

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	L1 PS442778 125 Quamby Road, Guys Hill
The application is for a permit to:	Buildings and works in the form of extensions and alterations to a dwelling, construction of an outbuilding, and removal of native vegetation
The applicant for the permit is:	JW PLANNING SERVICES
The application reference number is:	T170022
You may look at the application and any documents that support the application at the office of the Responsible Authority:	<p>Cardinia Shire Council 20 Siding Avenue Officer 3809</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website www.cardinia.vic.gov.au.</p>

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

- An objection must
- * be sent to the Responsible Authority in writing, at Cardinia Shire Council, PO Box 7, Pakenham, Vic, 3810 or email at mail@cardinia.vic.gov.au
 - * include the name and address of the objector/ submitter
 - * include the application number and site address
 - * include the reasons for the objection, and
 - * state how the objector would be affected.

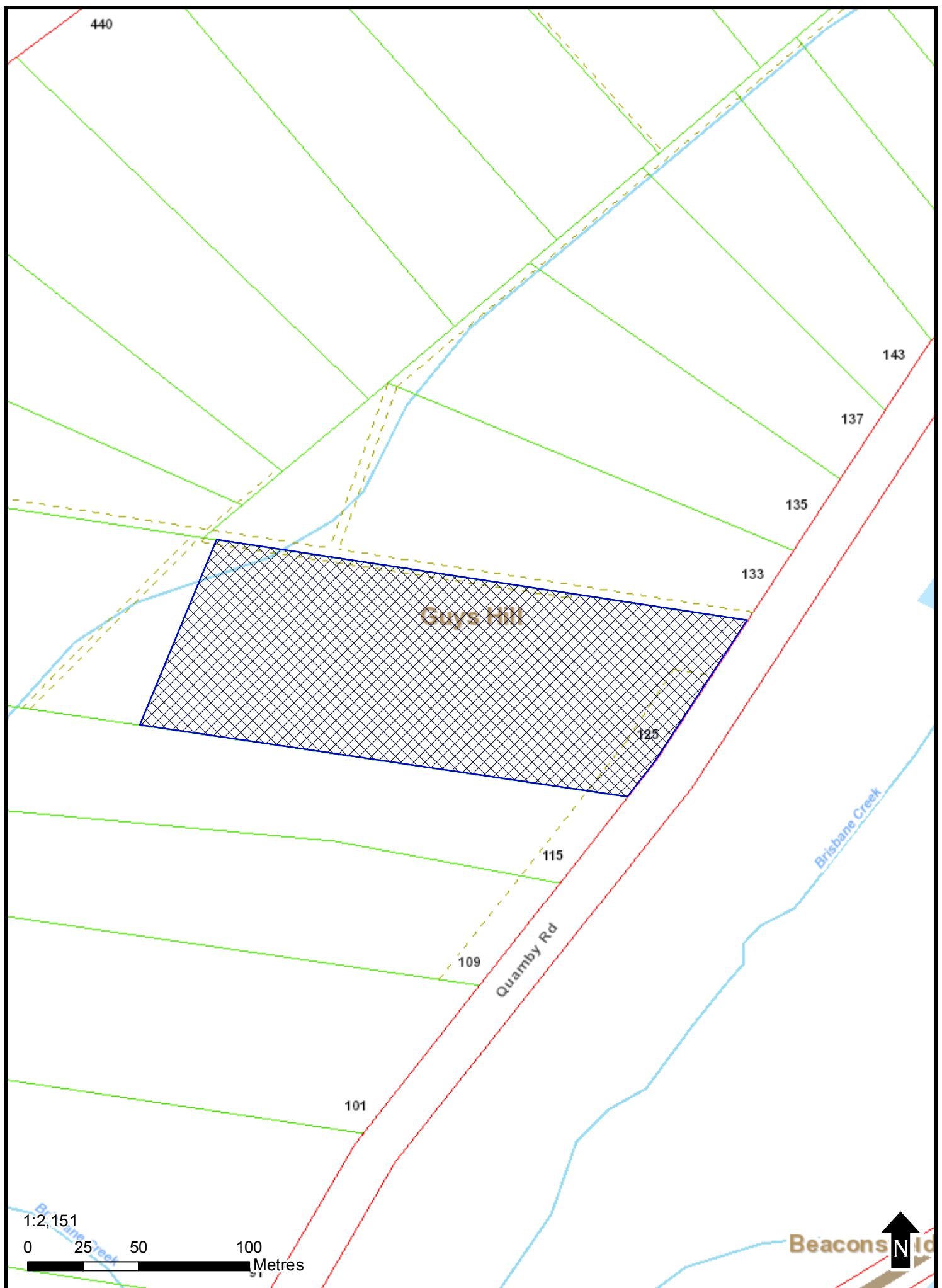
The Responsible Authority will not decide on the application before:	29 March 2017
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If you object, the Responsible Authority will advise you of its decision.

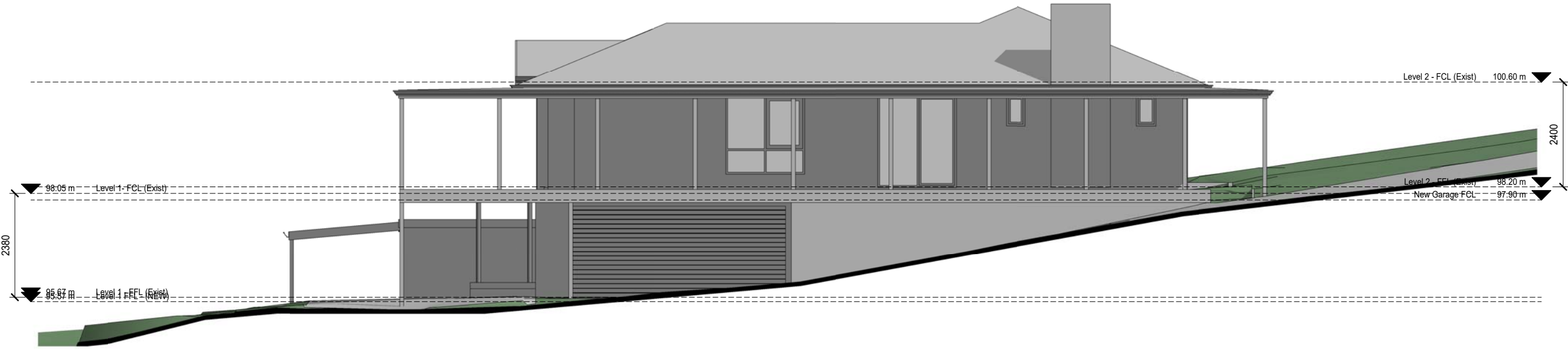
Please be aware that copies of objections/submissions received may be made available to any person for the purpose of consideration as part of the planning process.

For additional information or advice contact Cardinia Shire Council, Planning Department on 1300 787 624 or mail@cardinia.vic.gov.au

Your objection/ submission and personal information is collected by Cardinia Shire Council for the purposes of the planning process as set out in the *Planning and Environment Act 1987*. If you do not provide your name and address, Council will not be able to consider your objection/ submission. Your objection/ submission will be available free of charge at the Council office for any person to inspect and copies may be made available on request to any person for the relevant period set out in the *P&E Act*. You must not submit any personal information or copyright material of third parties without their informed consent. By submitting the material, you agree that the use of the material as detailed above does not breach any third party's right to privacy and copyright.

