ADAPTION IN WHOLE OR PART WITHOUT THE PRIOR WRITTEN PERMISSION OF THE OWNER URBAN HOUSE WILL CONSTITUTE AN INFRINGEMENT OF THIS COPYRIGHT. INFRINGEMENT WILL BE TAKEN UNDER THE PROVISIONS OF THE COPYRIGHT ACT	PROJECT NO. <b>16-010</b>
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## Colour schedule of materials for 20 Stone Road, Gembrook

Application #: T170016

Roof: standard grey colour bond (will match / use same as is already in place)



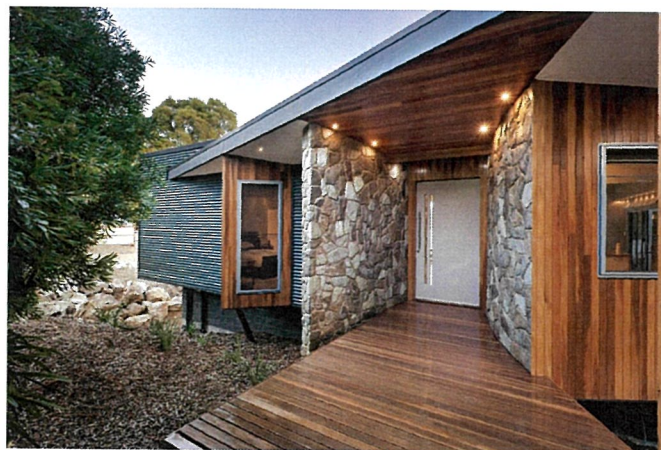
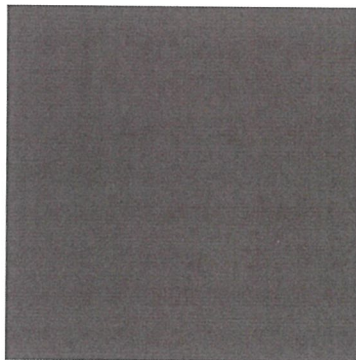
SHALE GREY™



Exterior: EzyLite slimline board (or similar weatherboard look) with colour bond



Natural wooden colouring



Exterior colour bond pannels will be slightly darker than roofing.

All colours / non reflective and netural tones.

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