

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	39 Portchester Boulevard, Beaconsfield
The application is for a permit to:	Development of the land for two (2) dwellings
The applicant for the permit is:	Plantech
The application reference number is:	T160646
You may look at the application and any documents that support the application at the office of the Responsible Authority:	<p>Cardinia Shire Council 20 Siding Avenue Officer 3809</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website www.cardinia.vic.gov.au.</p>

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

- An objection must
- * be sent to the Responsible Authority in writing, at Cardinia Shire Council, PO Box 7, Pakenham, Vic, 3810 or email at mail@cardinia.vic.gov.au
 - * include the name and address of the objector/ submitter
 - * include the application number and site address
 - * include the reasons for the objection, and
 - * state how the objector would be affected.

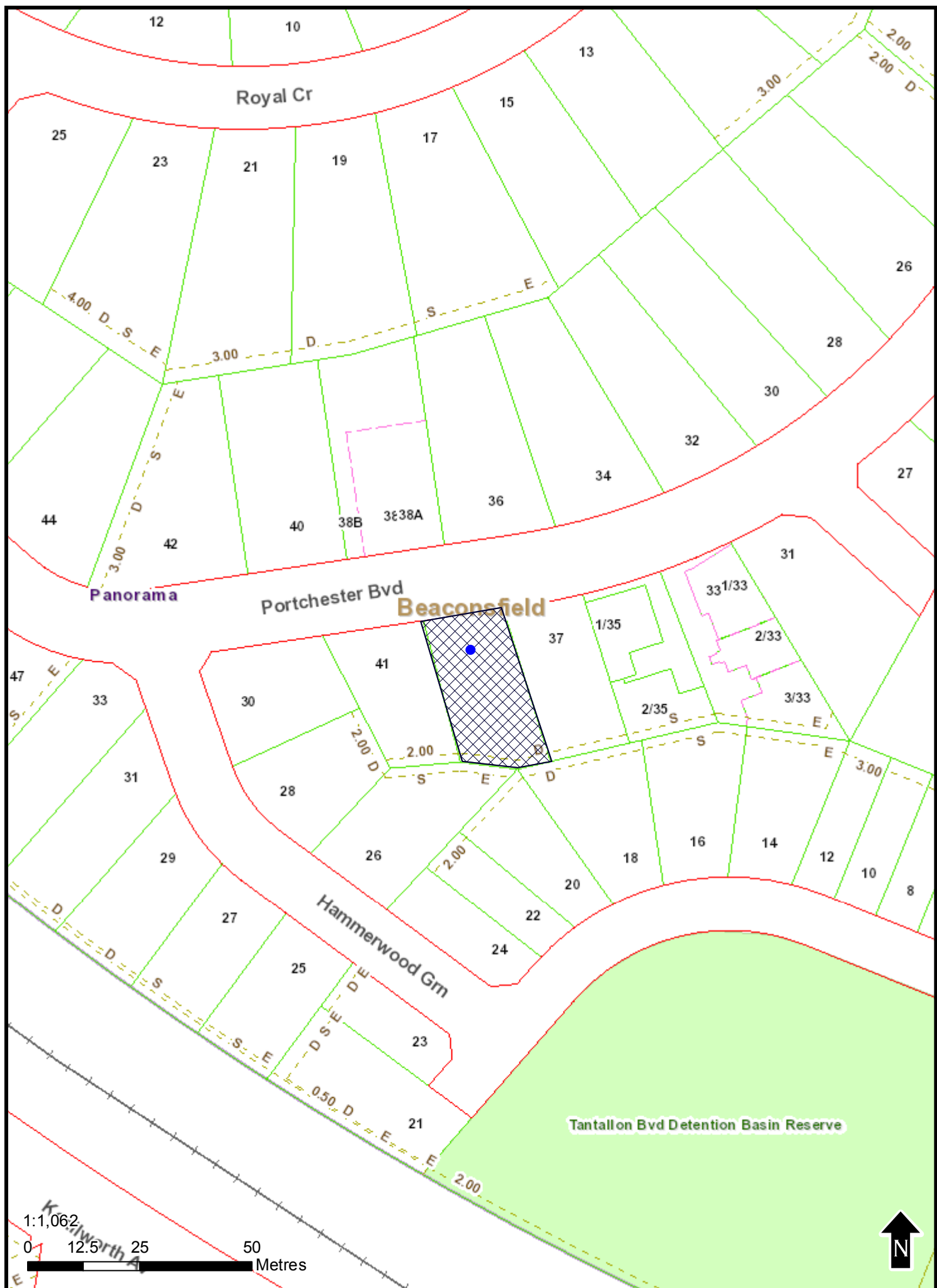
The Responsible Authority will not decide on the application before:	30 March 2017
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If you object, the Responsible Authority will advise you of its decision.

Please be aware that copies of objections/submissions received may be made available to any person for the purpose of consideration as part of the planning process.

For additional information or advice contact Cardinia Shire Council, Planning Department on 1300 787 624 or mail@cardinia.vic.gov.au

Your objection/ submission and personal information is collected by Cardinia Shire Council for the purposes of the planning process as set out in the *Planning and Environment Act 1987*. If you do not provide your name and address, Council will not be able to consider your objection/ submission. Your objection/ submission will be available free of charge at the Council office for any person to inspect and copies may be made available on request to any person for the relevant period set out in the *P&E Act*. You must not submit any personal information or copyright material of third parties without their informed consent. By submitting the material, you agree that the use of the material as detailed above does not breach any third party's right to privacy and copyright.



