

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	CA 116A Parish of Pakenham 230 Telegraph Road, Beaconsfield Upper
The application is for a permit to:	Alterations and additions to the existing dwelling and construction of an outbuilding
The applicant for the permit is:	PIM Building Design
The application reference number is:	T160741
You may look at the application and any documents that support the application at the office of the Responsible Authority:	Cardinia Shire Council 20 Siding Avenue Officer 3809 This can be done during office hours and is free of charge. Documents can also be viewed on Council's website www.cardinia.vic.gov.au .

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

- An objection must
- * be sent to the Responsible Authority in writing, at Cardinia Shire Council, PO Box 7, Pakenham, Vic, 3810 or email at mail@cardinia.vic.gov.au
 - * include the name and address of the objector/ submitter
 - * include the application number and site address
 - * include the reasons for the objection, and
 - * state how the objector would be affected.

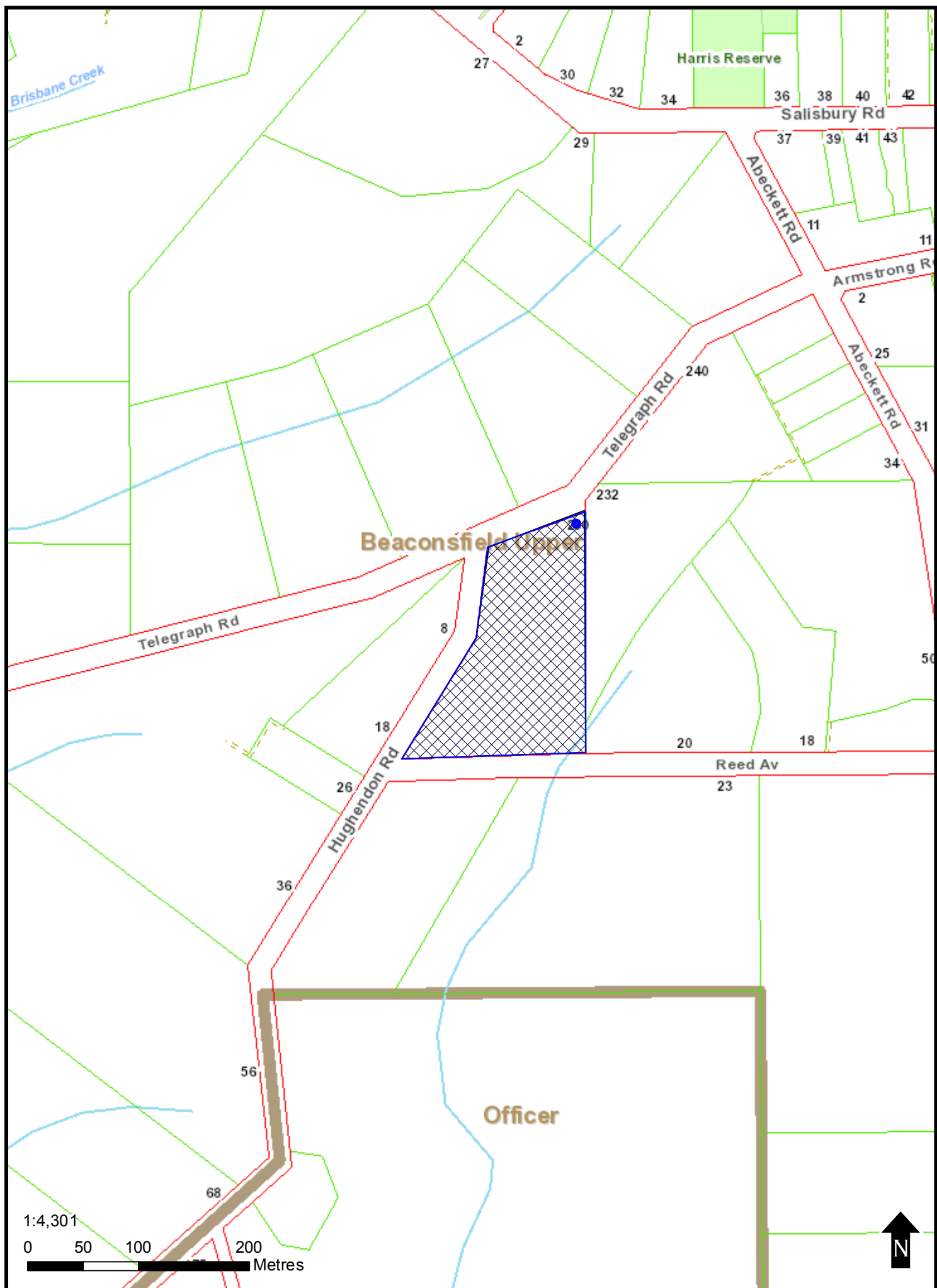
The Responsible Authority will not decide on the application before:	29 March 2017
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If you object, the Responsible Authority will advise you of its decision.

