NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	L1 PS442778 125 Quamby Road, Guys Hill
The application is for a permit to:	Buildings and works in the form of extensions and alterations to a dwelling, construction of an outbuilding, and removal of native vegetation
The applicant for the permit is:	JW PLANNING SERVICES
The application reference number is:	T170022
You may look at the application and any documents that support the application at the office of the Responsible Authority:	Cardinia Shire Council 20 Siding Avenue Officer 3809 This can be done during office hours and is free of charge. Documents can also be viewed on Council's website www.cardinia.vic.gov.au.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must	*	be sent to the Responsible Authority in writing, at Cardinia Shire Council, PO Box 7, Pakenham, Vic, 3810 or email at mail@cardinia.vic.gov.au				
	*	include the name and address of the objector/ submitter				
	*	include the application number and site address				
	*	include the reasons for the objection, and state how the objector would be affected.				
	*					
The Responsible Authority will not		29 March 2017				

If you object, the Responsible Authority will advise you of its decision.

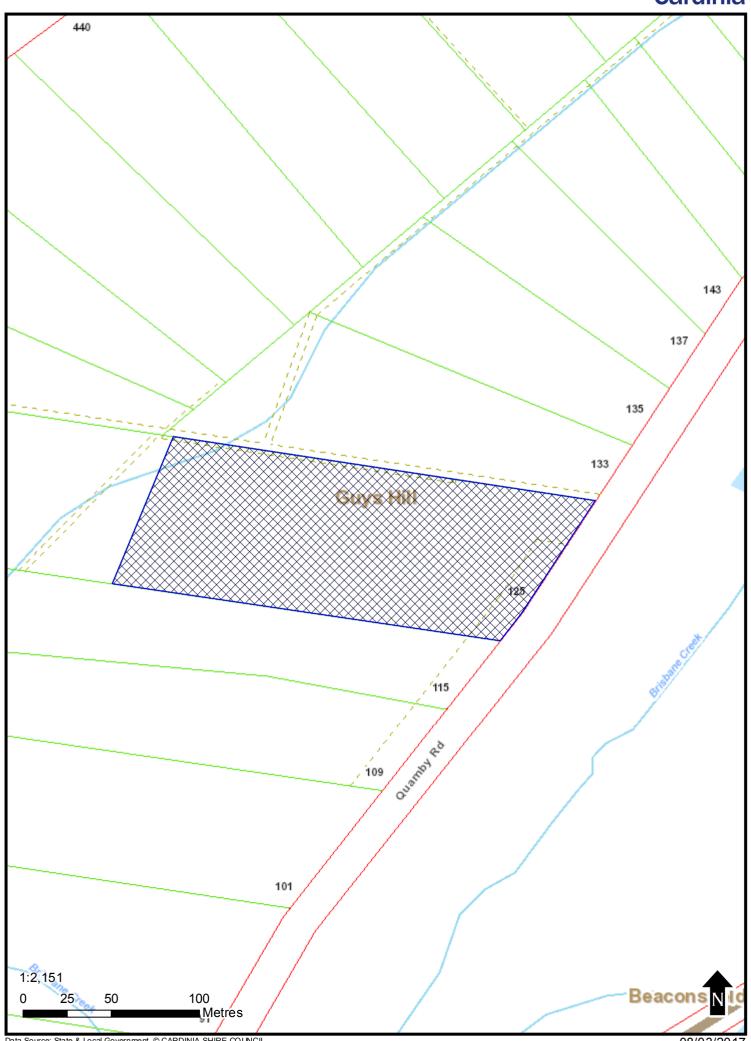
decide on the application before:

Please be aware that copies of objections/submissions received may be made available to any person for the purpose of consideration as part of the planning process.

For additional information or advice contact Cardinia Shire Council, Planning Department on 1300 787 624 or mail@cardinia.vic.gov.au

Your objection/ submission and personal information is collected by Cardinia Shire Council for the purposes of the planning process as set out in the *Planning and Environment Act 1987*. If you do not provide your name and address, Council will not be able to consider your objection/ submission. Your objection/ submission will be available free of charge at the Council office for any person to inspect and copies may be made available on request to any person for the relevant period set out in the *P&E Act*. You must not submit any personal information or copyright material of third parties without their informed consent. By submitting the material, you agree that the use of the material as detailed above does not breach any third party's right to privacy and copyright.





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Drainage Legend:

• DP1 100 DIA. COLOURBOND DOWNPIPE AT 12.0m MAX CTS

Stormwater:

100mm Dia. Class 6 UPVC stormwater laid to a minmum grade of 1:100 and connected to a legal point of stormwater discharge. Provide inspection openings at 9000mm cts and at each change of direction. The cover to underground stormwater drains shall be not less than:-100mm - Under soil

50mm - Under paved or concrete areas 100mm - Under reinforced concrete of paved driveways 75mm - Under reinforced concrete driveways

Plumbing Notes:

A Acceptable Construction Manual 3.5.2.0 Performance Requirement

P2.2.1 is satisfied for gutters and downpipes if they are designed and constructed in accordance with AS3500.3 - stormwater drainage installations

B Acceptable Construction Practice
3.5.1.2 Materials
gutters, downpipes and flashings must be manufactured in accordance with(a) AS2179.1 for metal; and (b) AS12/3 for upvc components; and (c) Be compatible with all upstream roofing materials in accordance with 3.5.1.3(c)

3.5.2.4 Installation of Gutters

(a) gutters must be installed with a fall of not less than(i) 1:500 for eaves gutters, unless fixed to metal fascias; and
(ii) 1:100 for box gutters

(b) Eaves gutters must be supported by brackets securely fixed at stop ends and at not more than 1.2m

(c) valley gutters on a roof pitch-(i) more than 12.5 degrees must have a width of not less than 400mm and be wide enough to allow the roof covering to overhang not less than 150mm each side of the gutter; or (ii) not more than 12.5 degrees must be designed as a box gutter. 3.5.2.5 downpipes - size and installation

(a) downpipes must be securely fixed to walls.

(b) the spacing between downpipes must not be more than 12m.

(c) downpipes must be fixed as close as possible to valley gutters and, if the downpipe is more than 1.2m from the valley, provision for overflow must be made.

(i) be compatible with other roofing materials used in the roofing system in accordance with 3.5.1.3.(c)

Site Design Information:

Authorities / Consultants:
Municipality:
Sewerage Authority:
Relevent Building Surveyor:
Consulting Structural Engineer:

Geotechnical Engineer:

Site Bushfire Attack Assessment [simplified method]

Reference document 'AS 3959-2009 construction of buildings in bush fire prone areas'

Designated Bushfire area

NO

Relevant Fire Danger Index (FDI)

FDI 100

Predominate vegetation:-Classification-Type-Distance of site from predominate vegetation-Effective slope of land-Determination of Bushfire Attack Level (BAL)-

Refer to soil report No:

Design gust wind speed / wind classification

Building tie-downs to be provided in accordance with AS1684 for an assumed design gust wind speed / wind classification of NE (subject to confirmation on site by Relevant Building Surveyor at first inspection) refer to

Refer BAL Assessment Report

Climate Zone
Climate zone for thermal design / thermal performance assessment : Zone 6

Corrosion protection of built-in structural members accessories (other than wall ties) in accordance with BCA Volume 2 Table 3.3.3.2 suitable for an Environment Classification of

Corrosion protection for sheet roofing

Provide corrosion protection for sheet roofing in accordance with BCA Volume 2 Table 3.5.1.1a suitable for an Environment Classification of

Area Analysis:

EXISTING TOTALS LIVING AREA VERANDAH **LEVEL 2:** LIVING AREA VERANDAH TOTAL AREAS (EXISTING & PROPOSED): LEVEL 1: LIVING AREA BUILDING SITE COVERAGE: PROPOSED BUILDING FOOTPRIN' DIVIDED BY TOTAL LAND TOTAL COVERAGE NOT APPLICABLE NOT APPLICABLE NOT APPLICABLE

PERMEABILITY AREAS: BUILDING AREA DRIVEWAY CONCRET PAVING DIVIDED BY TOTAL LAND PERMEABLE SURFACE Site Legend:

— - — A.G. DRAINS S/W PIT ------ LIGHT STANDARD ★ S/W DRAIN INLET/OUTLET ▲ T.B.M.