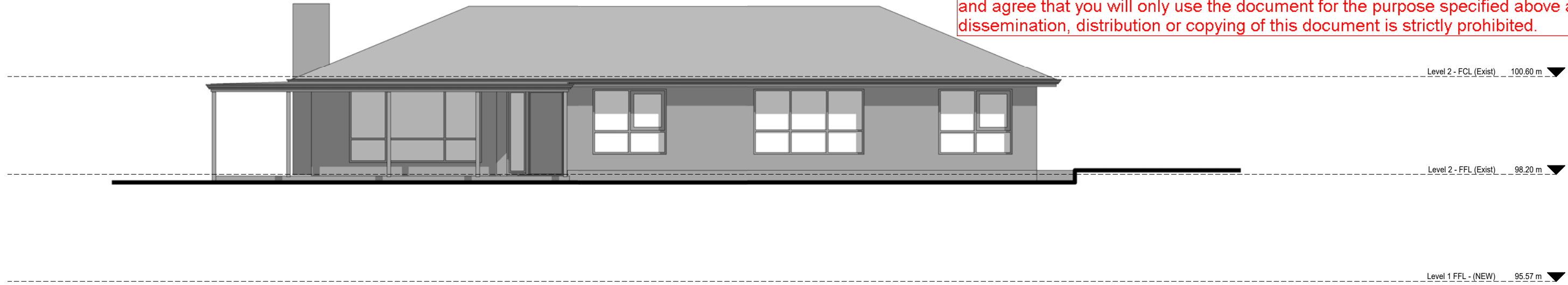


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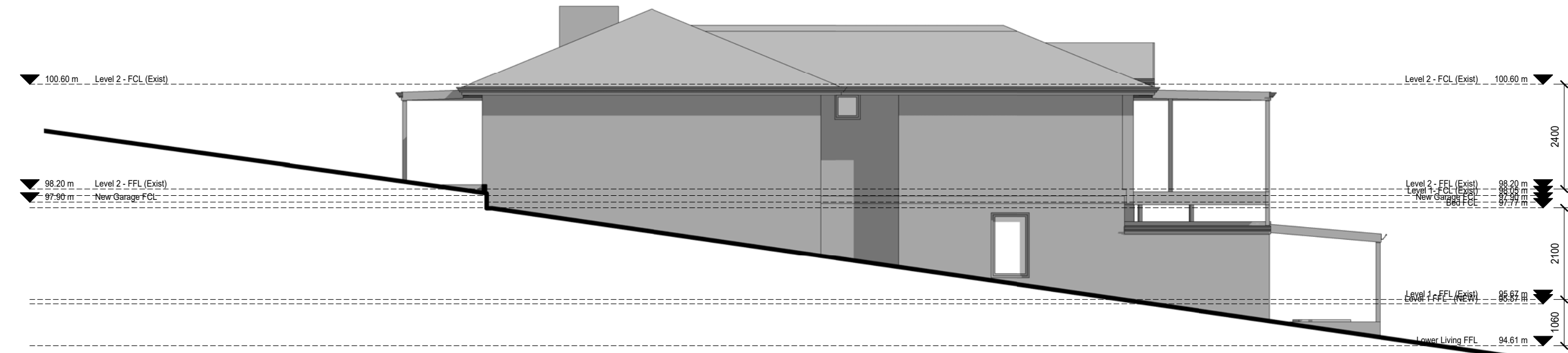
South Elevation (Exist)

SCALE 1 : 100



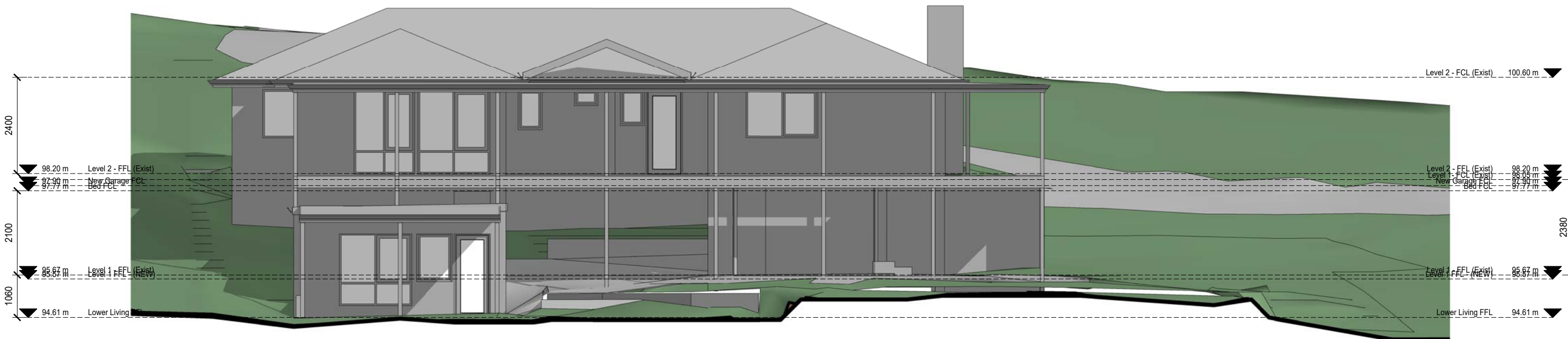
East Elevation (Exist)

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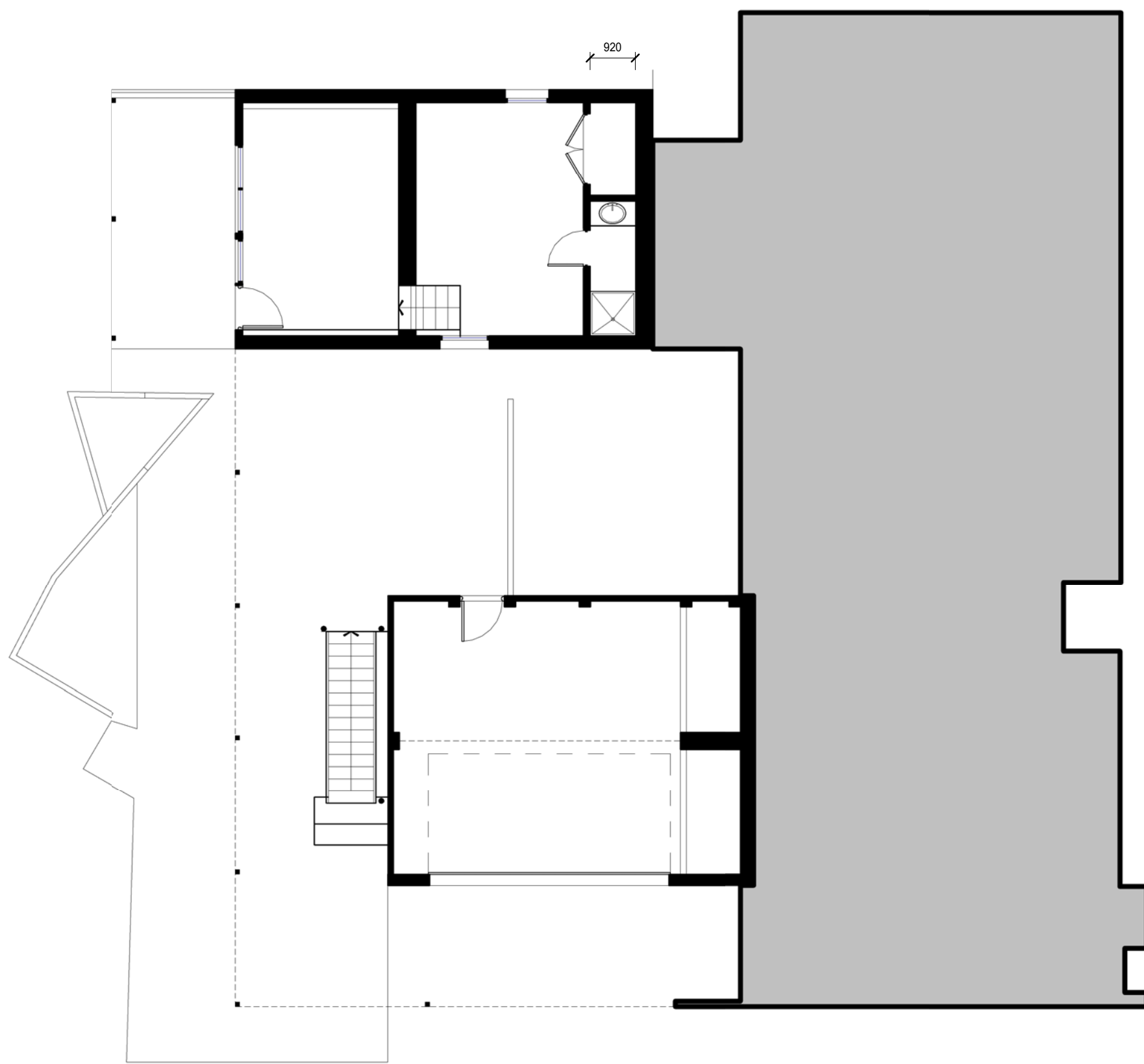
North Elevation (Exist)