Please be aware that copies of objections/submissions received may be made available to any person for the purpose of consideration as part of the planning process.

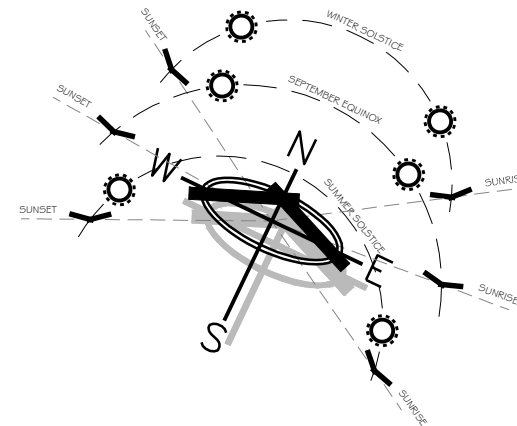
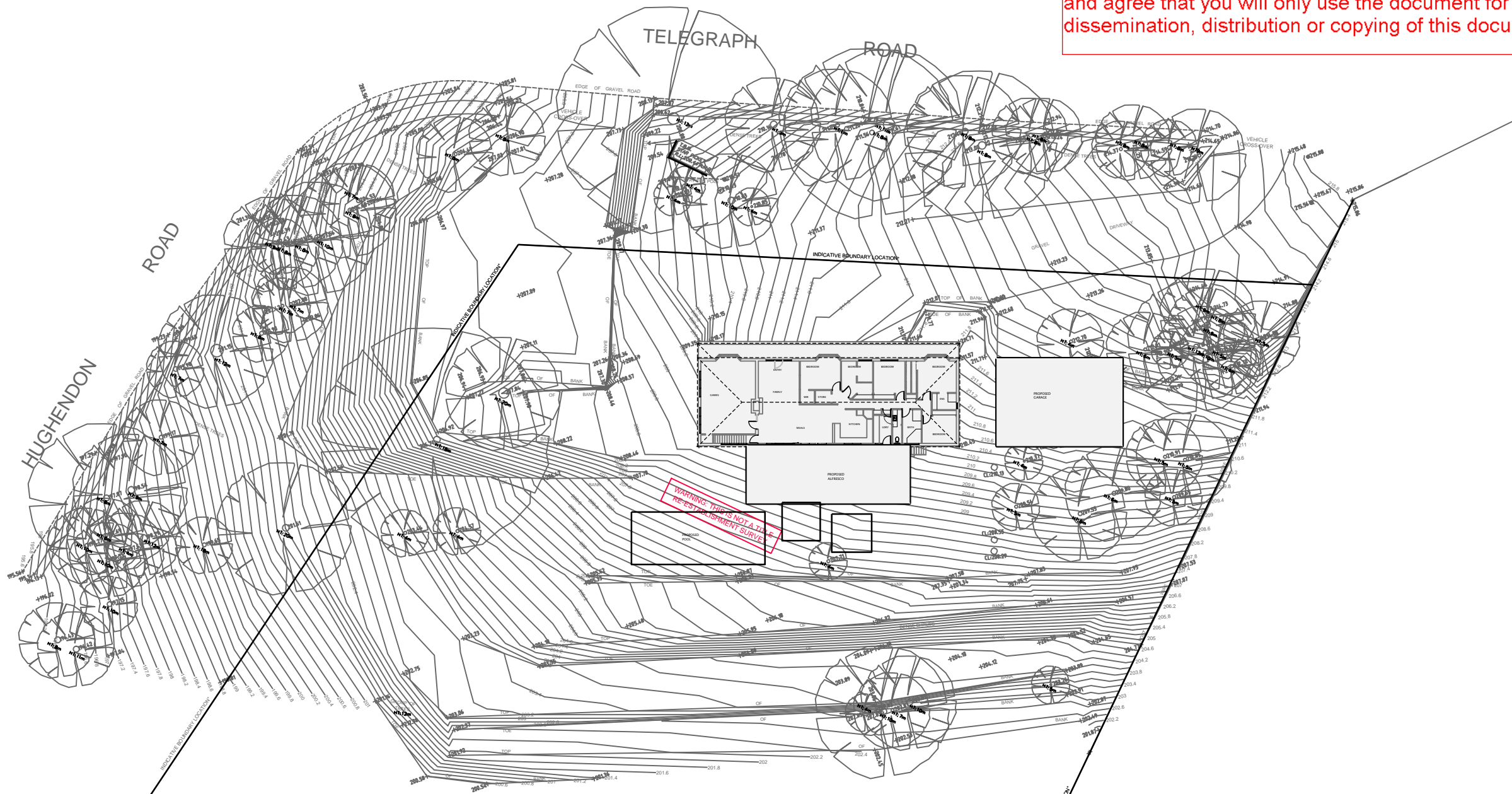
For additional information or advice contact Cardinia Shire Council, Planning Department on 1300 787 624 or mail@cardinia.vic.gov.au