ELECTRICITY PIT ELECTRICITY POLE TELSTRA PIT HYDRANT

GAS METER → WATER METER

STREET SIGN VEHICLE CROSSING DP 100 X 50 DOWNPIPE AT 12.0m MAX CTS SP 100 X 50 DOWNPIPE WITH SPREADER LEGAL POINT OF

> Concept Design Issue: B 22 / 11 / 2016 DESIGN: Troy Dawes DPAD 574

Revision Description OF DRAWINGS REFERRED TO IN CONTRACT. SHEET ... SIGNED BUILDER: OWNER:

The Builder and Subcontractors shall check and verify all dimensions, setbacks, levels and specifications and all other relevant documentation prior to the commencement of any works. Report all discrepancies to this office for clarification

P.O Box 824 Berwick, Victoria, 3806 M. 0400 562224 @: troydawes@dawesdesign.com.au www.dawesdesign.com.au

Proposed 2 Storey Living Area to-

Exist.

Shed

Proposed Part New Verandah, Part

Exist. Shed

Existing Dam

Repair Reconstruct New.

Proposed Pool Area

Rear (Purple Hatch)

bda**v**.

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Existing Site Entry

Existing Dwelling area (yellow Hatch)

New Roof structure over.

Proposed Walkway Link.

-Proposed Garage & Guest

Bedroom over

Existing Site Entry

CLIENT PROJECT: Brennan Addition Project No. 125 Quamby Road, Guys Hill, Victoria 3807

Site Plan & Roof Plan DWN BY: Troy Dawes SCALE: As indicated

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Roof Drainage SCALE 1:150 81° 01' 30" 242.37 m

Proposed 16m x 12m American barnstyle building as per manufacturers details with 3m skillion verandah roof along south.

No. 125

81° 08' 59" 221.92 m

All materials and work practices shall comply with, but not limited to the Building Regulations 2006, the Building Code of Australia and all relevant current Australian Standards (as amended) referred to therein. These drawings shall be read in conjunction with all relevant structural and all other consultants drawings/details and with any other written instructions issued in the course of the contract.

Site Development Plan

SCALE 1:500

1 (No. 125)

2.035 ha

Lot Number:

Volume No:

Folio No:

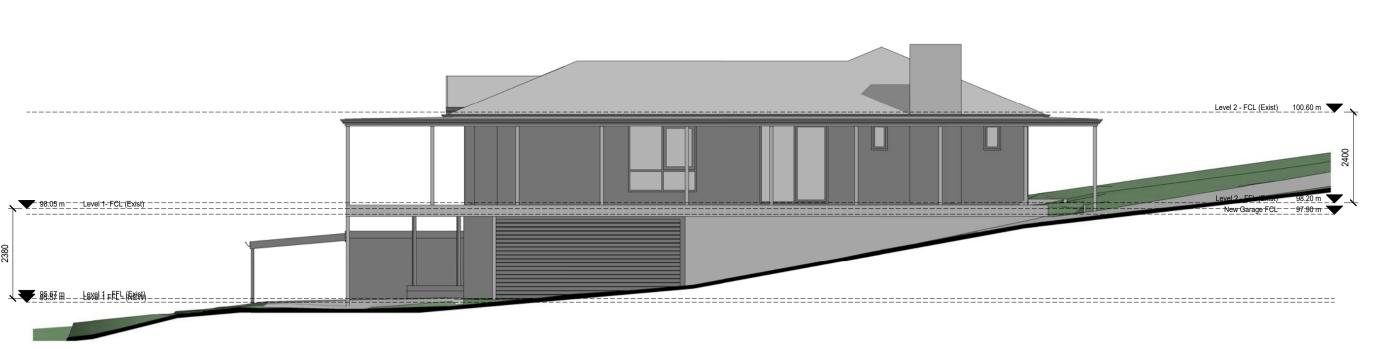
Parish:

County:

Area:

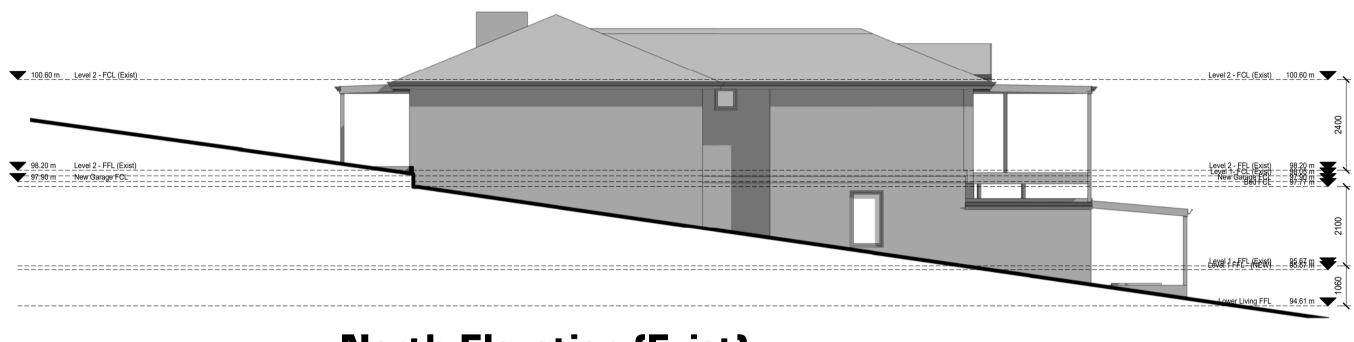
Registered Plan Number:

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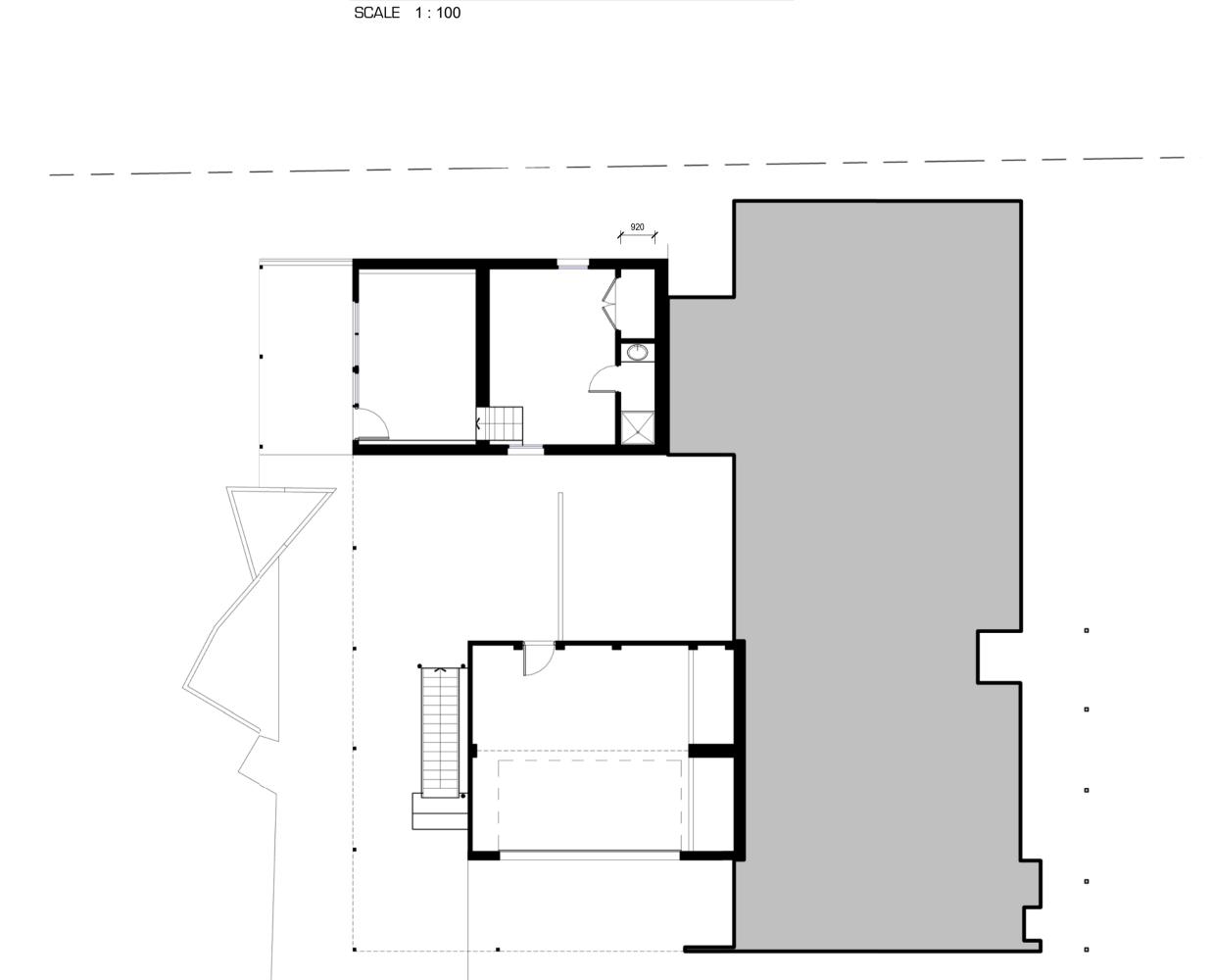