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PORTCHESTER BOULEVARD



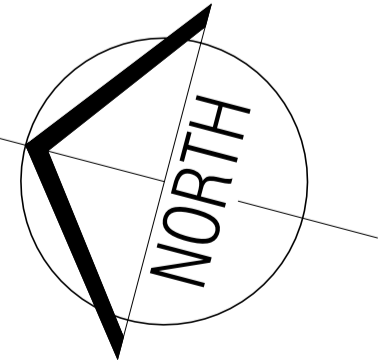
LEGEND	
[Symbol]	PROPOSED WALLS
[Symbol]	EXISTING WALLS
[Symbol]	AREA OF EXISTING BUILDINGS/STRUCTURES
[Symbol]	AREA OF PROPOSED BUILDINGS/STRUCTURES
[Symbol]	LANDSCAPED/LAWN AREA
[Symbol]	CONCRETE AREA (HARD SURFACE)
[Symbol]	PERMEABLE LILYDALE TOPPINGS
[Symbol]	MULCH/GARDEN BED AREAS
[Symbol]	PROPOSED CARSPACE/CARPARKING
[Symbol]	SHED/STORAGE AREA (MINIMUM 6m3)
[Symbol]	PARALINE/CLOTHESLINE
[Symbol]	PROVISION FOR RECYCLING AND GARAGE BINS
[Symbol]	PROPOSED/EXISTING LETTERBOXES
[Symbol]	PROPOSED PLANTS/VEGETATION
[Symbol]	EXISTING TREES/VEGETATION

PROPOSED AREAS - UNIT 1		
GROUND FLOOR		
LIVING:	75.0 m ²	8.07 sq
REAR DECK:	4.5 m ²	0.48 sq
FIRST FLOOR		
LIVING:	37.7 m ²	4.07 sq
PORCH:	4.8 m ²	0.52 sq
GARAGE:	23.6 m ²	2.54 sq
SECOND FLOOR		
LIVING:	72.3 m ²	7.78 sq
TOTAL:	217.9 m ²	23.46 sq

PROPOSED AREAS - UNIT 2		
GROUND FLOOR		
LIVING:	75.0 m ²	8.07 sq
REAR DECK:	4.5 m ²	0.48 sq
FIRST FLOOR		
LIVING:	38.0 m ²	4.09 sq
PORCH:	4.8 m ²	0.52 sq
GARAGE:	23.6 m ²	2.54 sq
SECOND FLOOR		
LIVING:	72.4 m ²	7.80 sq
TOTAL:	218.3 m ²	23.50 sq

DEVELOPMENT AREAS	
SITE AREA:	
650 m ²	
CONSTRUCTED BUILDING FOOTPRINT AREA:	
284.3 m ²	
SITE COVERAGE:	
43.74 %	
TOTAL HARD SURFACE AREAS INC. SHEDS:	
69.6 m ²	10.70 %
TOTAL PERMEABLE AREAS:	
296.1 m ²	45.56 %

WIDEN EXISTING CROSSOVER TO LOT 337 AND CONVERT INTO DOUBLE CROSSOVER TO ALLOW FOR VEHICLE ACCESS TO UNIT 2. CROSSOVER TO BE IN ACCORDANCE WITH CARDINIA SHIRE COUNCILS STANDARD DRAWINGS AND SPECIFICATIONS. RE-LOCATE COMMUNICATIONS PIT AS NECESSARY.



SPOT LEVELS AND CONTOURS ARE TO AN ARBITRARY DATUM. SETBACKS AND FENCE LOCATIONS SHOWN ARE APPROXIMATE ONLY AND SHOULD BE CONFIRMED WITH A RE-ESTABLISHMENT SURVEY.

PROPOSED GROUND FLOOR / SITE PLAN

SCALE 1:100 @ A1 - 1:200 @ A3

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REVISIONS / AMENDMENTS			
#	REVISION	DATE	BY
A	PRELIMINARY ISSUE	08-09-16	-
B	1.000% PLANNING (ISSUED)	24-09-16	-
C	REV AS PER LETTER DATED - 3RD NOVEMBER 2016	23-01-17	-
D	REV AS PER LETTER DATED - 1ST MARCH 2016	03-03-17	-

PROPOSED:	DUAL OCCUPANCY
ADDRESS:	No. 39 / LOT 336 PORTCHESTER BOULEVARD, BEACONSFIELD, VIC 3807
CLIENT/S:	MR PAUL RUZEJ

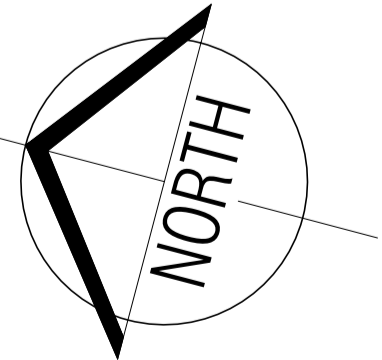
DRAWING NAME:	PROPOSED GROUND / SITE PLAN	JOB REFERENCE:	018-16
DATE:	SEP 2016	SHEET SIZE:	A1
SCALE:	1:100	CHECKED:	TP03 / 07

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PORTCHESTER BOULEVARD



WIDEN EXISTING CROSSOVER TO LOT 337 AND CONVERT INTO DOUBLE CROSSOVER TO ALLOW FOR VEHICLE ACCESS TO UNIT 2. CROSSOVER TO BE IN ACCORDANCE WITH CARDINIA SHIRE COUNCILS STANDARD DRAWINGS AND SPECIFICATIONS. RE-LOCATE COMMUNICATIONS PIT AS NECESSARY.