Your objection/ submission and personal information is collected by Cardinia Shire Council for the purposes of the planning process as set out in the *Planning and Environment Act 1987*. If you do not provide your name and address, Council will not be able to consider your objection/ submission. Your objection/ submission will be available free of charge at the Council office for any person to inspect and copies may be made available on request to any person for the relevant period set out in the *P&E Act*. You must not submit any personal information or copyright material of third parties without their informed consent. By submitting the material, you agree that the use of the material as detailed above does not breach any third party's right to privacy and copyright.



GENERAL NOTES:

1. ALL LEVELS AND DIMENSIONS SHALL BE VERIFIED ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORKS, REPORT ALL DISCREPANCIES FOR DISCUSSION AND RESOLVE WITH OWNER;
2. ALL WORKS SHALL COMPLY WITH RELEVANT STANDARDS, THE NATIONAL CONSTRUCTION CODE, BUILDING CODE OF AUSTRALIA, THE BUILDING REGULATION AND ACT, RESCODE AND ALL OTHER RELEVANT AUTHORITY REQUIREMENTS AND REGULATIONS;
3. DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY FOR RESOLVE AND DETERMINATION;
4. DO NOT SCALE, USE WRITTEN DIMENSIONS;
5. IF IN DOUBT, ASK!
6. THESE DRAWINGS AND DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH ASSOCIATED CONSULTANTS DRAWINGS AND DETAILS AS PREPARED BY OTHERS, GROUND LINES, SITE CUT AND FILL ARE SHOWN APPROXIMATE ONLY AND ARE TO BE VERIFIED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS;
8. PROVIDE IMPERVIOUS WALL AND FLOOR COVERINGS TO ALL WET AREAS IN ACCORDANCE WITH THE RELEVANT STANDARDS APPLICABLE;
9. STORMWATER TO BE CONNECTED TO LEGAL POINT OF DISCHARGE VIA SUITABLE STORMWATER DRAINAGE SYSTEM;
10. ALL PLUMBING FIXTURES AND FITTINGS TO BE INSTALLED TO MEET LOCAL AUTHORITY REGULATIONS AND REQUIREMENTS;
11. TIMBER TO COMPLY WITH A.S. 1684 LATEST;
12. GLAZING TO COMPLY WITH A.S. 1288 LATEST;
13. FOOTINGS TO COMPLY WITH A.S 2870 LATEST;
14. CONCRETE TO COMPLY WITH A.S. 3600 LATEST;
15. BRICKWORK TO COMPLY WITH A.S. 3700 LATEST;