South Elevation (Exist)

SCALE 1:100

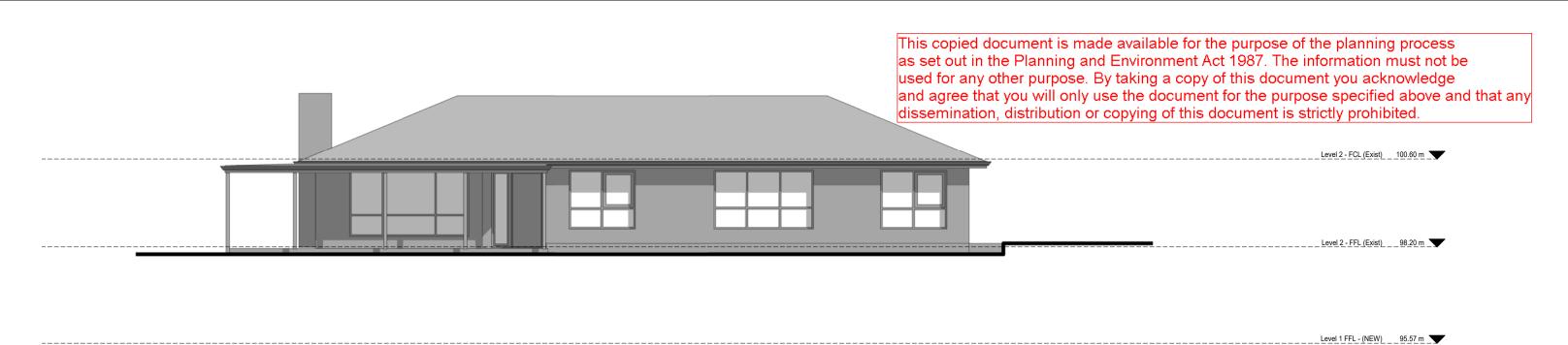


North Elevation (Exist)



Level 1 - Existing

SCALE 1:100



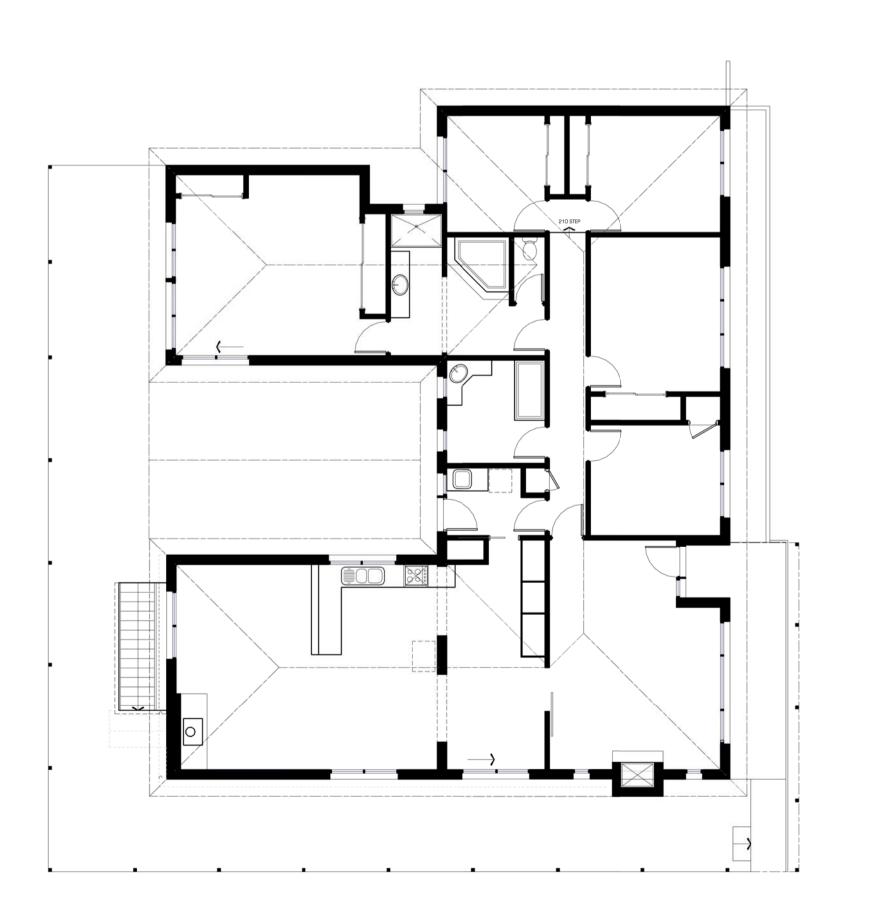
East Elevation (Exist)

SCALE 1:100



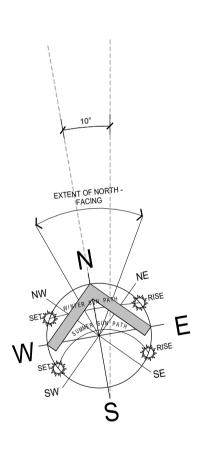
West Elevation (Exist)

SCALE 1:100



Level 2 - Existing

SCALE 1:100



Wall Legend:

EXISTING WALLS TO REMAIN.

General Notes:

[NCC BCA Vol 2]
All materials and work practices shall comply with, but not limited to the Building Regulations, the National Construction Code Series Building Code of Australia Vol 2 and all relevant current Australian Standards (as amended) referred to therein.

Unless otherwise specified, the term BCA shall refer to National Construction Code Series Building Code of Australia Volume 2.

All materials and construction practice shall meet the Performance Requirements of the BCA. Where an alternative solution is proposed then prior to implementation or installation it first must be assessed and approved by the Relevant Building Surveyor as meeting the Performance Requirements of the BCA.

These drawings shall be read in conjunction with all relevant structural and all other consultants drawings/details and with any other written instructions issued in the course of the contract. Site plan measurements in metres – all other measurements in millimetres u.n.o. Figured dimensions take precedence over scaled dimensions.

The Builder and Subcontractors shall check and verify all dimensions, setbacks, levels and specifications and all other relevant documentation prior to the commencement of any works. Report all discrepancies to this office for clarification.

The Builder shall take all steps necessary to ensure the stability and general water tightness of all new and/or existing structures during all works.

The Builder and Subcontractor shall ensure that all stormwater drains, sewer pipes and the like are located at a sufficient distance from any buildings footing and/or slab edge beams so as to prevent general moisture penetration, dampness, weakening and undermining of any building and its footing system.

These plans have been prepared for the exclusive use by the Client of Smith & Sons Pty Ltd ('The Designer') for the purpose expressly notified to the Designer. Any other person who uses or relies on these plans without the Designer's written consent does so at their own risk and no responsibility is

accepted by the Designer for such use and/or reliance.