SCALE 1 : 100



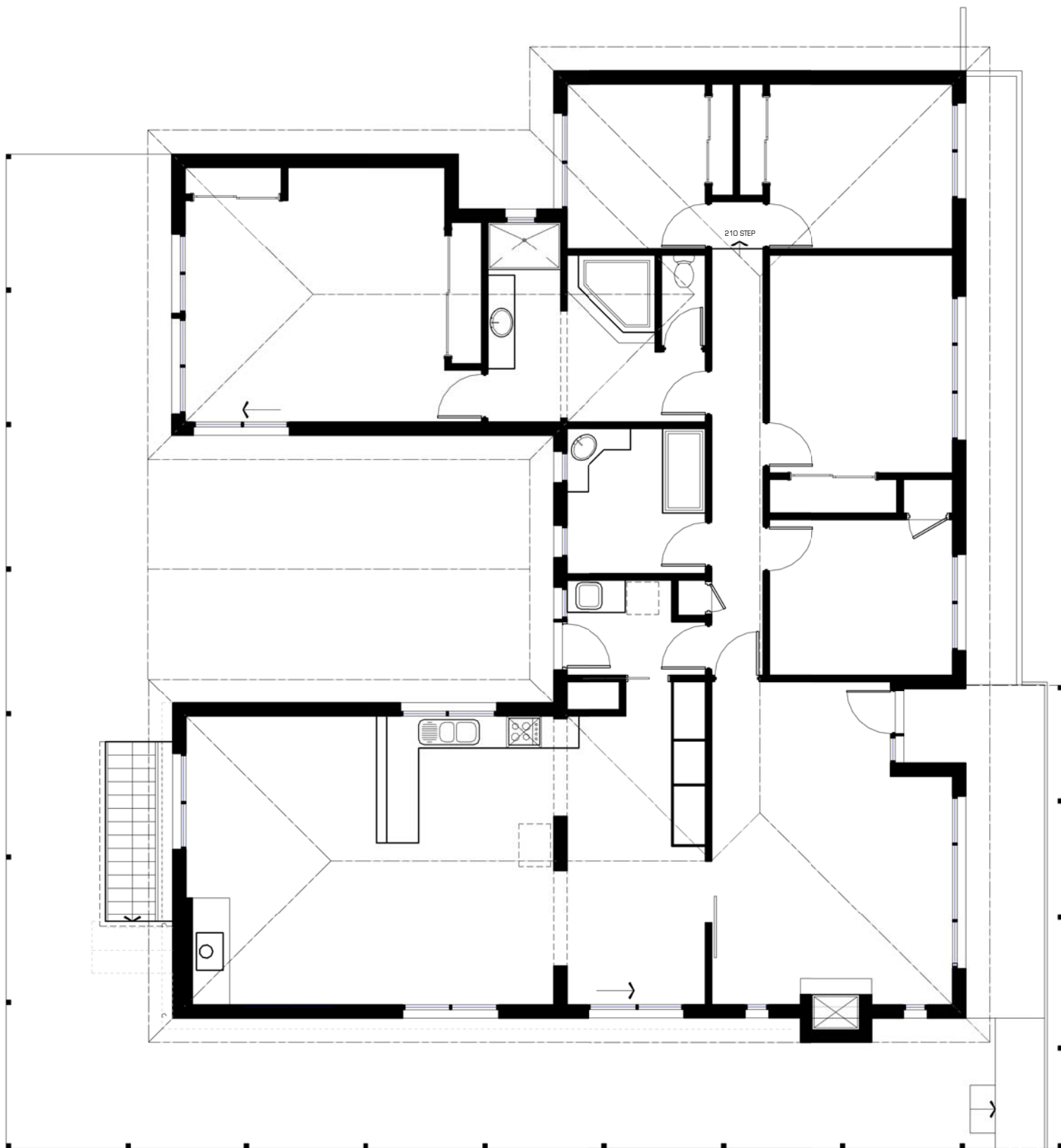
West Elevation (Exist)

SCALE 1 : 100



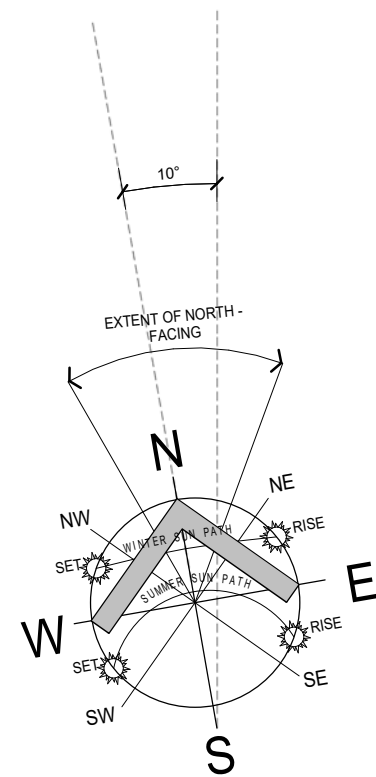
Level 1 - Existing

SCALE 1 : 100



Level 2 - Existing

SCALE 1 : 100



Wall Legend:

EXISTING WALLS TO REMAIN.

General Notes:

INCC - BCA Vol 2.1
All materials and work practices shall comply with, but not limited to the Building Regulations, the National Construction Code Series Building Code of Australia Vol 2 and all relevant current Australian Standards (as amended) referred to therein.

Unless otherwise specified, the term BCA shall refer to National Construction Code Series Building Code of Australia Volume 2.

All materials and construction practice shall meet the Performance Requirements of the BCA. Where an alternative solution is proposed then prior to implementation or installation it first must be assessed and approved by the Relevant Building Surveyor as meeting the Performance Requirements of the BCA.

These drawings shall be read in conjunction with all relevant structural and all other consultants drawings (details and with any other written instructions issued in the course of the contract. See plan measurements in metres - all other measurements in millimetres u.n.o. Figure dimensions take precedence over scaled dimensions.

The Builder and Subcontractors shall check and verify all dimensions, setbacks, levels and specifications and all other relevant documentation prior to the commencement of any works. Report all discrepancies to the office for clarification.

The Builder shall take all steps necessary to ensure the stability and general water tightness of all new and/or existing structures during all works.

The Builder and Subcontractor shall ensure that all stormwater drains, sewer pipes and the like are located at a sufficient distance from any building footing and/or slab edge beams so as to prevent general moisture penetration, dampness, weakening and undermining of any building and its footing system.

These plans have been prepared for the exclusive use by the Client of Shish & Son Pty Ltd (The Designer) for the purpose expressly notified to the Designer. Any other person who uses or relies on these plans without the Designer's written consent does so at their own risk and no responsibility is accepted by the Designer for such use and/or reliance.

The approval by this office of a substitute material, work practice, variation or the like is not an authorisation for its use or a contract variation. Any such variations must be accepted by all parties to the agreement and where applicable the Relevant Building Surveyor prior to implementing the said variation.