16. PROVIDE SUB FLOOR VENTILATION TO MEET REQUIREMENTS OF THE NCC AND LOCAL PROVISIONS;
17. PROVIDE WALL AND CEILING INSULATION TO MEET THE REQUIREMENTS OF THE ENERGY RATING REPORT;
18. SMOKE DETECTORS TO BE PROVIDED IN ACCORDANCE WITH BCA AND A.S. 3786 REQUIREMENTS. PROVIDE DIRECT WIRED WITH BATTERY BACK UP AND TO BE INTERCONNECTED;
19. BALUSTRADE AND HANDRAILS TO BE PROVIDED TO MEET BCA REQUIREMENTS. HANDRAILS TO BE MIN 1000 ABOVE FLOOR LEVEL, 865 ABOVE STAIR NOSING, MAX. 125mm CAPS TO BALUSTRADE;
20. BALUSTRADE TO COMPLY WITH BCA AND A.S1170.1 AND A.S.1288 FOR GLASS TYPE;
21. PROVIDE STEPS: MIN 250 TREADS, MAX 190 RISERS;
22. A MAXIMUM OF 18 TREADS TO A SINGLE STAIR FLIGHT;
23. LANDINGS WERE PROVIDED TO BE A MINIMUM OF 750mm IN LENGTH;
24. INTERNAL TREADS TO HAVE EITHER P3 OR R10 SLIP RESISTANT FINISH TO TREADS;
25. EXTERNAL TREADS TO HAVE P4 OR R11 SLIP RESISTANT TYPE FINISH APPLIED;
26. PROVIDE OPENS PERPS(WEEPHOLES) AT MAX. 1200ctrs TO BRICKWORK LOCATED AT SLAB LEVEL;
27. PROVIDE CAVITY FLASHING AND OPEN PERPS(WEEPHOLES) OVER ALL EXPOSED OPENINGS AS APPLICABLE, AT 1200ctrs;
28. PROVIDE TEMPORARY FENCES, TOILET AND RUBBISH BIN TO MEET LOCAL AUTHORITY BUILDING AND PLANNING REGULATIONS;
29. PIM BUILDING DESIGN ACCEPT NO RESPONSIBILITY FOR ANY ERRORS OCCURRED DUE TO THE MISINFORMATION PROVIDED BY OTHERS OR AS A FAILURE TO CHECK THE ACCURACY AND ADEQUACY OF THESE PLANS AND DETAILS PRIOR TO THE COMMENCEMENT OF WORKS OR IN THE PREPARATION OF SHOP DRAWINGS WITHOUT FIRST NOTIFYING PIM BUILDING DESIGN OF DISCREPANCIES FOR RESOLVE;
30. ALL ROOF AND WALL JUNCTIONS ARE TO BE FLASHED TO MEET AUTHORITY REQUIREMENTS AND REGULATIONS, BUILDER AND PLUMBER IS RESPONSIBLE FOR ENSURING DETAILS APPLIED COMPLY AND OR ARE MODIFIED TO MEET THE REQUIREMENTS AND ENSURE THE DWELLING IS WATER TIGHT, ENSURE BOX GUTTERS ARE OF ADEQUATE SIZE AND HAVE THE REQUIRED MINIMUM FALLS TO AUTHORITY AND REGULATION REQUIREMENTS;
31. THESE PLANS ARE SUBJECT TO COPYRIGHT AND ARE NOT TO BE AMENDED AND OR REPRODUCED WITHOUT CONSENT OF PIM BUILDING DESIGN.
32. ARTIFICIAL LIGHTING TO COMPLY WITH BCA PART 3.12.5.5, LIGHTING NOT TO EXCEED SWATTS PER SQM TO DWELLING, 4 WATTS PER SQM ALFRESCO.
33. SITE CLASSIFICATION-