The approval by this office of a substitute material, work practice, variation or the like is not an authorisation for its use or a contract variation. Any said variations must be accepted by all parties to the agreement and where applicable the Relevant Building Surveyor prior to implementing the said variation.

Concept Design Issue: B 22 / 11 / 2016

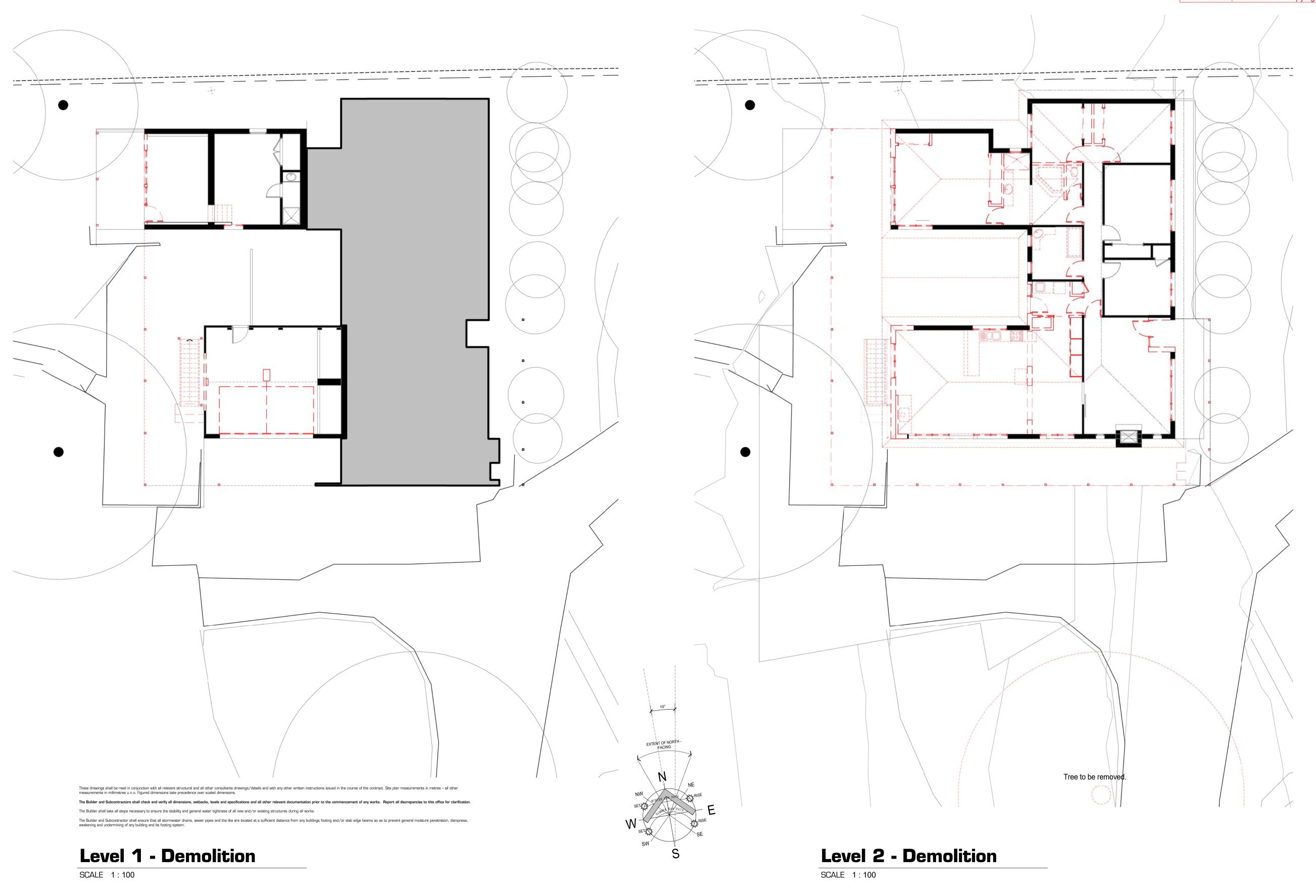
OF DRAWINGS REFERRED TO IN CONTRACT. SIGNED BUILDER: OWNER: DATE:











Electrical Legend

⊕ EXHAUST FAN - MINIMUM 25I/s EXTRACTION RATE

EXHAUST FAN & LIGHT - MINIMUM 251/s EXTRACTION RATE

SELF CONTAINED SMOKE ALARMS CONNECTED TO MAINS ELECTRICAL POWER WITH BATTERY BACKUP

Wall Legend:

EXISTING WALLS TO REMAIN.

PROPOSED 90mm TIMBER STUD WALLS.

PROVIDE FULL HEIGHT BRICKWORK ARTICULATION JOINTS SHOWN THUS ON FLOOR PLANS DOORS TO SANITARY COMPARTMENTS TO BE PROVIDED WITH 'LIFT OFF HINGES' OR SIMILAR WHERE INDICATED BY THUS $\ \ *$

OFFSET DOOR JAMBS FRAM ADJACENT WALLS TO SUIT SELECTED ARCHITRAVES. SCRIBE FLUSH TO ADJACENT WALLS ALL ARCHITRAVES SELECTED THAT ARE LARGER THAN 42mm WHERE THERE IS INSUFFICIENT SPACE.

General Notes:

All materials and work practices shall comply with, but not limited to the Building Regulations 2006, the National Construction Code Series 2012 Building Code of Australia Vol 2 and all relevant current Australian Standards (as amended) referred to

Unless otherwise specified, the term BCA shall refer to National Construction Code Series 2015 Building Code of Australia

All materials and construction practice shall meet the Performance Requirements of the BCA. Where an alternative solution is proposed then prior to implementation or installation it first must be assessed and approved by the Relevant Building Surveyor as meeting the Performance Requirements of the BCA.

Glazing including safety glazing shall be installed to a size, type and thickness so as to comply with:

-BCA Part 3.6 for Class 1 and 10 buildings within a design wind speed of not more than N3, and
-NCC 2015 BCA Vol 1 Part B1.4 for Class 2 to 9 buildings

Waterproofing of wet areas, being bathrooms, showers, shower rooms, laundries, sanitary compartments and the like shall be provided in accordance with AS 3740-2010: Waterproofing of Wet Areas in Residential Buildings. These Drawings shall be read in conjunction with any House Energy Rating (HERS) report and shall be constructed in accordance with the stamped plans endorsed by the accredited Thermal Performance Assessor without alteration

Step sizes (other than for spiral stairs) to be:
- Risers (R) 190mm maximum and 115mm minimum Going (G) 355mm maximum and 240mm minimum 2R + 1G = 700mm maximum and 550mm minimum

All treads, landings and the like to have non slip finish or suitable non-skid strip near edge of nosing.

Provide balustrades where change in level exceeds 1000mm above the surface beneath landings, ramps and/or treads. Balustrades (other than tensioned wire balustrades) to be: 1000mm min. above finished surface level of balconies, landings or the like, and 865mm min. above finished surface level of stair nosing or ramp, and vertical with less than 125mm gap between, and

any horizontal element within the balustrade between 150mm and 760mm above the floor must not facilitate climbing where changes in level exceeds 4000mm above the surface beneath landings, ramps and/or treads. Wire balustrade construction to comply with BCA Part 3.9.2.3 for Class 1 and 10 Buildings and NCC 2012 BCA Volume 1 Part D2.16 for other Classes of Buildings.

Top of hand rails to be minimum 865mm above stair nosing and floor surface of ramps.

Window sizes nominated are nominal only. Actual size may vary according to manufacturer. Windows to be flashed all around. Where the building (excludes a detached Class 10) is located in a termite prone area the area to underside of building and perimeter is to be treated against termite attack.

For buildings in marine or other exposure environments shall have masonry units, mortar and all built in components and the like complying with the durability requirements of Table 4.1 of AS4773.1-'Masonry in small buildings' Part 1: Design These drawings shall be read in conjunction with all relevant structural and all other consultants drawings/details and with any other written instructions issued in the course of the contract. Site plan measurements in metres - all other measurements in millimetres u.n.o. Figured dimensions take precedence over scaled dimensions.