Concept Design Issue: B 22 / 11 / 2016

ORIGINAL SHEET SIZE: A1
DRAWN BY: Troy Davies
CHECKED BY: Troy Davies
DATE: 28/02/2017 2:04:35 PM
SCALE: 1 : 100
SHEET NO: 03

No.	Revision Description	Date

SHEET	OF	OF DRAWINGS REFERRED TO IN CONTRACT.
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OWNER:		
DATE:		



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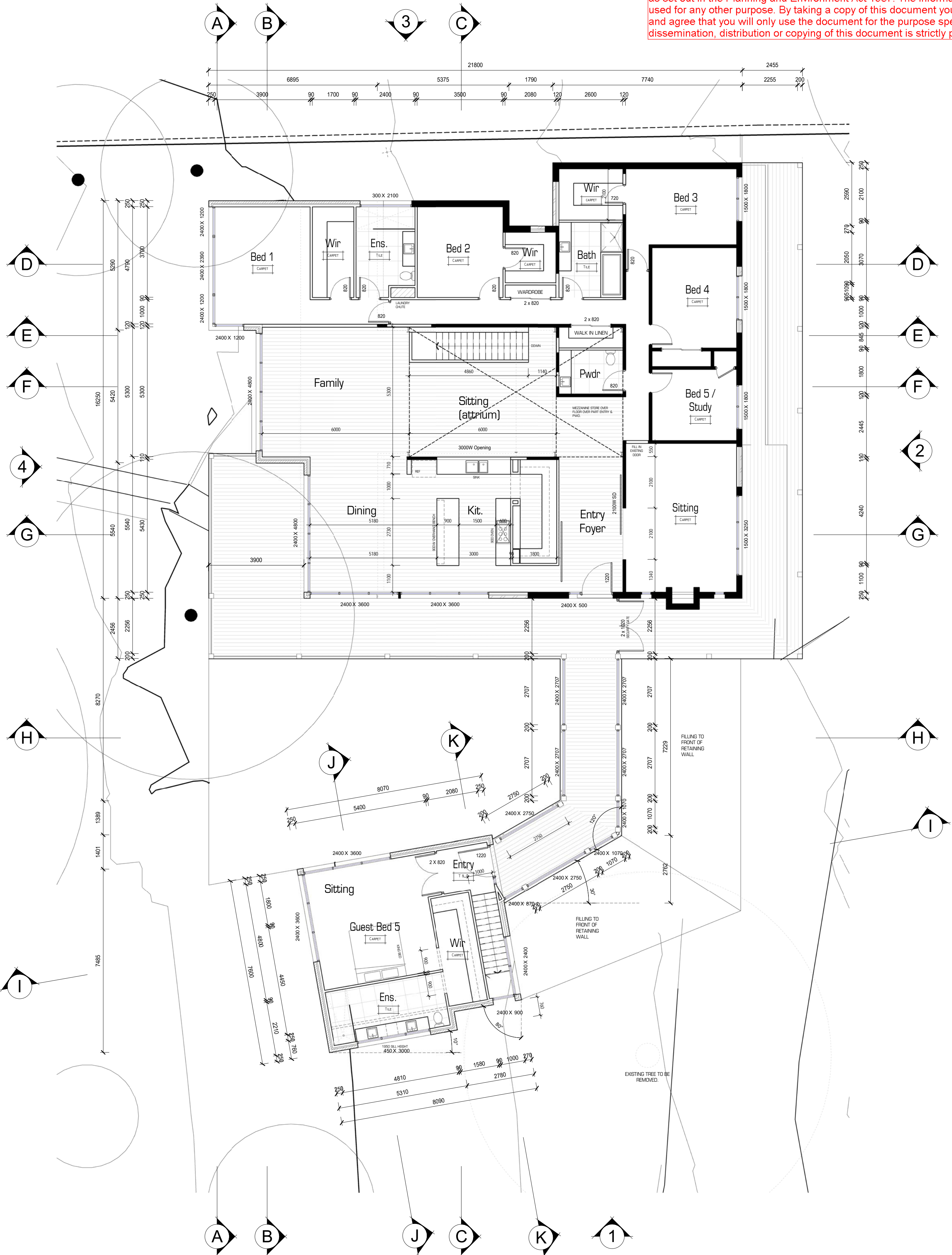
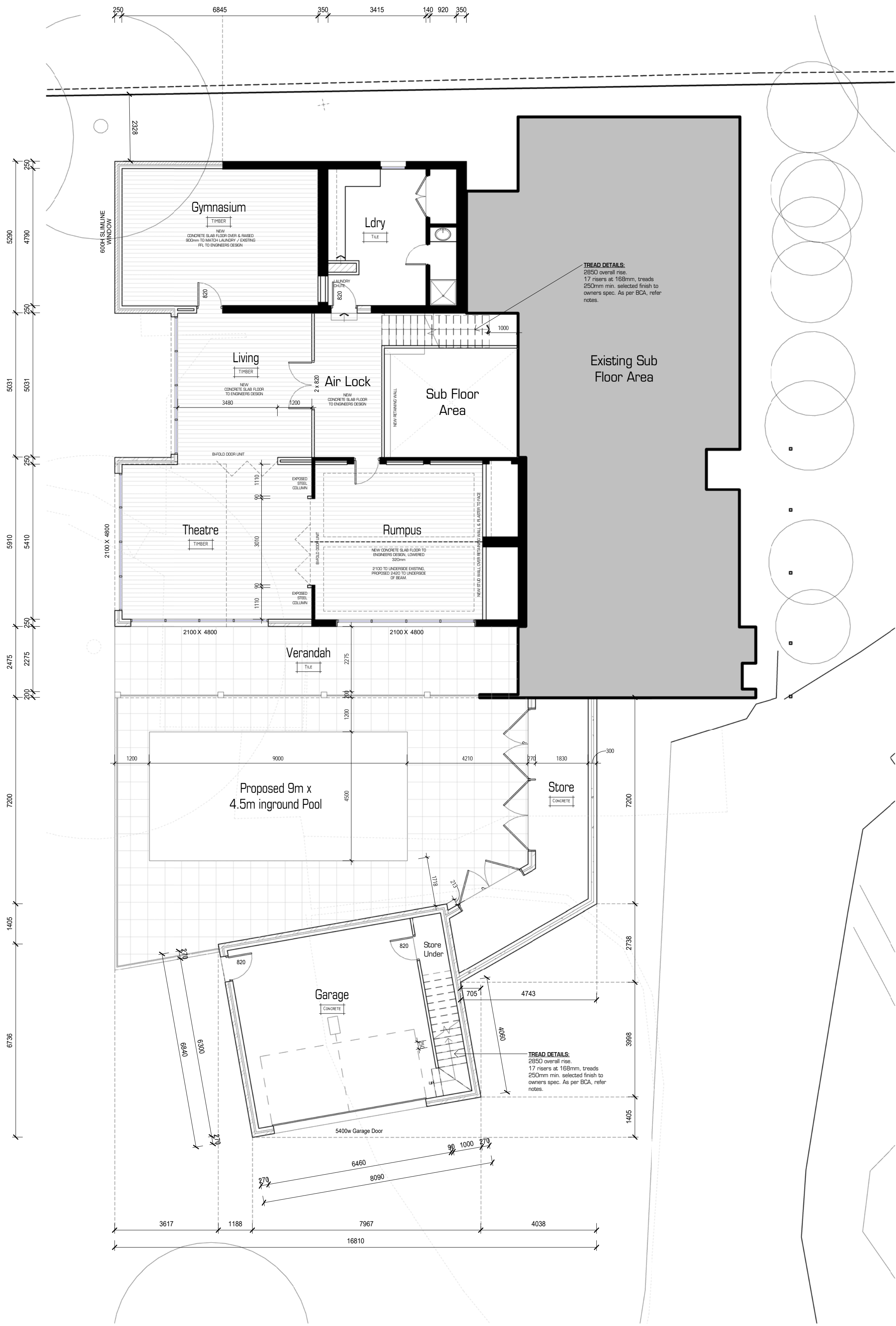