SITE PLAN

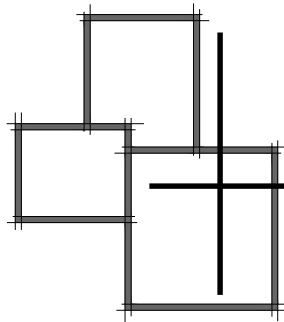
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REGISTERED BUILDING PRACTITIONER:
PETER MARTINE DP-AD1971

THESE PLANS AND DETAILS ARE SUBJECT TO COPYRIGHT OF PIM BUILDING DESIGN AND ARE NOT TO BE REPRODUCED WITHOUT WRITTEN PERMISSION OF PIM BUILDING DESIGN.



PIM Building Design

PO Box 8139
CARRUM DOWNS VIC 3201
PH: 9580 3436
pimbuildingdesign@sandarra.net.au

Project:

Proposed alterations and additions to existing dwelling

At:

230 Telegraph Road
Beaconsfield Upper

For: B. Fredericks & S. Foster

Drawing title:

Site Plan

Design: p.m.

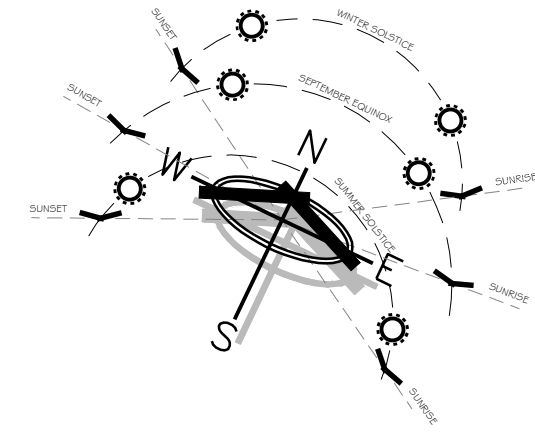
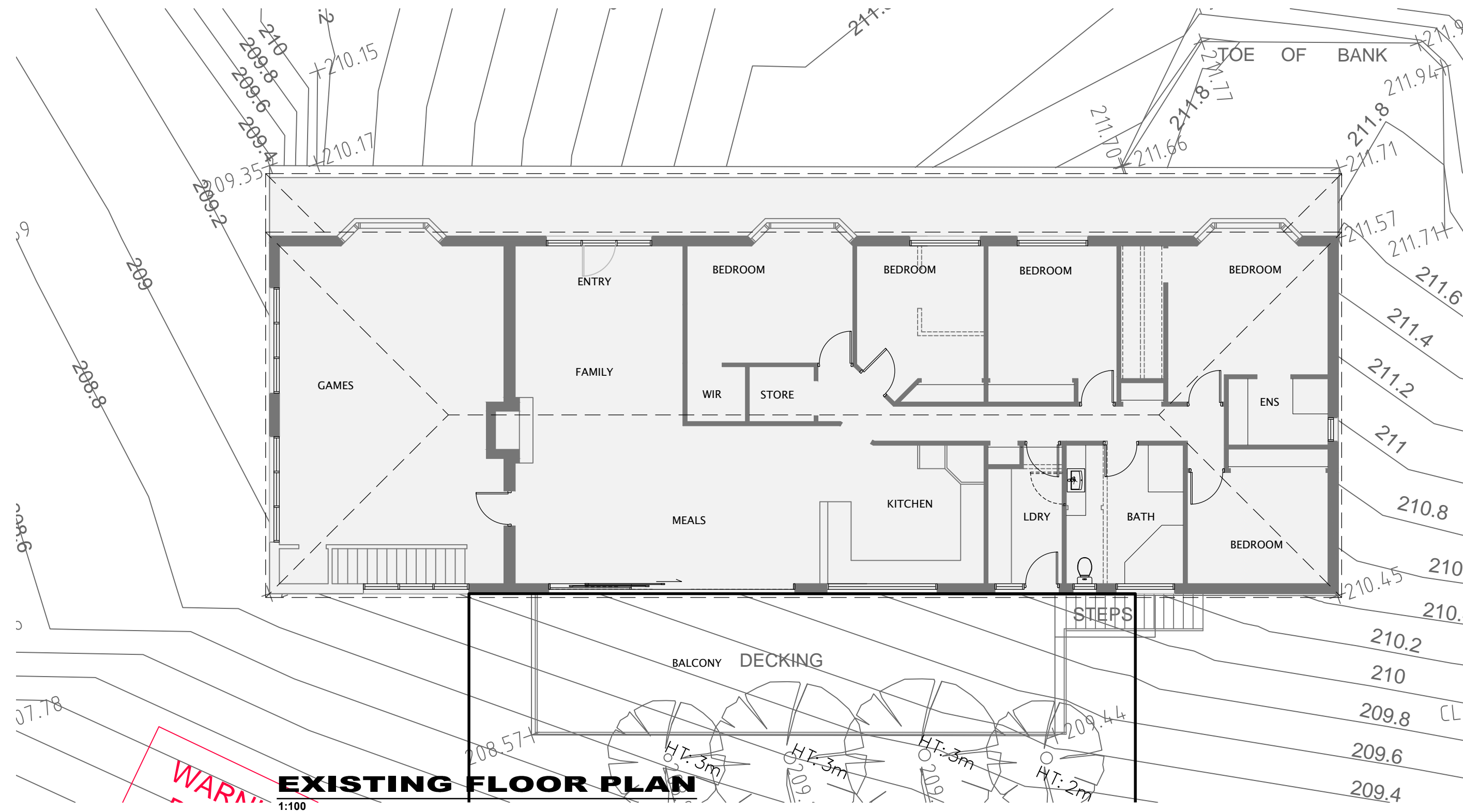
Date: Sept 2016

Scale: as shown

Drawn: p.m.