The Builder and Subcontractors shall check and verify all dimensions, setbacks, levels and specifications and all other relevant documentation prior to the commencement of any works. Report all discrepancies to this office for clarification. The Builder shall take all steps necessary to ensure the stability and general water tightness of all new and/or existing structures

Installation of all services shall comply with the respective supply authority requirements.

All stormwater to be taken to the legal point of discharge to the Relevant Authorities approval. The Builder and Subcontractor shall

ensure that all stormwater drains, sewer pipes and the like are located at a sufficient distance from any buildings footing and/or slab edge beams so as to prevent general moisture penetration, dampness, weakening and undermining of any building and its

These plans have been prepared for the exclusive use by the Client of Smith & Sons Pty Ltd (The Designer') for the purpose expressly notified to the Designer. Any other person who uses or relies on these plans without the Designer's written consent does so at their own risk and no responsibility is accepted by the Designer for such use and/or reliance. The approval by this office of a substitute material, work practice, variation or the like is not an authorisation for its use or a

contract variation. Any said variations must be accepted by all parties to the agreement and where applicable the Relevant Building Surveyor prior to implementing the said variation. **DEMOLITION NOTES:**

All materials and work practices shall comply with, but not limited to, the Building Regulations 2006, the Building Code of Australia and all relevant current Australian standards (as amended) referred to therein. These specifications specify only the minimum standard of work for the demolition works on residential projects, and all workmanship and precautions shall be to best

Precautions must be taken before and during demolition in accordance with AS 2601: Demolition of Structures. During the progress of the demolition the works shall be under the continuous supervision of the Demolisher or of an experienced foreman, and demolition shall be executed storey by storey commencing at the roof and working downwards.

The demolition must not be commenced until the precautionary measures have been inspected and approved by the Relevant

The Demolisher shall construct a temporary crossing placed over the footpath, as required by the Council.

No part of any external wall on or within 3.00m of a street alignment may be pulled down, except during the hours that the Protective outriggers, fences, awnings, hoarding, barricades and the like must be installed where necessary to guard against danger to life or property or when required by the Relevant Building Surveyor.

Dust creating material, unless thoroughly dampened down, shall not be thrown or dropped from the building but shall be lowered by hoisting apparatus or removed by material chutes. All chutes shall be completely enclosed and a danger sign shall be at the discharge end of every chute. All practicable precautions shall be taken to avoid danger from collapse of a building when any part of a framed or partly framed

building is removed. Demolished material shall not be allowed to remain on any floor or structure if the weight of the material exceeds the safe carrying capacity of the floor or structure, and such material shall not be so piled or stacked that it will endanger workmen or other persons, and shall be removed as soon as practicable from the site.

No wall, chimney or other structure or part of a structure shall be left unattended or unsupported in such a condition that it may collapse due to wind or vibration or other-wise become dangerous. Before demolition is commenced, and also during the progress of such works, all electrical cable or apparatus which are liable to be a source of danger - other than cable or apparatus used for the demolition works - shall be disconnected.

Arrangements shall be made with the Relevant Electrical Supply Authority for the disconnection of electrical mains supply except that, where partial demolition is proposed, the licensed Electrical Contractor shall satisfy the Relevant Electrical Supply Authority that the portion of the building to be demolished has been isolated.

The Demolisher shall be responsible for the disconnection of all telecommunication supplies.

The Demolisher shall be responsible to cut and seal any storm water, sewer pipes, water services, gas services and the like. The position of capped sewer and storm water drains, sealed-off water supply lines, gas supply lines and the like are to be clearly marked on the site. Any septic tank(s) on the demolition site shall be emptied and filled with clean sand, or removed entirely, and any soak wells, leach

similar apparatus shall be removed or filled with clean sand.

Any swimming pools, ponds or the like either on the demolition site or on the neighbouring allotments where affected by the demolition works shall be adequately fenced and made safe, so as to comply with AS 1926.1 -Part 1: Fencing for Swimming Pools prior to commencement of any demolition works.

Materials removed or displaced from the building shall not be placed in any street, road or right of way and, before commencing, where required, shall be kept sprayed with water so as to prevent any nuisance from dust. Materials removed or displaced from the building being demolished or materials left standing shall not be burned on the

Removal of buildings by road must be approved by Relevant Councils Traffic Engineer.

A site management plan is to be implemented during demolition works to control sediment runoff in accordance with EPA Victoria publication #275: Construction Techniques for Sediment Pollution Control. Provide 'propex' or equivalent silt fences to the low side of the allotment and around all soil stockpiles and storm water inlet pits/sumps and install 'silt stop' filter bags over all storm water entry pits during demolition works. 'Supergro' or equivalent erosion control fabric to be placed over garden beds to prevent surface erosion during revegitation period.

It is the builder's responsibility to carry out an audit prior to the commencement of any works to determine if asbestos is present in the existing works. Where any asbestos product is found in the proposed works area during initial inspection or during the course of the demolition works the builder shall engage an authorised and registered contractor for safe removal and lawful

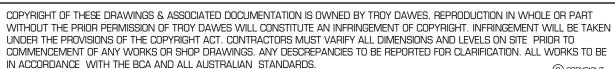
> Concept Design Issue: B 22 / 11 / 2016 DESIGN: Troy Dawes DPAD 574











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Finishes & Colour Sched:

WALL - 01	WALLS -	Selected horizontal Inea board or similar installed as per manufacturers spec & BCA, flashings to be provided as per BCA Colour: to owners spec.
WALL - 02	WALLS -	Painted FC Sheeting installed as per BCA, flashings to be provided as per BCA Colour: to owners spec.
WALL - 03	WALLS -	Infill brick veneer walls & selected render over to match 100 EPS on battens installed as per BCA, flashings to be provided as per BCA Colour: to match existing
WALL - 04	WALLS -	Selected face brickwork to match existing. AS3700 & BCA, flashings to be provided as per BCA Colour: to match existing
WALL - 05	WALLS -	Selected horizontal lnea board or similar installed as per manufacturers spec & BCA, flashings to be provided as per BCA Colour: to owners spec.
WALL - 06	WALLS -	Brick external cladding & selected render over to match as per BCA, flashings to be provided as per BCA Colour: as selected by owner
ROOF - 01	ROOF -	Selected New Colorbond Custom Orb roof cladding to match existing colour to owners specification. roof pitched at 9 degrees, eave overhangs to match existing. To be confirmed on site by builder. Colour: to as selected by owner
ROOF - 02	ROOF -	Selected New Colorbond Custom Orb roof cladding to match existing colour to owners specification. roof pitched as per elevations, eave overhangs to match existing. To be confirmed on site by builder. Colour: to as selected by owner
ROOF - 03	ROOF -	Selected New Colorbond Custom Orb roof cladding to match existing colour to owners specification. roof pitched at 24 degrees, eave overhangs to match existing. To be confirmed on site by builder. Colour: to as selected by owner
	WINDOWS -	New Aluminium Double Glazed windows, Builder to confirm sizes on site as per energy report. Refe Colour - Night Sky or similar
	GUTTERS -	Painted timber fascia - Colour as selected by owner Colorbond - Colour as selected by owner
	DOWNPIPES -	Colorbond - Colour as selected by owner

Plumbing Notes:

A Acceptable Construction Manual
3.5.2.0 Performance Requirement
P2.2.1 is satisfied for gutters and downpipes if they are designed and constructed in accordance with AS3500.3 - stormwater drainage installations

B Acceptable Construction Practice
3.5.1.2 Materials
gutters, downpipes and flashings must be manufactured in accordance with(a) AS2179.1 for metal; and
(b) AS1273 for upvc components; and
(c) Be compatible with all upstream roofing materials in accordance with 3.5.1.3(c)

3.5.2.4 Installation of Gutters
(a) gutters must be installed with a fall of not less than(i) 1:500 for eaves gutters, unless fixed to metal fascias; and
(ii) 1:100 for box gutters

(b) Eaves gutters must be supported by brackets securely fixed at stop ends and at not more than 1.2m centres.