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DRAWING TITLE:	Level 1 & 2 - Existing Plan & Elevations	DESIGN:	Troy Davies SPAD 574	JOB NO:	2365
CLIENT PROJECT:	Brennan Addition Project	DRAWN BY:	Troy Davies	SHEET NO:	03
ADDRESS:	No. 125 Quamby Road, Guys Hill, Victoria 3807	DATE:	28/02/2017 2:04:35 PM	SCALE:	1 : 100

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ORIGINAL SHEET SIZE: A1
DRAWN BY: DAWES DESIGN & DRAFTING (Pty Ltd) 3 Jan 2017 2:05 PM - Brennan Addition
CONCEPT DESIGN - G. D. D. (Pty Ltd)

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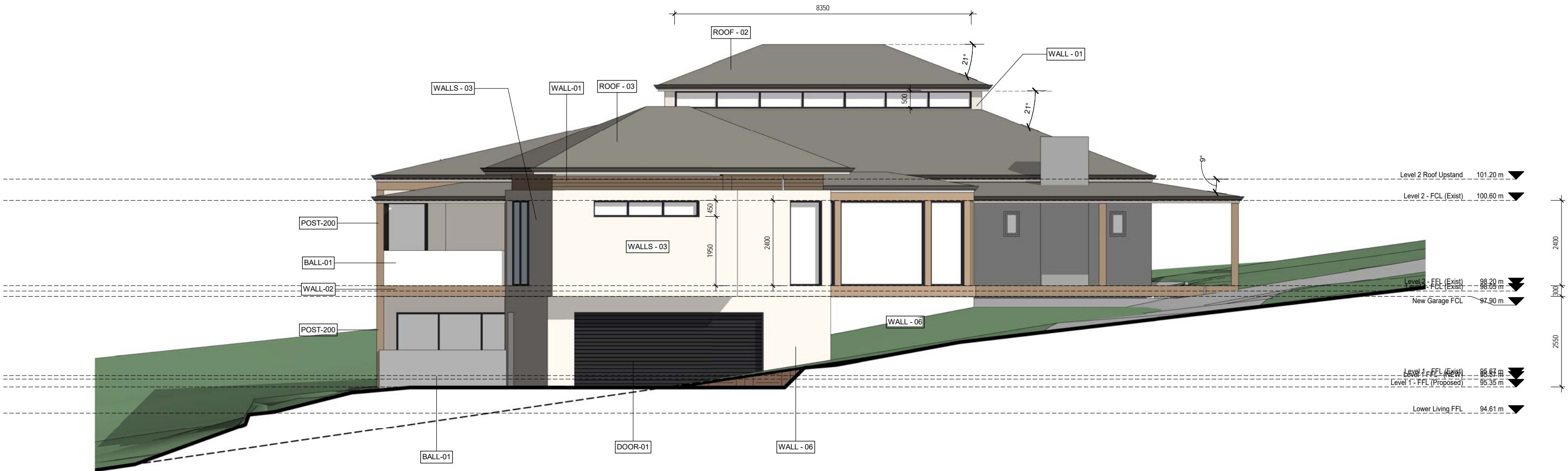
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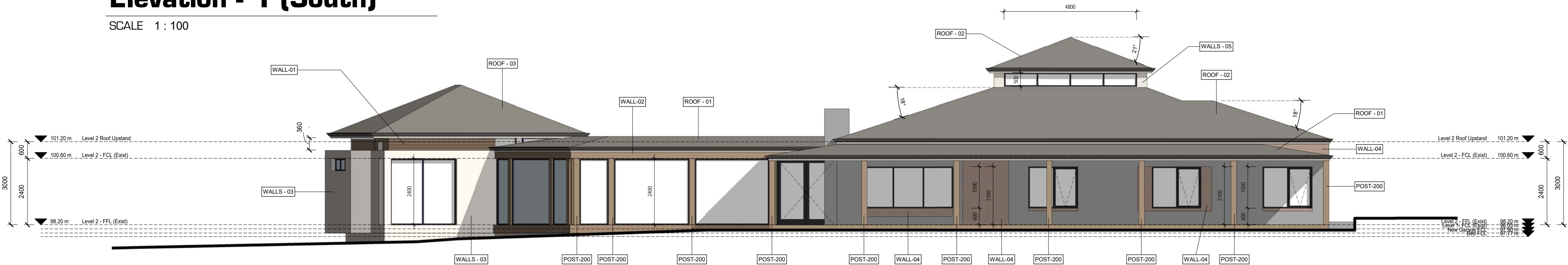
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CLIENT PROJECT:	Brennan Addition Project	DRAWN BY:	Author	SHEET NO	05
ADDRESS:	No. 125 Quamby Road, Guys Hill, Victoria 3807	DATE:	28/02/2017 2:04:58 PM	SCALE:	1 : 100

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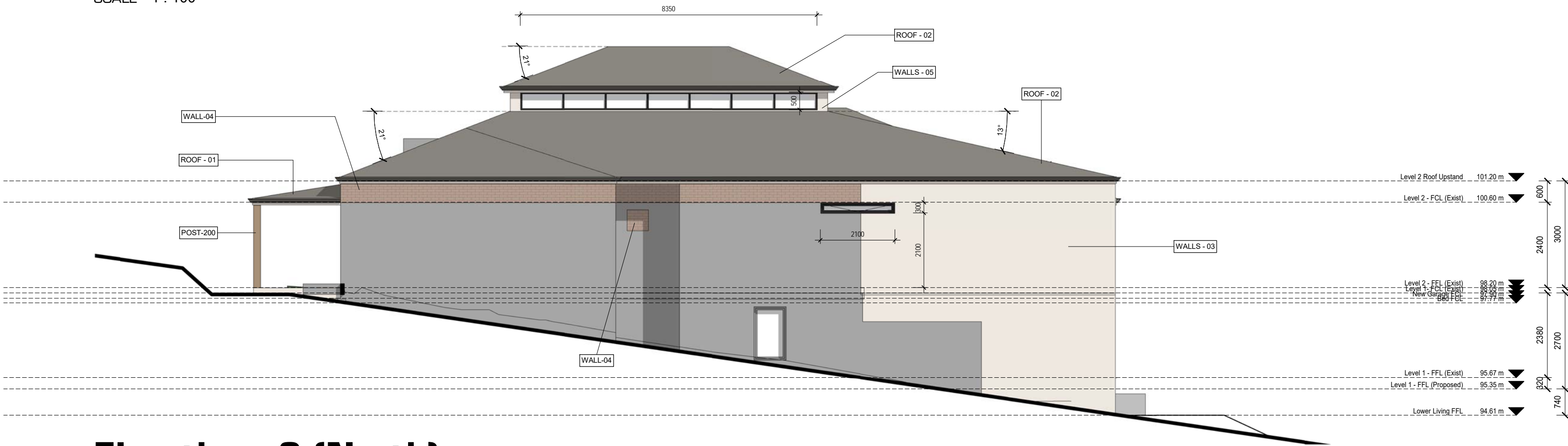
Elevation - 1 (South)

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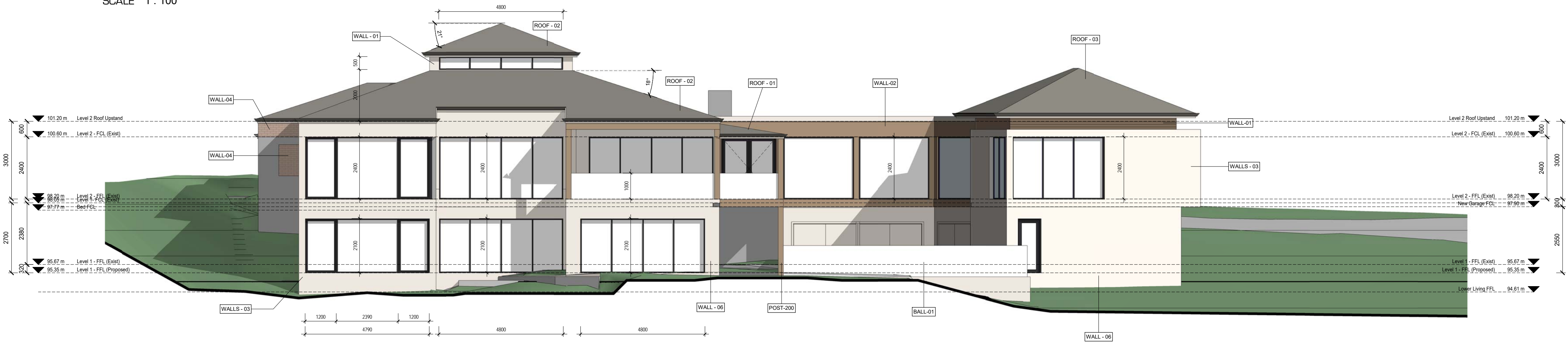
Elevation - 2 (East)