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PROPOSED FIRST FLOOR / SITE PLAN

SCALE 1:100 @ A1 - 1:200 @ A3

LEGEND

- PROPOSED WALLS
- EXISTING WALLS
- AREA OF EXISTING BUILDINGS/STRUCTURES
- AREA OF PROPOSED BUILDINGS/STRUCTURES
- LANDSCAPED/LAWN AREA
- CONCRETE AREA (HARD SURFACE)
- PERMEABLE LILYDALE TOPPINGS
- MULCH/GARDEN BED AREAS
- PROPOSED CARSPACE/CARPARKING
- SHED/STORAGE AREA (MINIMUM 6m3)
- PARALINE/CLOTHESLINE
- PROVISION FOR RECYCLING AND GARAGE BINS
- PROPOSED/EXISTING LETTERBOXES
- PROPOSED PLANTS/VEGETATION
- EXISTING TREES/VEGETATION

PROPOSED AREAS - UNIT 1

GROUND FLOOR	
LIVING:	75.0 m ² 8.07 sq
REAR DECK:	4.5 m ² 0.48 sq
FIRST FLOOR	
LIVING:	37.7 m ² 4.07 sq
PORCH:	4.8 m ² 0.52 sq
GARAGE:	23.6 m ² 2.54 sq
SECOND FLOOR	
LIVING:	72.3 m ² 7.78 sq
TOTAL:	217.9 m ² 23.46 sq

PROPOSED AREAS - UNIT 2

GROUND FLOOR	
LIVING:	75.0 m ² 8.07 sq
REAR DECK:	4.5 m ² 0.48 sq
FIRST FLOOR	
LIVING:	38.0 m ² 4.09 sq
PORCH:	4.8 m ² 0.52 sq
GARAGE:	23.6 m ² 2.54 sq
SECOND FLOOR	
LIVING:	72.4 m ² 7.80 sq
TOTAL:	218.3 m ² 23.50 sq

DEVELOPMENT AREAS

SITE AREA:	
650 m ²	
CONSTRUCTED BUILDING FOOTPRINT AREA:	
284.3 m ²	
SITE COVERAGE:	
43.74 %	
TOTAL HARD SURFACE AREAS INC. SHEDS:	
69.6 m ²	10.70 %
TOTAL PERMEABLE AREAS:	
296.1 m ²	45.56 %

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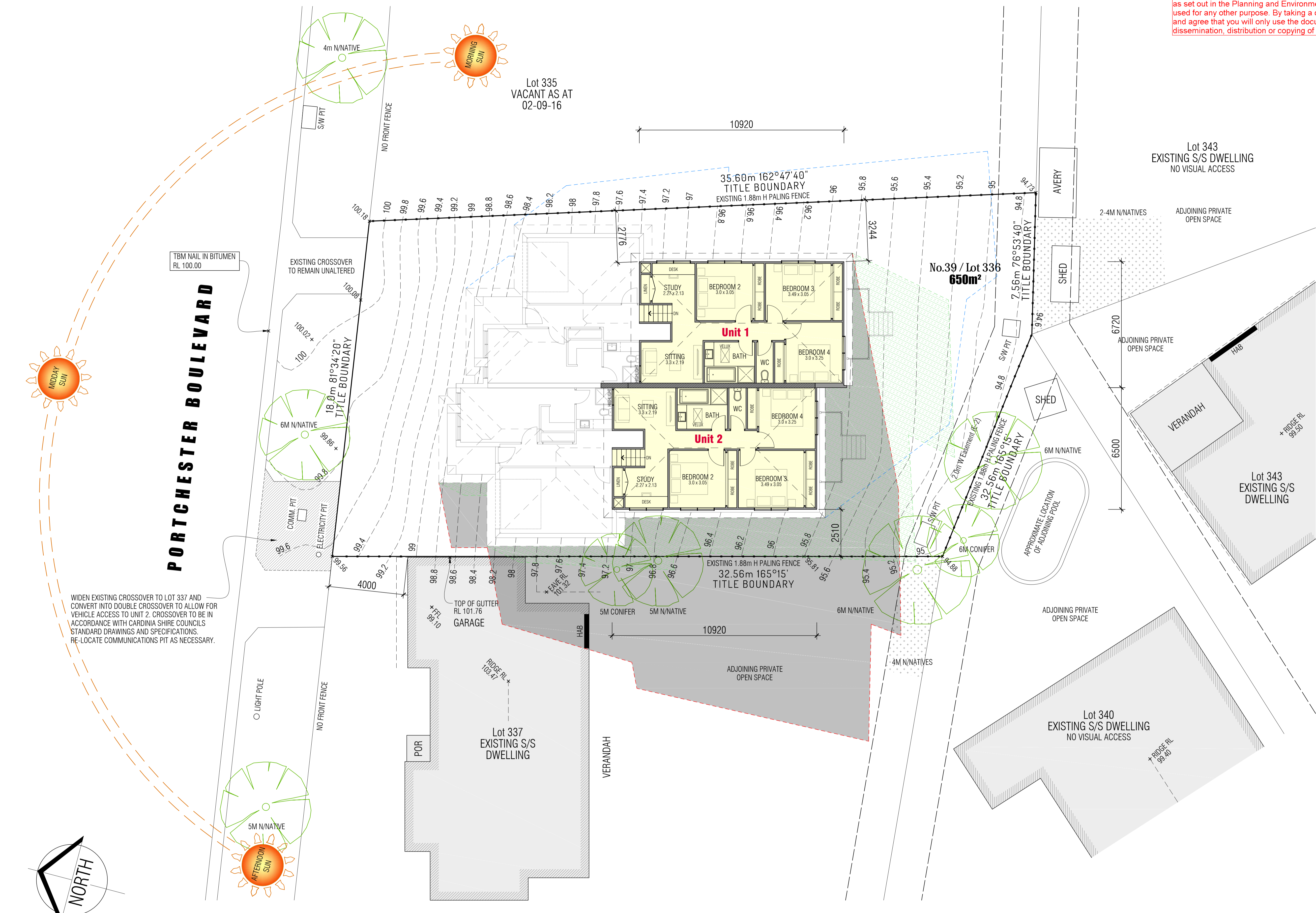
REVISIONS / AMENDMENTS