(c) valley gutters on a roof pitch(i) more than 12.5 degrees must have a width of not less than 400mm and be wide enough to allow the roof covering to overhang not less than 150mm (ii) not more than 12.5 degrees must have a water of not less than 450 min and be wide should be written; or
(iii) not more than 12.5 degrees must be designed as a box gutter. 3.5.2.5 downpipes - size and installation

(a) downpipes must be securely fixed to walls. (b) the spacing between downpipes must not be more than 12m.

(c) downpipes must be fixed as close as possible to valley gutters and, if the downpipe is more than 1.2m from the valley, provision for overflow must be

Guys Hill, Victoria 3807

(d) downpipes must-(i) be compatible with other roofing materials used in the roofing system in accordance with 3.5.1.3.(c)(ii) be selected in accordance with appropriate eaves gutter section as shown in table 3.5.2.2.

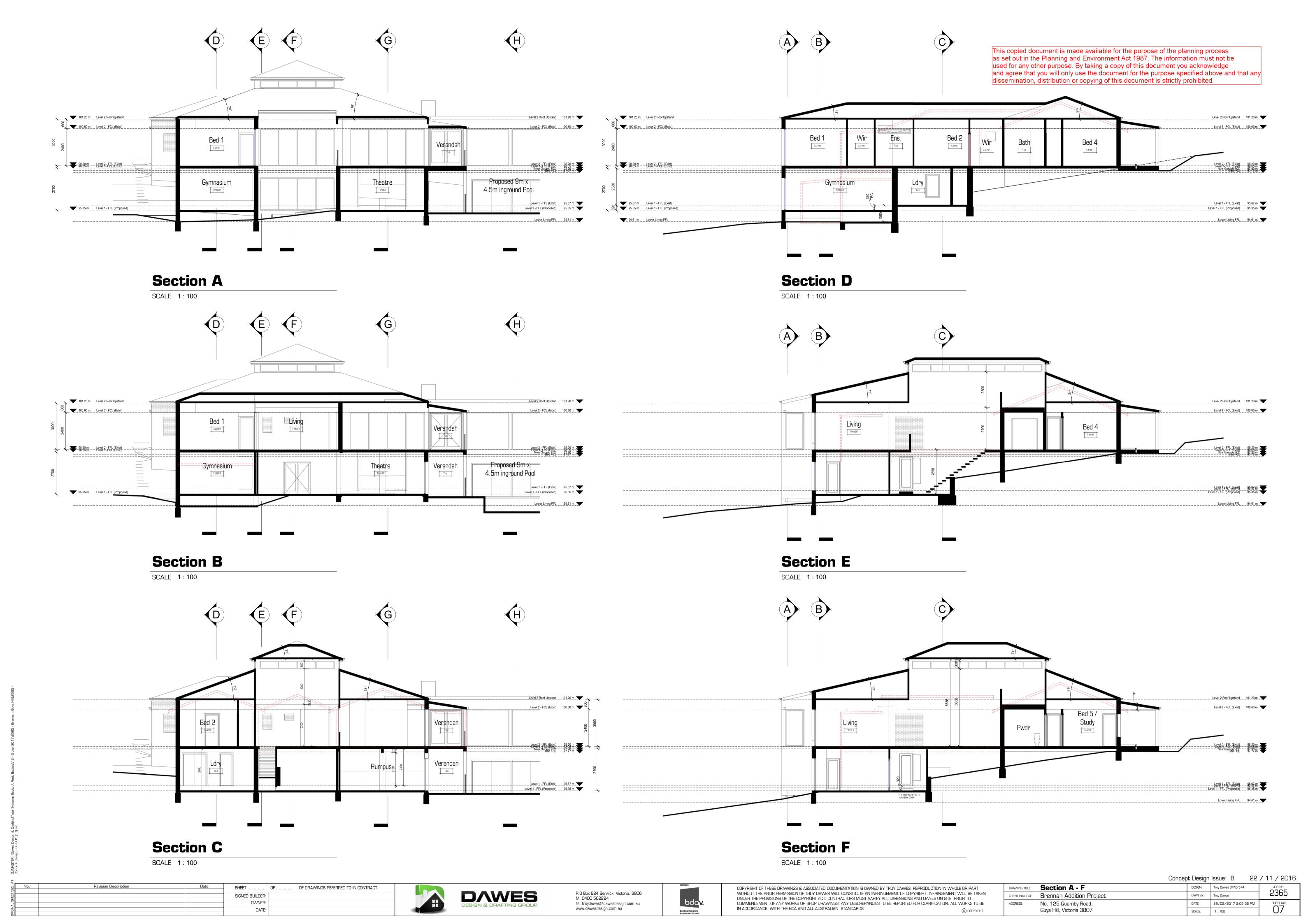
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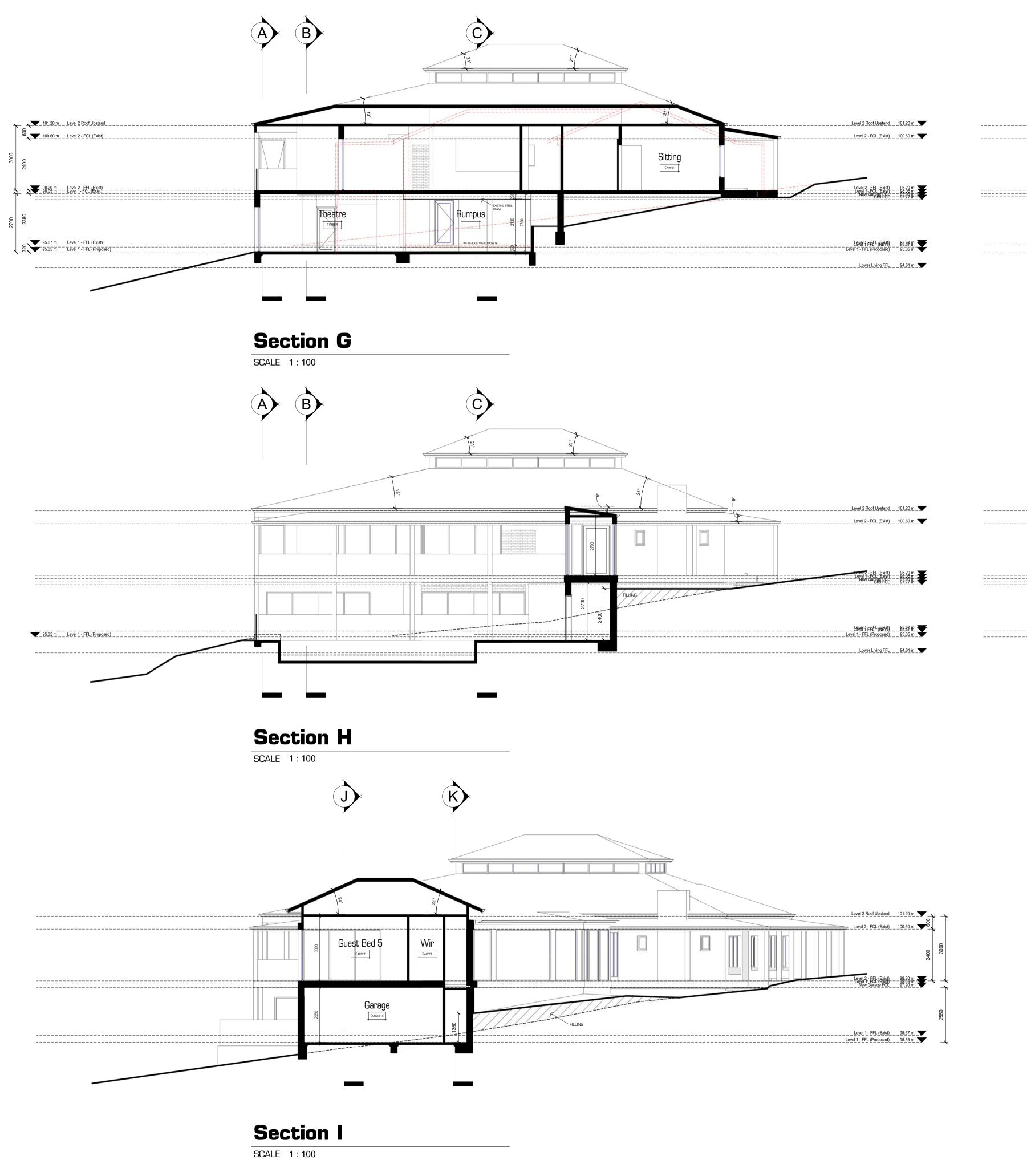
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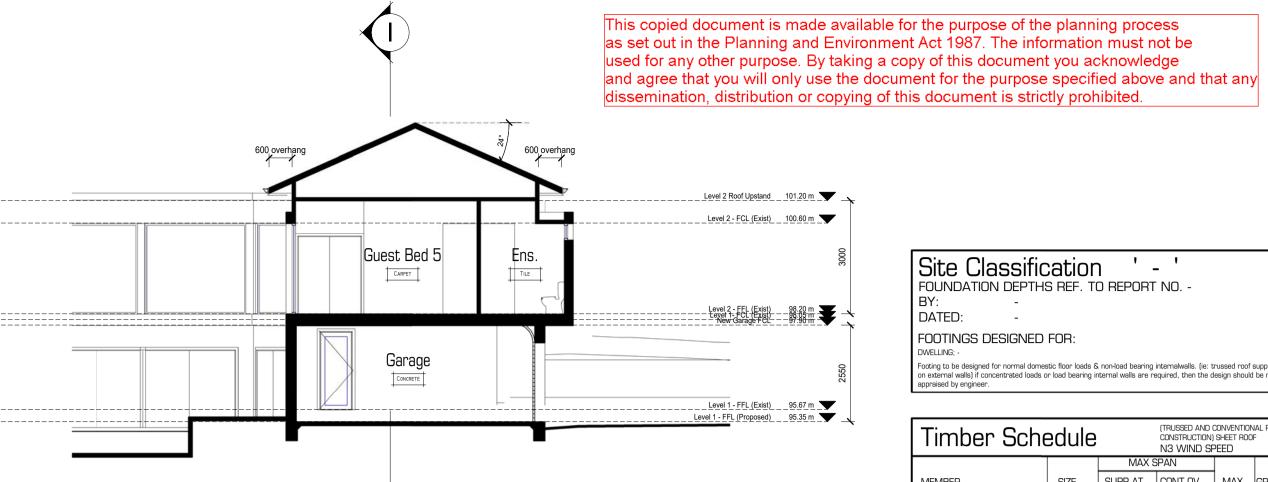
DESIGN: Troy Dawes DPAD 574 Elevations 1, 2, 3 & 4 **D**/WES CLIENT PROJECT: Brennan Addition Project DWN BY: Author SIGNED BUILDER: M. 0400 562224 UNDER THE PROVISIONS OF THE COPYRIGHT ACT. CONTRACTORS MUST VARIFY ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO bda**v**. OWNER: No. 125 Quamby Road, DATE: 28/02/2017 2:05:19 PM @: troydawes@dawesdesign.com.au COMMENCEMENT OF ANY WORKS OR SHOP DRAWINGS. ANY DESCREPANCIES TO BE REPORTED FOR CLARIFICATION. ALL WORKS TO BE