SCALE 1 : 100



Elevation - 3 (North)

SCALE 1 : 100



Elevation - 4 (West)

SCALE 1 : 100

Finishes & Colour Sched:

WALL - 01	WALLS -	Selected horizontal line board or similar installed as per manufacturers spec & BCA. Flashings to be provided as per BCA. Colour: to owners spec.
WALL - 02	WALLS -	Painted FC Sheeting installed as per BCA. Flashings to be provided as per BCA. Colour: to owners spec.
WALL - 03	WALLS -	Int'l brick veneer walls & selected render over to match 100 EPS on battens installed as per BCA. Flashings to be provided as per BCA. Colour: to match existing
WALL - 04	WALLS -	Selected face brickwork to match existing. AS3700 & BCA. Flashings to be provided as per BCA. Colour: to match existing
WALL - 05	WALLS -	Selected horizontal line board or similar installed as per manufacturers spec & BCA. Flashings to be provided as per BCA. Colour: to owners spec.
WALL - 06	WALLS -	Brick external cladding & selected render over to match as per BCA. Flashings to be provided as per BCA. Colour: as selected by owner
ROOF - 01	ROOF -	Selected New Colorbond Custom Onix roof cladding to match existing - colour to owners specification - roof pitched at 9 degrees, eave overhangs to match existing. To be confirmed on site by builder. Colour: to be selected by owner
ROOF - 02	ROOF -	Selected New Colorbond Custom Onix roof cladding to match existing - colour to owners specification - roof pitched as per elevations, eave overhangs to match existing. To be confirmed on site by builder. Colour: to be selected by owner
ROOF - 03	ROOF -	Selected New Colorbond Custom Onix roof cladding to match existing - colour to owners specification - roof pitched at 84 degrees, eave overhangs to match existing. To be confirmed on site by builder. Colour: to be selected by owner
WINDOWS -		New Aluminum Double Glazed windows. Builder to confirm sizes on site as per energy report. Refer notes. Colour - Night Sky or similar
GUTTERS -		Painted timber fascia - Colour as selected by owner. Colorbond - Colour as selected by owner
DOWNPIPES -		Colorbond - Colour as selected by owner

Plumbing Notes:

A Acceptable Construction Manual
3.5.2.0 Performance Requirement.
PS 2.1 is satisfied for gutters and downpipes if they are designed and constructed in accordance with AS3500.3 - stormwater drainage installations

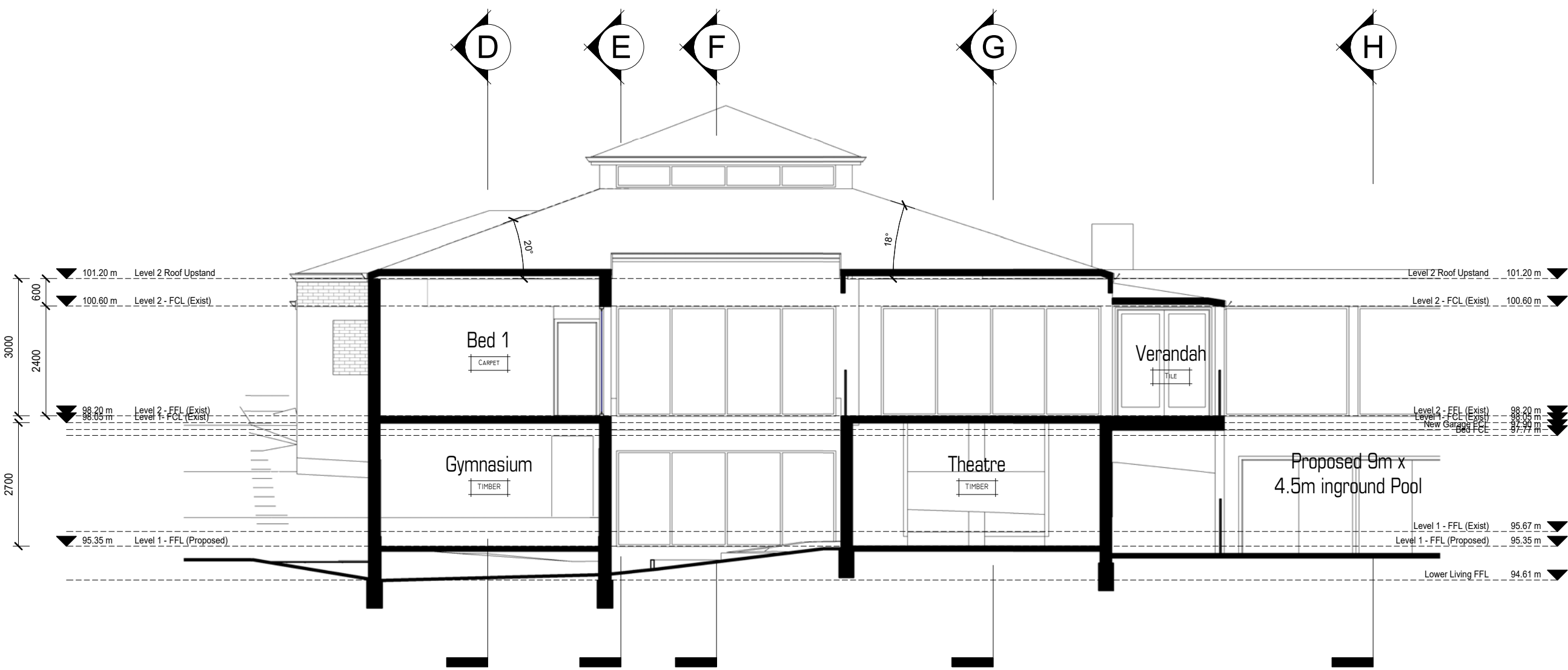
B Acceptable Construction Practice
3.5.1.2 Materials
gutters, downpipes and flashings must be manufactured in accordance with:
(a) AS1278.1 for metal; and
(b) AS1272 for u-pvc components; and
(c) Be compatible with all upstream roofing materials in accordance with 3.5.1.3(c)

3.5.2.4 Installation of Gutters
(a) gutters must be installed with a fall of not less than:
(i) 1:500 for eaves gutters, unless fixed to metal fascias; and
(ii) 1:100 for box gutters
(b) Eaves gutters must be supported by brackets securely fixed at stop ends and at not more than 1.2m centres.
(c) valley gutters on a roof pitch:
(i) more than 12.5 degrees must have a width of not less than 400mm and be wide enough to allow the roof covering to overhang not less than 150mm each side of the gutter; or
(ii) not more than 12.5 degrees must be designed as a box gutter. 3.5.2.5 downpipes - size and installation
(a) downpipes must be securely fixed to walls.
(b) the spacing between downpipes must not be more than 12m.
(c) downpipes must be fixed as close as possible to valley gutters and, if the downpipe is more than 1.2m from the valley, provision for overflow must be made.
(d) downpipes must:
(i) be compatible with other roofing materials used in the roofing system in accordance with 3.5.1.3(c)
(ii) be selected in accordance with appropriate eaves gutter section as shown in table 3.5.2.2.