#	REVISION	DATE	BY
A	PRELIMINARY ISSUE	08-09-16	-
B	1.0000 PLANNING (ISSUED)	24-09-16	-
C	REV AS PER LETTER DATED - 3RD NOVEMBER 2016	23-01-17	-
D	REV AS PER LETTER DATED - 1ST MARCH 2016	03-03-17	-

PROPOSED: DUAL OCCUPANCY
 ADDRESS: No. 39 / LOT 336 PORTCHESTER BOULEVARD, BEACONSFIELD, VIC 3807
 CLIENT/S: MR PAUL RUZEJ

DRAWING NAME: PROPOSED FIRST / SITE PLAN
 DATE: SEP 2016
 SCALE: 1:100
 SHEET SIZE: A1
 SHEET NUMBER: TP04 / 07
 JOB REFERENCE: 018-16

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SHADOW ANALYSIS

	SHADOW CAST AT 9:00 AM MAR 21 - SEP 23 EQUINOX
	SHADOW CAST AT 12:00 PM MAR 21 - SEP 23 EQUINOX
	SHADOW CAST AT 3:00 PM MAR 21 - SEP 23 EQUINOX

LEGEND

	PROPOSED WALLS
	EXISTING WALLS
	AREA OF EXISTING BUILDINGS/STRUCTURES
	AREA OF PROPOSED BUILDINGS/STRUCTURES
	LANDSCAPED/LAWN AREA
	CONCRETE AREA (HARD SURFACE)
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	SHED/STORAGE AREA (MINIMUM 6m3)
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	PROVISION FOR RECYCLING AND GARAGE BINS
	PROPOSED/EXISTING LETTERBOXES
	PROPOSED PLANTS/VEGETATION
	EXISTING TREES/VEGETATION

PROPOSED AREAS - UNIT 1

GROUND FLOOR		
LIVING:	75.0 m2	8.07 sq
REAR DECK:	4.5 m2	0.48 sq
FIRST FLOOR		
LIVING:	37.7 m2	4.07 sq
PORCH:	4.8 m2	0.52 sq
GARAGE:	23.6 m2	2.54 sq
SECOND FLOOR		
LIVING:	72.3 m2	7.78 sq
TOTAL:	217.9 m2	23.46 sq

PROPOSED AREAS - UNIT 2

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SITE COVERAGE:	43.74 %
TOTAL HARD SURFACE AREAS INC. SHEDS:	69.6 m2 10.70 %
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SPOT LEVELS AND CONTOURS ARE TO AN ARBITRARY DATUM. SETBACKS AND FENCE LOCATIONS SHOWN ARE APPROXIMATE ONLY AND SHOULD BE CONFIRMED WITH A RE-ESTABLISHMENT SURVEY.