www.dawesdesign.com.au

IN ACCORDANCE WITH THE BCA AND ALL AUSTRALIAN STANDARDS.

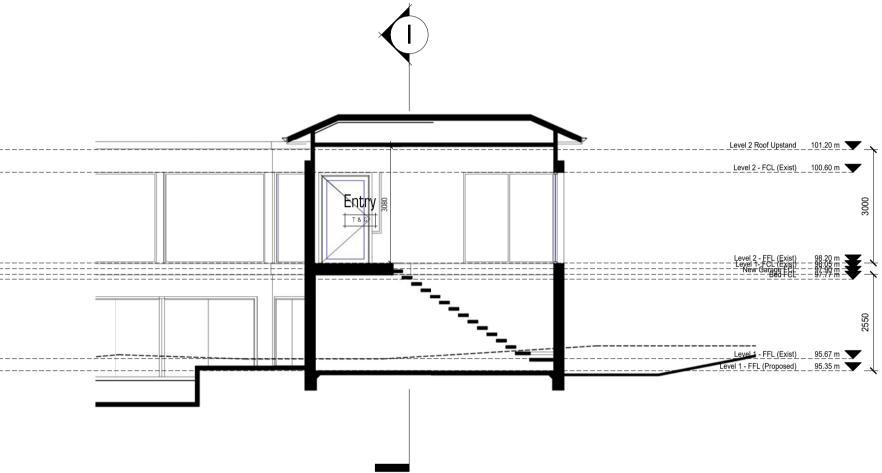






Section J

SCALE 1:100



Section K

SCALE 1:100

Member Schedule: WALL BRACING TO ENGINEERS DESIGN.
FOOTINGS AS PER ENGINEERS DESIGN.
STEEL CONNECTIONS & TIE - DOWN TO ENGINEERS DESIGN.

SUB FLOOR FRAMING:
Timber Sub-Floor:
Timber sub floor as per AS1684 & BCA, sub floor clearance as per BCA, refer notes. Founded depth at least 100mm into the clay soil as per soil report. The use of Class M pads and stumps as per AS1684, AS2870, BCA & soil Report. Footing Size As per Table 3.2 Bearing Load & Footing Size Table AS1684.2 & BCA.

89 SQ STEEL POSTS SUPPORTS & CONNECTIONS TO ENGINEERS DESIGN TO AS 1684 & BCA.

DS1 & DS2 - : TIMBER STUDS TO ENGINEERS DESIGN. CERTIFIED & CONNECTIONS TO ENGINEERS DESIGN

TIMBER STUDS TO ENGINEERS DESIGN. CERTIFIED & CONNECTIONS TO ENGINEERS DESIGN B1 - B5: LINTELS: TIMBER/&OR STEEL BEAM & SUPPORTS & CONNECTIONS TO ENGINEERS DESIGN.

L1 - L5:
PERIMETER BEAM/LINTELS (EXTERNAL WALL):
TIMBER/&OR STEEL BEAM & SUPPORTS & CONNECTIONS TO AS 1684 & BCA.

WALL FRAMING:

90 X 45 MGP10 90 X 45 MGP10 90 X 35 MGP10 75 X 35 MGP10 NOGGINGS CELING BATTENS 100 X 50 F14 SEASONED Site Classification ' - ' FOUNDATION DEPTHS REF. TO REPORT NO. -

DATED: FOOTINGS DESIGNED FOR:

Footing to be designed for normal domestic floor loads & non-load bearing internalwalls. (ie: trussed roof supported on external walls) if concentrated loads or load bearing internal walls are required, then the design should be re-

Timber Sche	(TRUSSED AND CONVENTIONAL ROOF CONSTRUCTION) SHEET ROOF N3 WIND SPEED				
_		MAX SPAN			
MEMBER	SIZE	SUPP AT 2 POINTS	CONT OV. 2 POINTS	MAX SPAC.	GRADE
TOP PLATES	90 X 45	600	600		MGP10
BOTTOM PLATES	90 X 35	600	600		MGP10
STUDS-COMMON	90 X 35	2700	2700	600	MGP10
NOGGINGS	75 X 38	600		1350	F8
ROOF BATTENS	35 X 50	600		330	MGP10
CEILING BATTENS	35 X 42	600		600	MGP10
ROOF TRUSSES	600 mm centres (certified by manurfacturer) fixed and braced to the manurfacturer's specifications, girder truss locations and tie - down details to be provided by the manurfacture. Double 90x35 f5 top plates to external walls when roof trusses are used. Builder to provide truss computations to building surveyor prior to frame inspection when trusses are nominated on drawings.				
THRESHOLDS:	Provide 900mmx900mm mass concrete landing outside all external doorways if f.f.l. exceeds 190mm above ground level.				
WATER PONDING:	Ground to be graded away from slab so as to avoid ponding of water.				
WET AREAS:	Provide ceramic floor tiles to all wet areas and ceramic wall tiles to behind walls to a height of 1800mm above showers and 200mm for sinks, basins etc.				