Concept Design Issue: B 22 / 11 / 2016

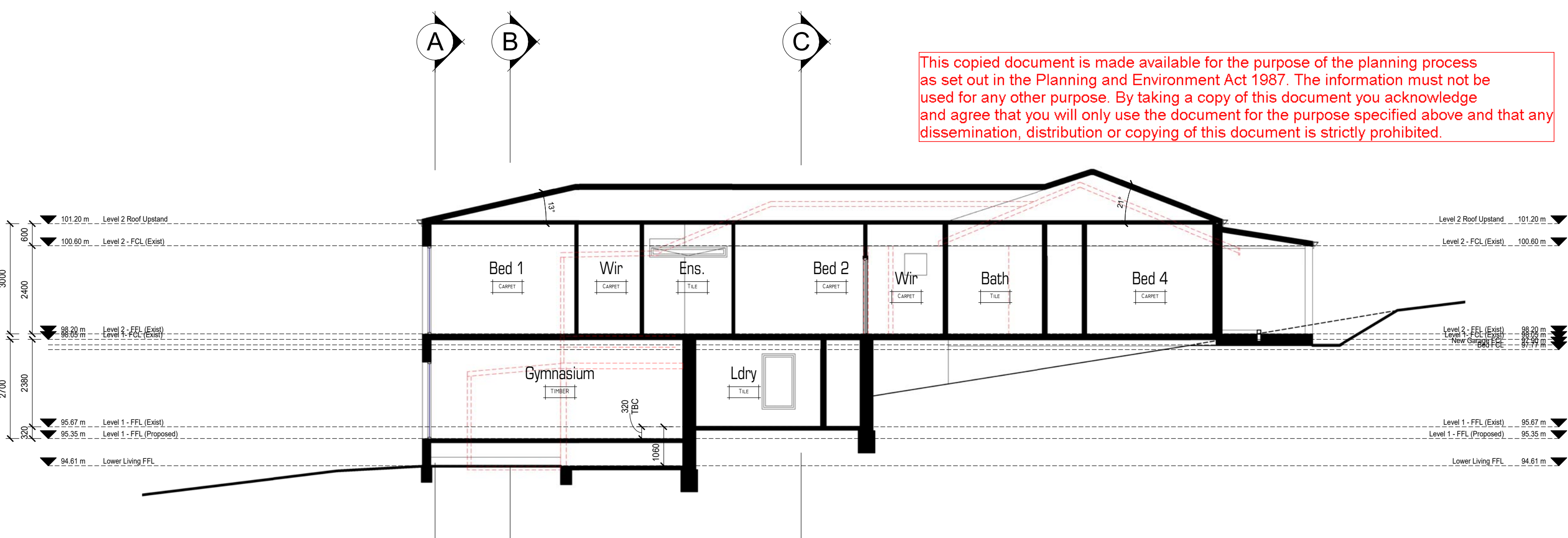
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			SIGNED BUILDER:	DAW BY: Author		CLIENT PROJECT: Brennan Addition Project	DATE: 28/02/2017 2:05:19 PM	SHEET NO: 06
			OWNER:			ADDRESS: No. 125 Quamby Road, Guys Hill, Victoria 3807	SCALE: 1 : 100	
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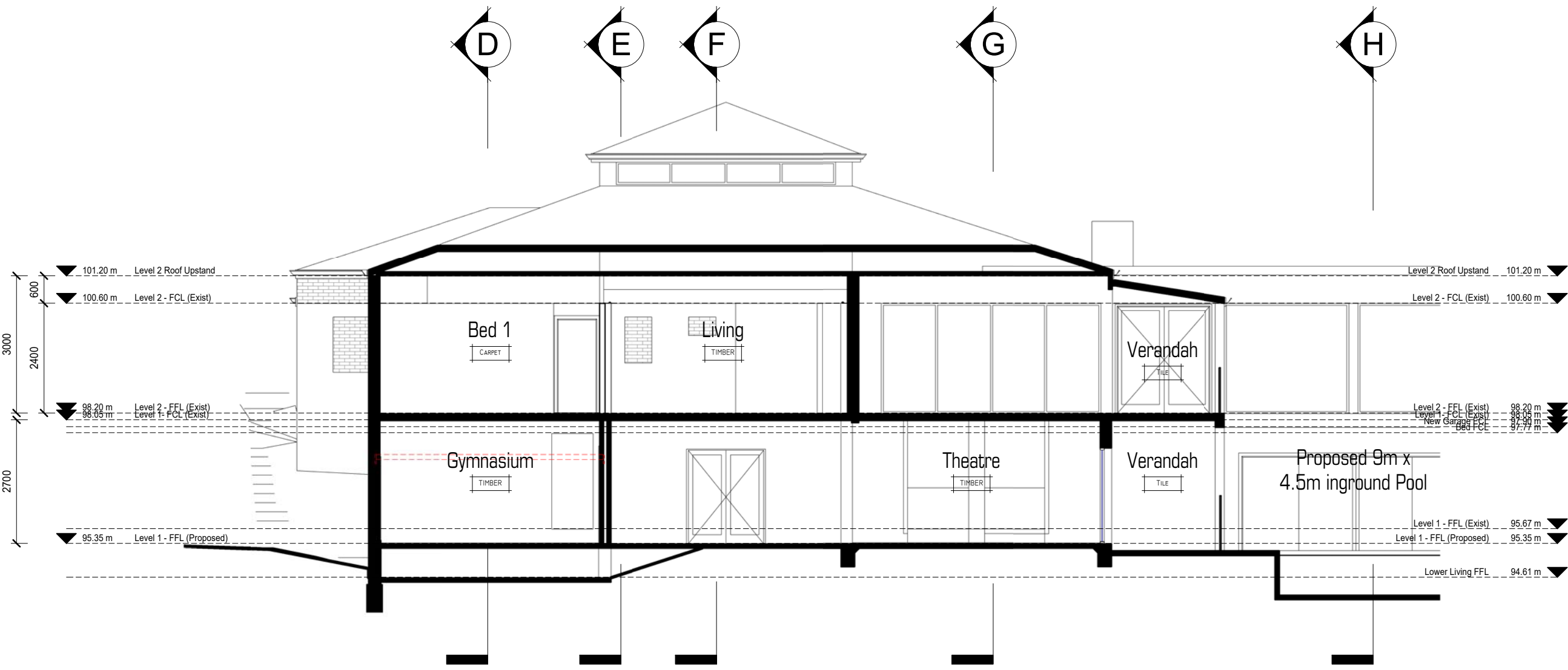
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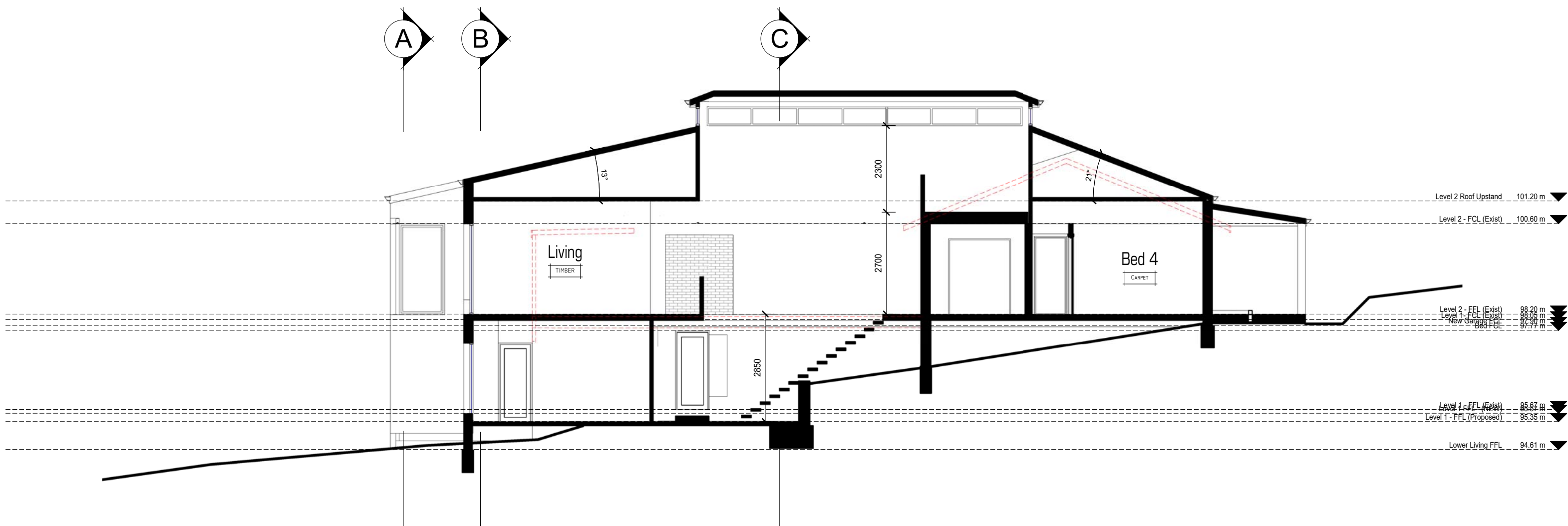
Section D