PROPOSED SECOND FLOOR / SITE PLAN

SCALE 1:100 @ A1 - 1:200 @ A3

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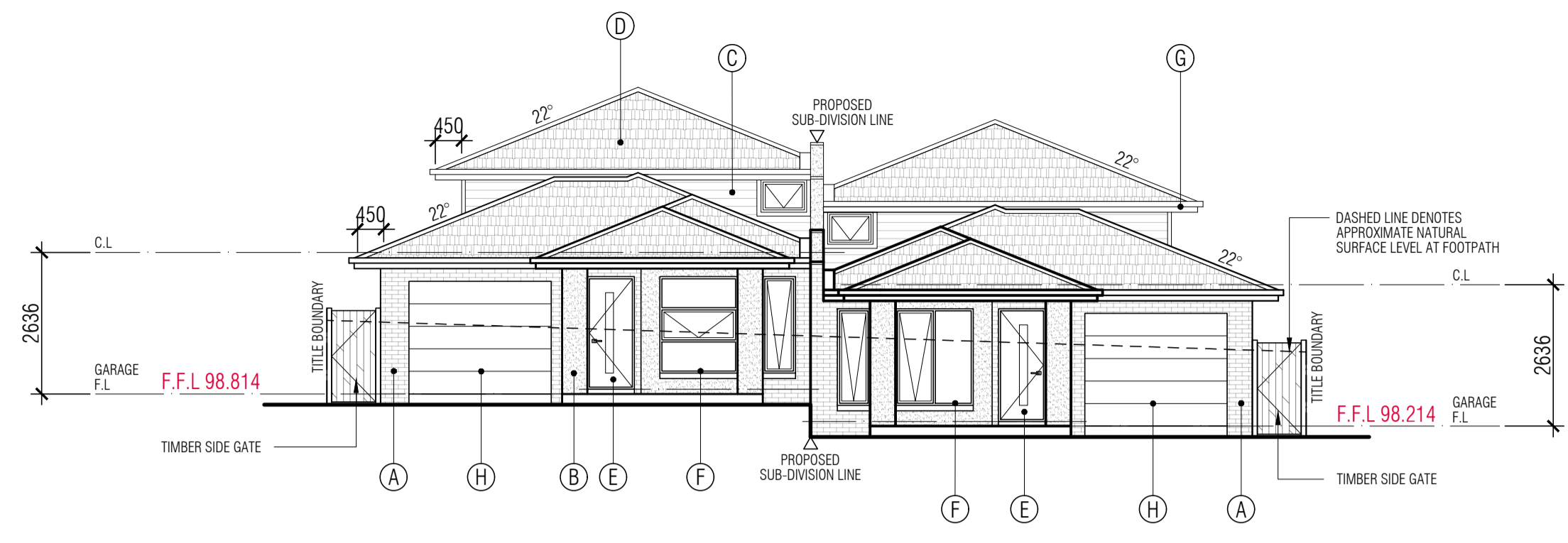
REVISIONS / AMENDMENTS

#	REVISION	DATE	BY
A	PRELIMINARY ISSUE	08-09-16	-
B	100% PLANNING ISSUES	24-09-16	-
C	REV AS PER LETTER DATED - 3RD NOVEMBER 2016	25-01-17	-
D	REV AS PER LETTER DATED - 1ST MARCH 2016	03-03-17	-

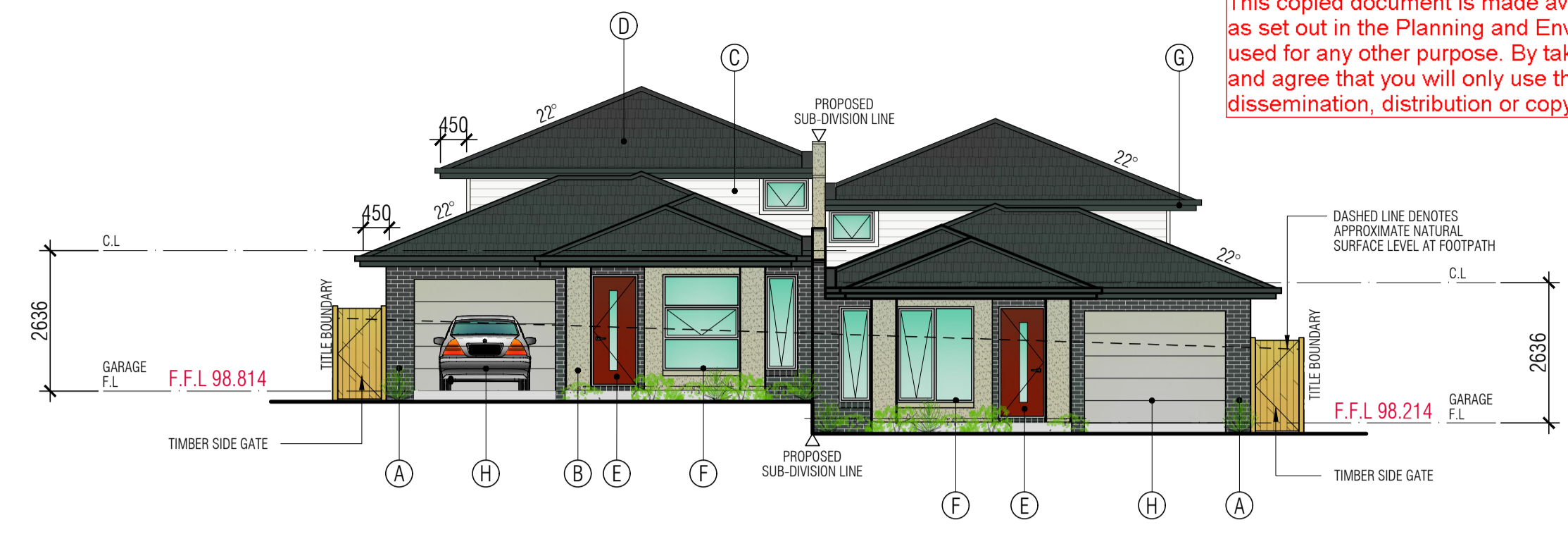
PROPOSED: DUAL OCCUPANCY
ADDRESS: No. 39 / LOT 336 PORTCHESTER BOULEVARD, BEACONSFIELD, VIC 3807
CLIENT/S: MR PAUL RUZEJ

DRAWING NAME: PROPOSED SECOND / SITE PLAN
DATE: SEP 2016
SCALE: 1:100
SHEET SIZE: A1
DRAWN: -
CHECKED: -
JOB REFERENCE: 018-16
SHEET NUMBER: TP05 / 07