Sheet: A01 - 9

Issue: planning A



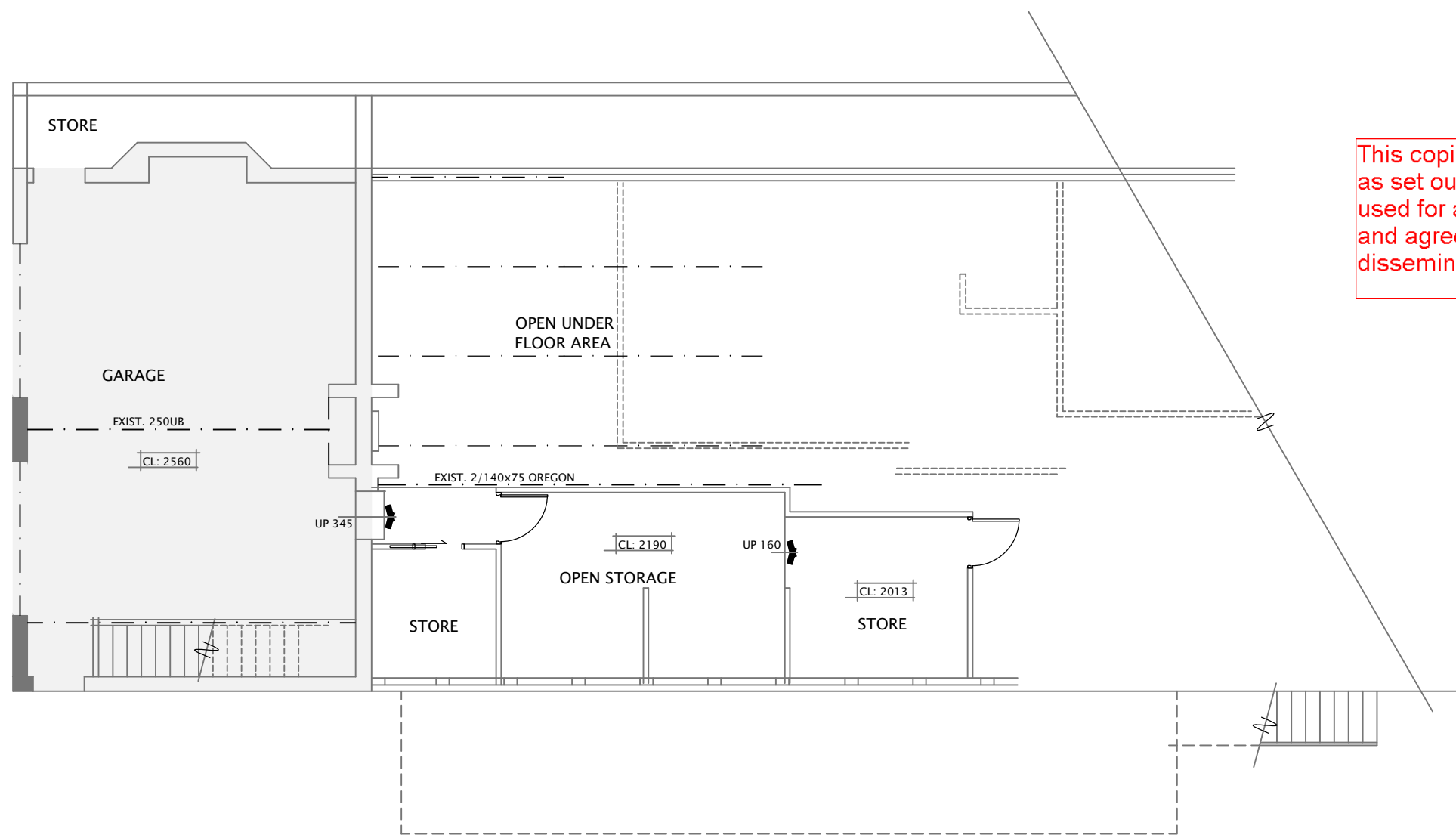
STRUCTURAL ENGINEER:
DSL CONSULTING PTY LTD
1st FLOOR, 659 HIGH STREET, KEW EAST 3102
PH: 9859 1611 JOB No: 41 - 16

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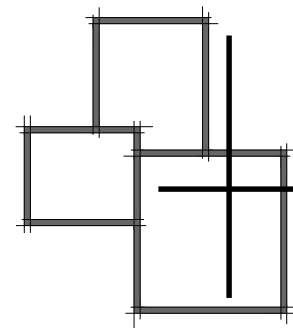
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PH: 9580 3436
pimbuidingdesign@sandarra.net.au