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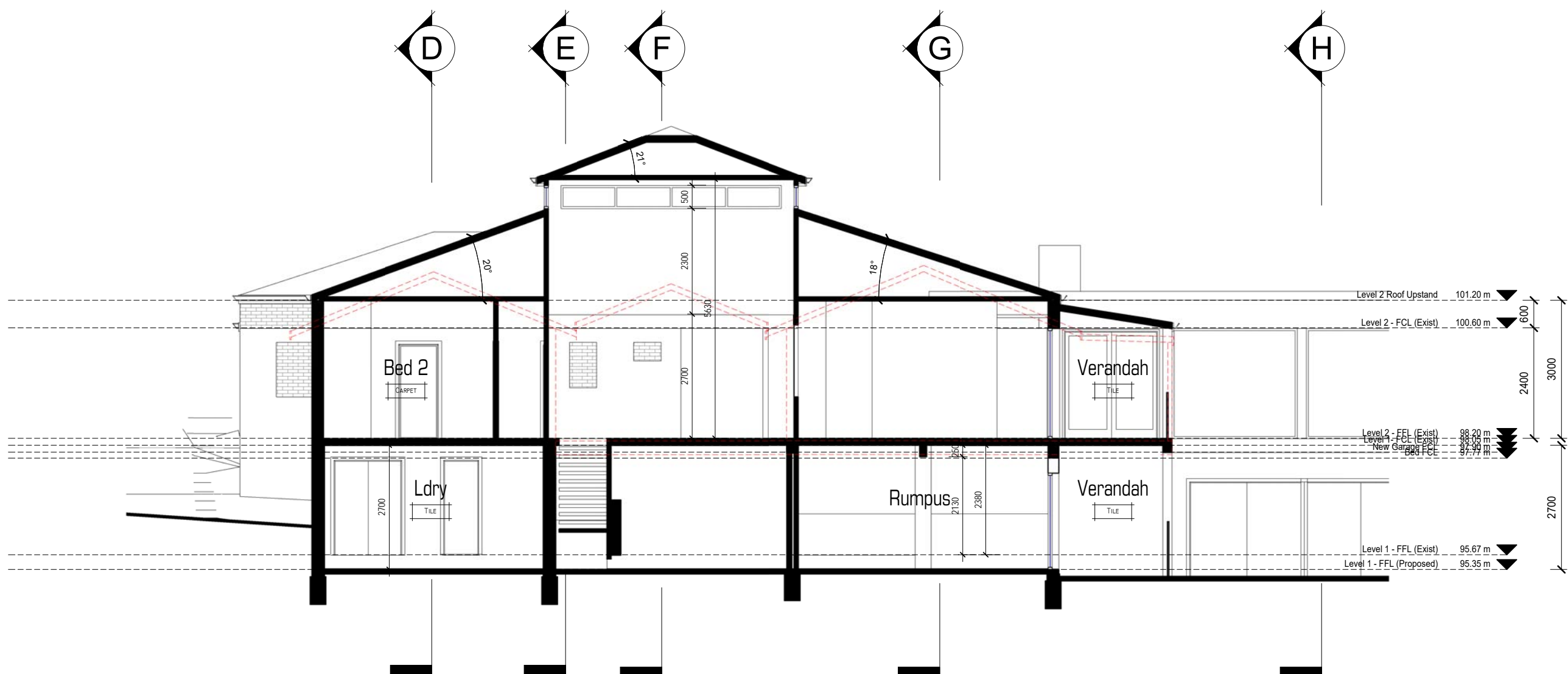
Section B

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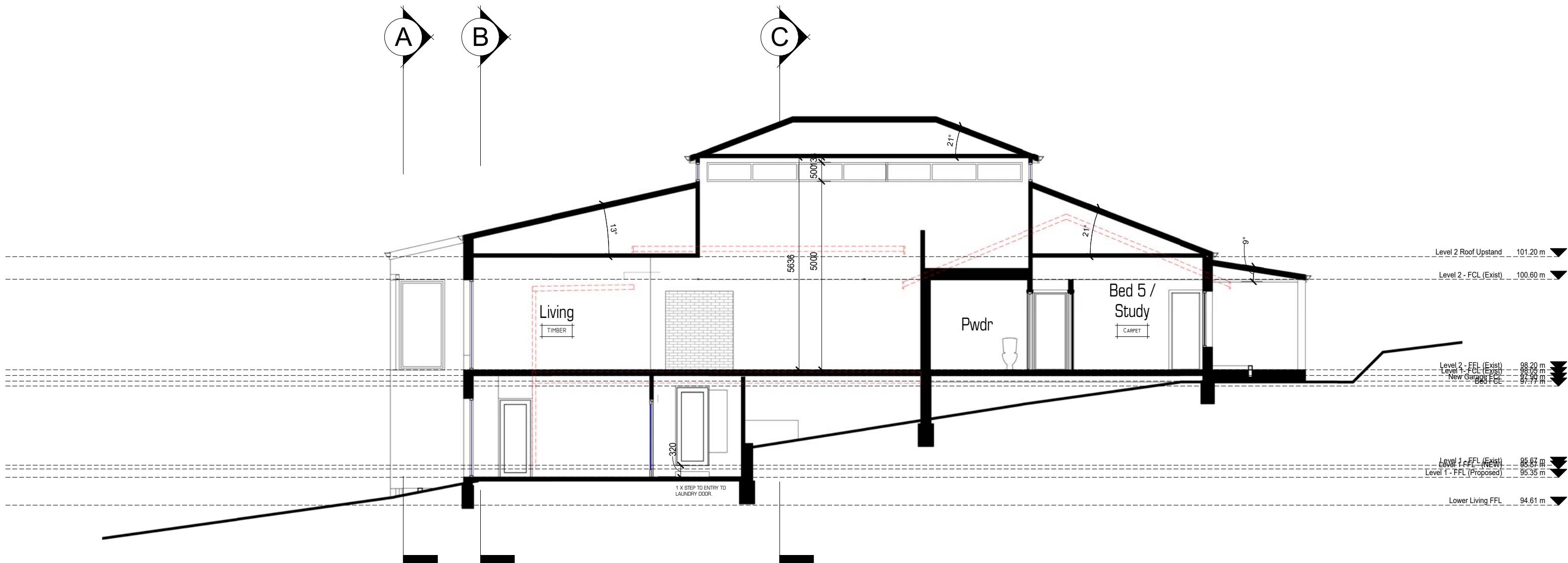
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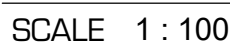
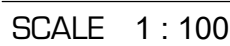
Section C

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Section F

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