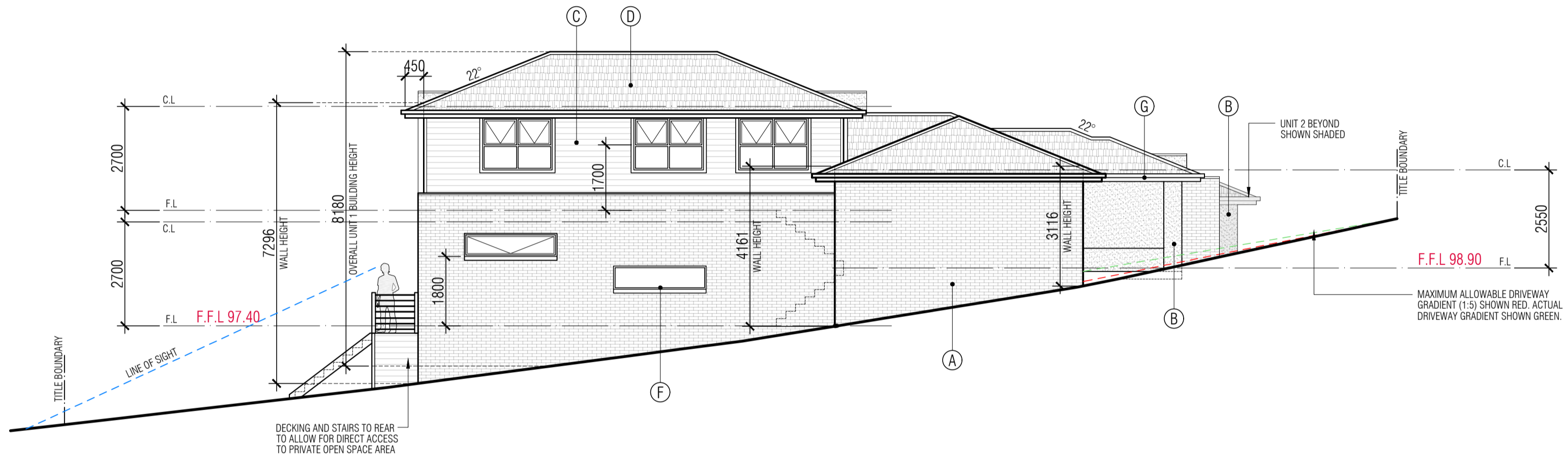
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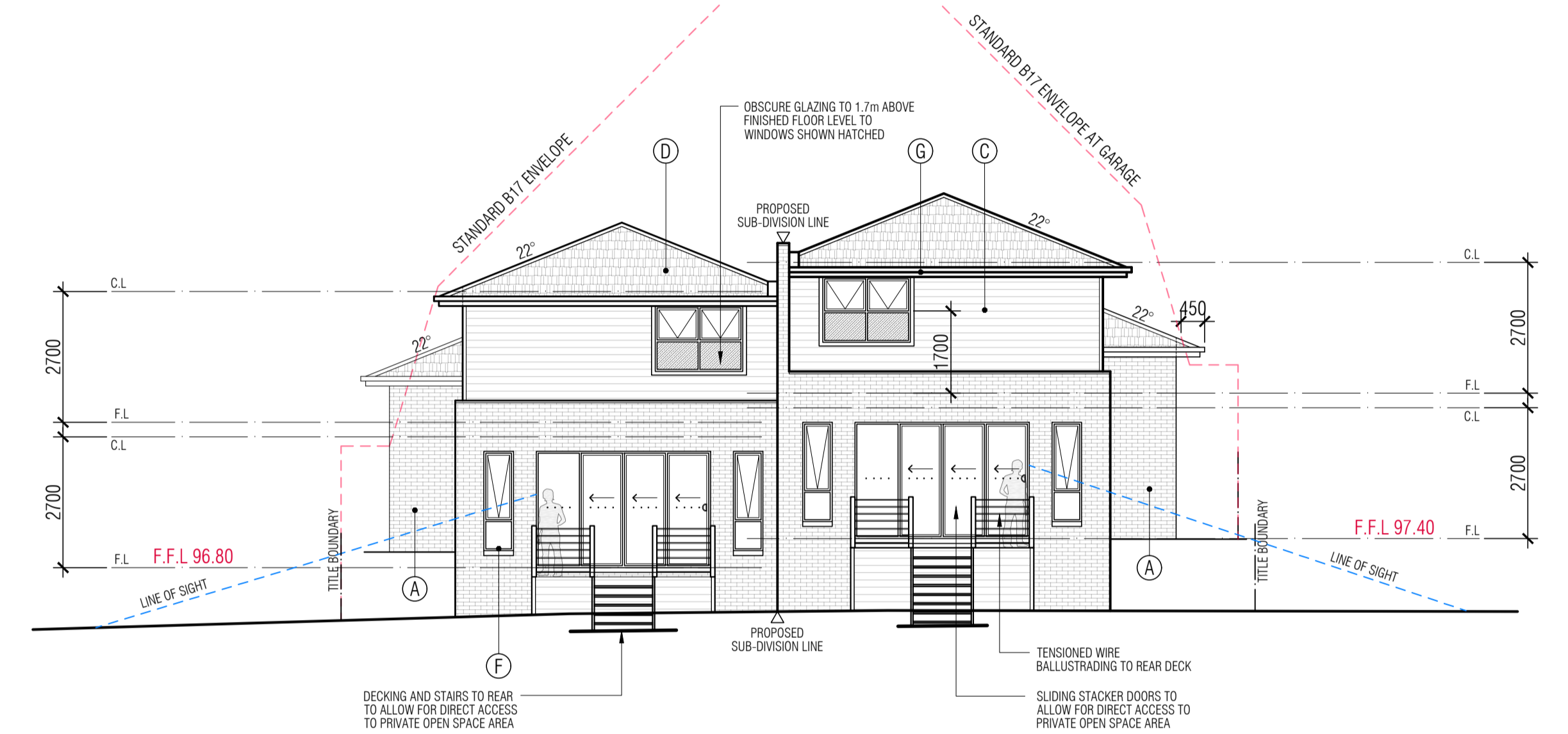
PROPOSED NORTH ELEVATION
SCALE 1:100