Project:
Proposed alterations and additions to existing dwelling

At:
230 Telegraph Road
Beaconsfield Upper

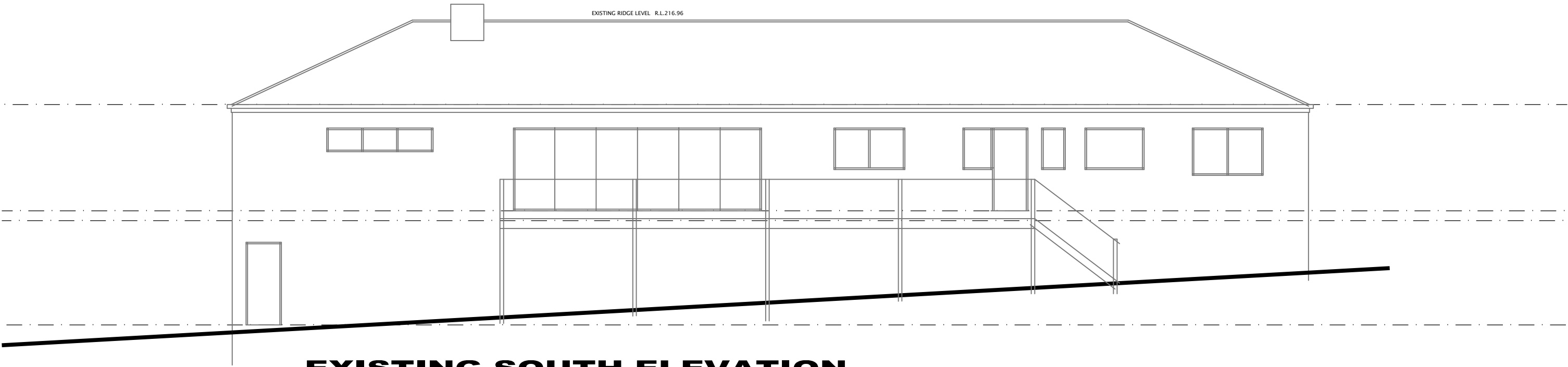
For: B. Fredericks & S. Foster

Drawing title:
Existing Floor Plan

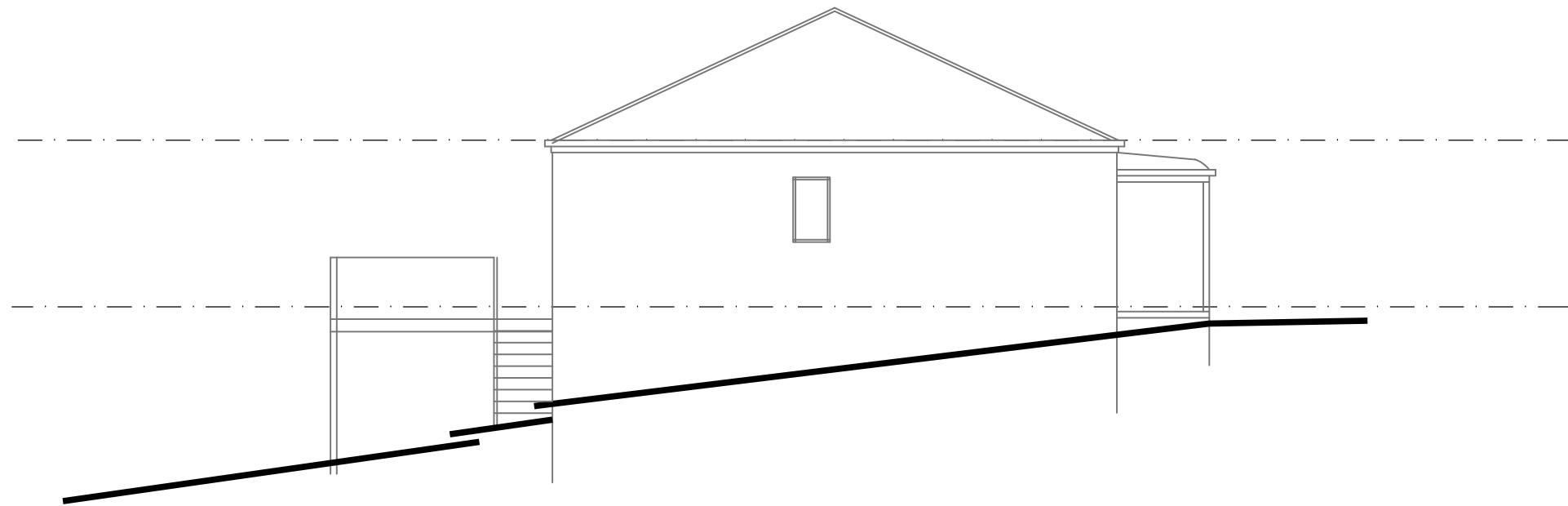
EXISTING BASEMENT FLOOR PLAN

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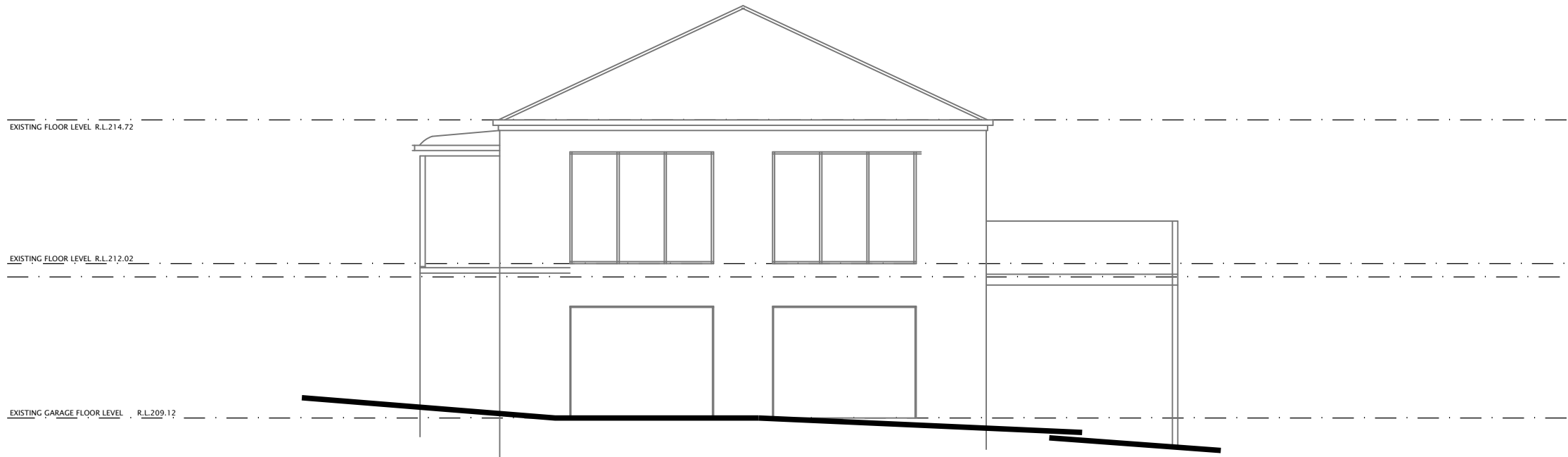
Design: p.m. Drawn: p.m.
Date: July 2016 Sheet: A02 - 9
Scale: as shown Issue: planning



EXISTING SOUTH ELEVATION
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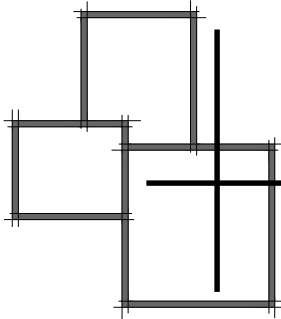