General Notes:

Do not scale from this drawing. all dimensions to be checked on site. all work to be carried out in accordance with relevant codes. it is the builders responsibility to engage professional site supervision for all structural works. any discrepancies on site and/or drawings should be reported to **DAWES DESIGN & DRAFTING GROUP** before proceeding subject to written instructions.

All materials and work practices shall comply with, but not limited to the Building Regulations, the Building Code of Australia, and all relevant current Australian Standards (as amended) referred to therein. The Builder shall take all steps necessary to ensure the stability and general water tightness of all new and/or existing structures

The Builder and Subcontractors shall check and verify all dimensions, setbacks, levels and specifications and all other relevant documentation prior to the commencement of any works. Report all discrepancies to this office for clarification. These drawings shall be read in conjunction with all relevant structural and all other consultants drawings/details and with any other written instructions issued in the course of the contract. Site plan measurements in metres - all other measurements in millimetres u.n.o. Figured dimensions take precedence over scaled dimensions.

All steelwork to be grade 250 unless noted otherwise. square and rectangular hollow sections to be grade 350. fabrication and erection generally to comply with as 1250 - steel structures code.

All welds to be 5mm fillet or full strength butt welds unless otherwise noted. provide all cleats, brackets, holes etc. necessary to complete the work. all steel gusset plates to be 6mm thick with hole centres 2 diameters from edges, unless noted otherwise. All holes to be drilled or punched 2mm oversize unless noted otherwise. all steelwork to be prime painted prior to erection, except steelwork which is to be embedded in concrete (which must be free from all grease, paint and loose particles). All bolts connecting steel to steel to be m12 minimum unless noted otherwise. provide all bracing as necessary during erection

Concrete strength to be 25 mpa minimum unless noted otherwise (except blinding concrete - minimum 15mpa). All footing pads are to be founded on soil of 100 kpa minimum and must be of the minimum size shown on the working drawings. If 100 kpa pouring concrete and approval of building authority obtained.

CONCRETE:

All concrete to be accurately formed to the dimensions shown on the drawings, with no allowance for finishes. reinforcement should be inspected by the engineer as arranged by the builder. Formwork is to remain in place for a minimum of seven (7) days. The properties of the concrete at 28 days to be as follows:-

Ine properties or the concrete at 28 days to be as follows:Footing: 20 mpa 75 mm slump 20 mm aggregate
Slab: 25 mpa 75 mm slump 14 mm aggregate
Concrete is to be mechanically vibrated free of air voids during placement taking care not to displace the reinforcement.
continuously cure concrete by ponding or other approved method for 7 days after the pouring.

All reinforcement to be accurately placed and wired into position, taking care not to puncture the waterproof membrane where specified. Support all reinforcement on bar chairs at 1200 mm c/c. Wire fabric to comply with as 1304 with minimum laps of 225mm. Laps at splices to be 500mm minimum unless specified otherwise.

BRICKWORK
U.N.O structural and reinforced brickwork must be constructed from bricks of minimum compressive strength 40 mpa, and conform to the requirements of as3700 saa masonry code. All bed and perpend joints shall be solidly filled with mortar, without furrowing, to a maximum thickness of 10mm. Joints shall be not less than 6mm. u.n.o all masonry walls are to be tied to structural members or butting walls, every 2nd course for blockwork, and every 4th course for brickwork. Reinforcement to control cracking shall be placed every 2nd course for blockwork and every 4th course for brickwork.

Mortar shall be 1:1:6 (cement:lime:sand) by volume u.n.o or as directed by the engineer. Plasticisers shall not be used. brick ties shall be of the approved galvanised type, located vertically every 2nd course for blockwork, and every 4th course for brickwork.

Horizontal spacing shall be 600mm maximum staggered. All defined cavities shall be kept free of mortar and or droppings. Control joints shall be located 8000mm maximum c/c, at the approximate locations shown on the drawings. Joint fillers. The stability of all blockwork and brickwork is the responsibility of the builder throughout the construction phase.

TIMBER:
All timber construction and any other members not shown shall comply with the timber framing code AS1684 and AS1720, F17 to be utilized unless otherwise noted. timber to conform with class b straightness as a minimum

All rafters & beams to be securely tied down as a minimum as follows:

A) 1 no. trip-l-grip (or equivalent) where rafters are supported on stud walls.
 B) 1 no. trip-l-grip (or equivalent) where rafters are supported on beams.

All bolt connections to have minimum edge distances as per AS1720.

All members to be tied down in accordance with nominated terrain category. Member sizes by others unless noted otherwise.

All timber beams and lintels are to have a minimum 110mm positive bearing on masonry or supported on 2 no. 90 x 45 MGP10 pine studs securely connected.

All laminated timberbeams to be supplied with manufacturers precamber unless otherwise noted. Timber trusses where noted are by others and to be designed in accordance with AS1720 and relevant codes. computations to

Timber trusses maximum spacing 600mm and clear span between external wall and incorporate trimmers and support members.

All non-loadbearing walls to be laterally tied and braced. walls not to carry any verticle loads.

Wall bracing is to be provided in accordance with the provisions of section 4.9 AS1684 and timber framing manual as a

All external timber members to be chemically treated or paint finished as a minimum to suit the exosure conditions. contractor to confirm with architect on details prior to commencement of works.

Under the provisions of the Building Code of Australia all new buildings must be provided with termite protection as specified in area's specified by the controling council in which the proposed buildings and works is to be constructed. All termite protection shall be in accordance with AS3660.1

provide ant caps to all stumps to the specification of as 3660.1 and the external brick piers and base structure of the buildin & any isolated brick piers, where ant caps and metal stripping is provided the a min clearance of 400 mm to the underside of the bearer must be provided to allow for inspection of the termite barriers, as an option spray could be provided around the stumps & brick base structure and footings with "dursban" 10 year warranty. warranty the warranty applies only when the system that has been provided to the building has been installed by licenced operators in strict accordance with the manufactures specifications. and the provisions of as 3660.1 & bca.

CONCRETE FLOOR SLAB

Option .1

Spray the ground with " dursban " by " dowelanco " to a standard that will provided a 10 year warranty, and provided a copy of all relevant documents from installer incluing copy of warranty to the relevant building surveyor or other relevant building practitioner proir to the occupancey permit been issued for the buildings & works.

Option . 2Provide "termi-mess" to all penetrations through the floor slab & in the external wall cavity 10 year warranty on structural timbers & 5 year warranty on fixtures.

Option . 3
install " granitgard " around service pipes and penetrations through the floor slab, across all slab construction joints and form a barrier around the perimeter of the slab 30 year warranty.

As the owner of the building, i understand the abilities & limitations of the products specified. I understand also that the onus to maintain the system to the manufactures requirments as well as to carry out periodical inspections of the termite protection system that has been provided/incorporated in the building.

Revision Description SHEET ... OF DRAWINGS REFERRED TO IN CONTRACT. SIGNED BUILDER: OWNER:

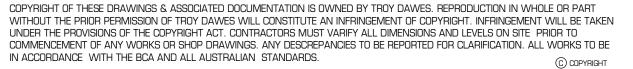
DATE:











DRAWING TITLE: Sections G - L CLIENT PROJECT: Brennan Addition Project No. 125 Quamby Road, Guys Hill, Victoria 3807

Concept Design Issue: B 22 / 11 / 2016 DESIGN: Troy Dawes DPAD 574 DWN BY: Author 28/02/2017 2:05:46 PM SCALE: 1 : 100









Revision Description SHEET OF OF DRAWINGS REFERRED TO IN CONTRACT. SIGNED BUILDER: OWNER:

DATE:

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DRAWING TITLE: Perspectives

CLIENT PROJECT: Brennan Addition Project No. 125 Quamby Road, Guys Hill, Victoria 3807

DESIGN: Troy Dawes DPAD 574 DWN BY: Author DATE: 28/02/2017 2:06:34 PM

Concept Design Issue: B 22 / 11 / 2016