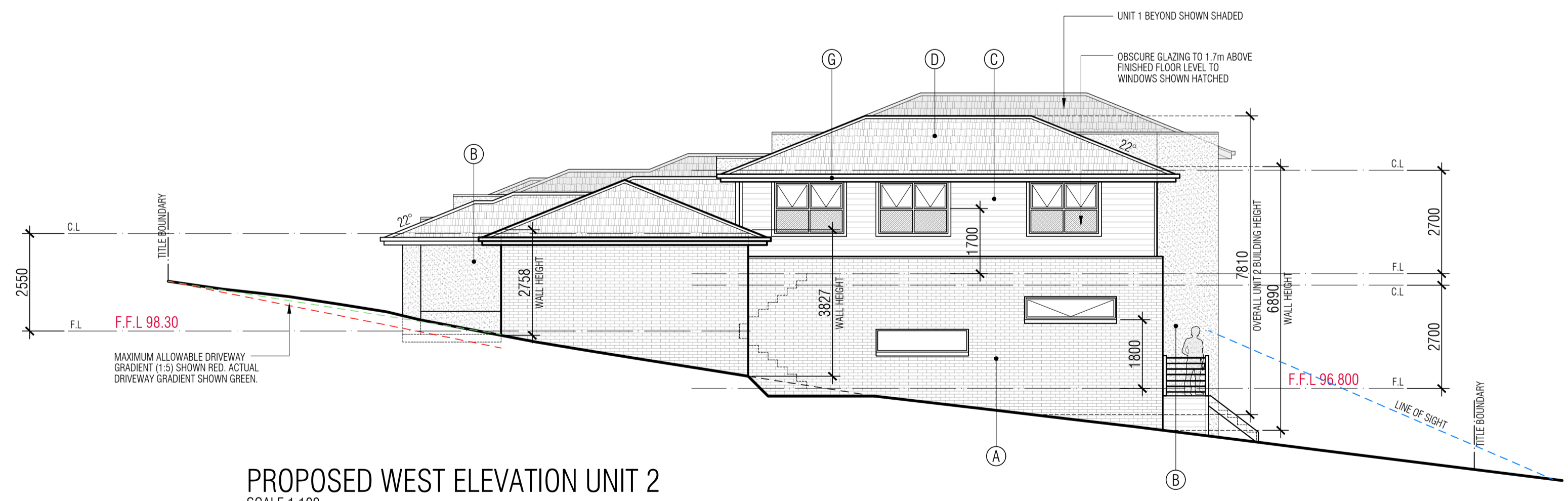
PROPOSED NORTH ELEVATION
SCALE 1:100



PROPOSED EAST ELEVATION (UNIT 1)
SCALE 1:100



PROPOSED SOUTH ELEVATION
SCALE 1:100



PROPOSED WEST ELEVATION UNIT 2
SCALE 1:100

SCHEDULE OF MATERIALS, COLOURS & FINISHES				
ID	COMPONENT	MATERIAL	COLOUR	FINISH
(A)	EXTERNAL WALL CLADDING 1:	BRICKWORK	ZINC/BLACK	FACE BRICKWORK
(B)	EXTERNAL WALL CLADDING 2:	RENDER	CREAM/BEIGE	PAINTED
(C)	EXTERNAL WALL CLADDING 3:	WEATHERBOARDS	WHITE/LIGHT GREY	PAINTED
(D)	ROOF CLADDING 1:	CONCRETE TILES	BLACK	PAINTED
(E)	ENTRY DOORS:	SOLID TIMBER WITH GLASS IN FILLS	RED/MAROON	GLOSS PAINT
(F)	DOOR AND WINDOW FRAMES:	ALUMINIUM	GREY/SILVER	POWDERCOATED
(G)	FASCIAS & GUTTERS	COLORBOND	MONUMENT	POWDERCOATED
-	DOWNPIPES:	COLORBOND	MONUMENT	POWDERCOATED
(H)	GARAGE DOORS:	COLORBOND	DUNE	POWDERCOATED
-	FENCING:	TIMBER	NATURAL	TIMBER PALING
-	DRIVEWAYS:	CONCRETE	GREY	EXPOSED AGGREGATE

PROPOSED ELEVATIONS

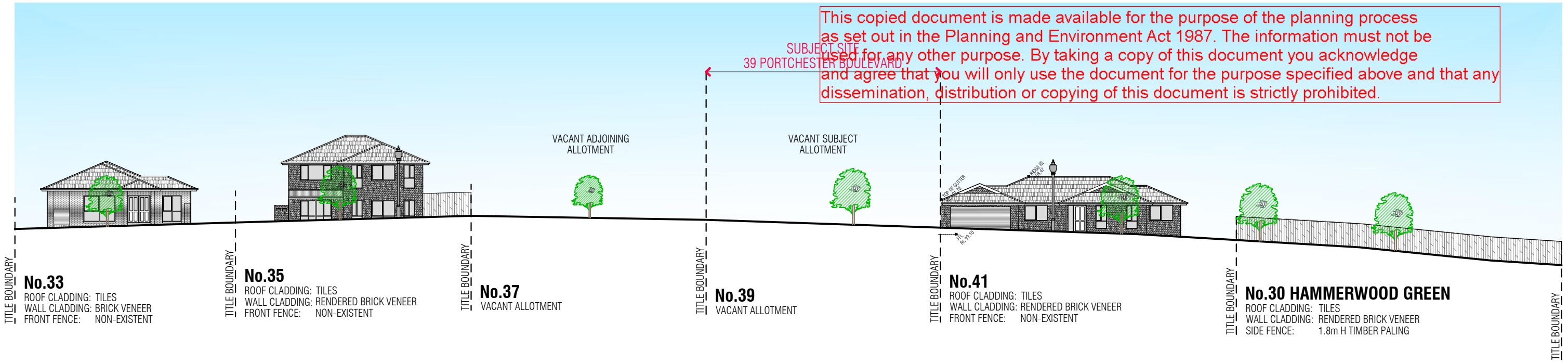
SCALE 1:100 @ A1 - 1:200 @ A3

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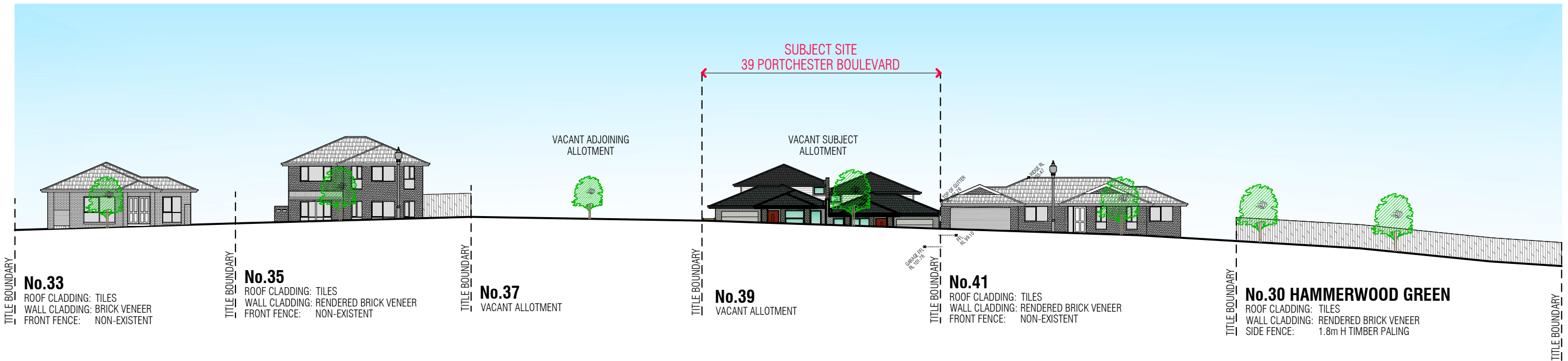
#	REVISION	DATE	BY
A	PRELIMINARY ISSUE	08-09-16	-
B	TOWN PLANNING ISSUES	26-09-16	-
C	REV AS PER LETTER DATED - 3RD NOVEMBER 2016	23-01-17	-
D	REV AS PER LETTER DATED - 1ST MARCH 2016	03-03-17	-

PROPOSED:	DUAL OCCUPANCY	DRAWING NAME:	ELEVATIONS	JOB REFERENCE:	018-16
ADDRESS:	No. 39 / LOT 336 PORTCHESTER BOULEVARD, BEACONSFIELD, VIC 3807	DATE:	SEP 2016	SHEET SIZE:	A1
CLIENT/S:	MR PAUL RUZEJ	SCALE:	1:100	CHECKED:	TP06 / 07

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EXISTING STREETSCAPE ELEVATION
 SCALE 1:300



PROPOSED STREETSCAPE ELEVATION
 SCALE 1:300

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REVISIONS / AMENDMENTS			
#	REVISION	DATE	BY
A	PRELIMINARY ISSUE	09-09-16	-
B	TOWN PLANNING LODGED	26-09-16	-

PROPOSED:	DUAL OCCUPANCY	DRAWING NAME:		JOB REFERENCE:
ADDRESS:	No.39 / LOT 336 PORTCHESTER BOULEVARD, BEACONSFIELD, VIC 3807	STREETSCAPE ELEVATIONS		018-16
CLIENT/S:	MR PAUL RUZEU	DATE:	SHEET SIZE:	SHEET NUMBER:
		SEP 2016	A3	TP07 / 07
		SCALE:	DRAWN:	CHECKED:
		1:300	-	-