EXISTING EAST ELEVATION
1:100



EXISTING WEST ELEVATION
1:100

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PIM Building Design

PO Box 8139
CARRUM DOWNS VIC 3201
PH: 9580 3436
pimbuildingdesign@sandarra.net.au

Project:

**Proposed alterations and
additions to existing dwelling**

At:

**230 Telegraph Road
Beaconsfield Upper**

For: B. Fredericks & S. Foster

Drawing title:

Existing Elevations

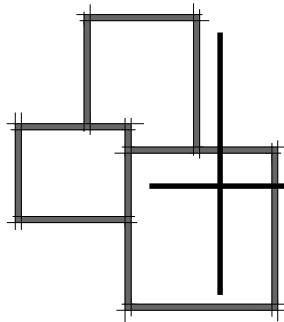
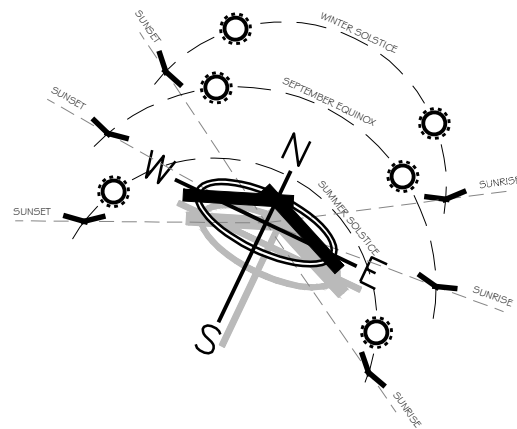
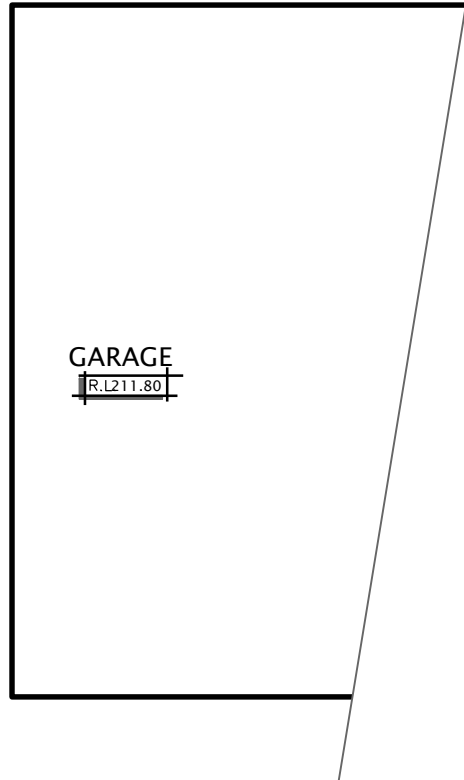
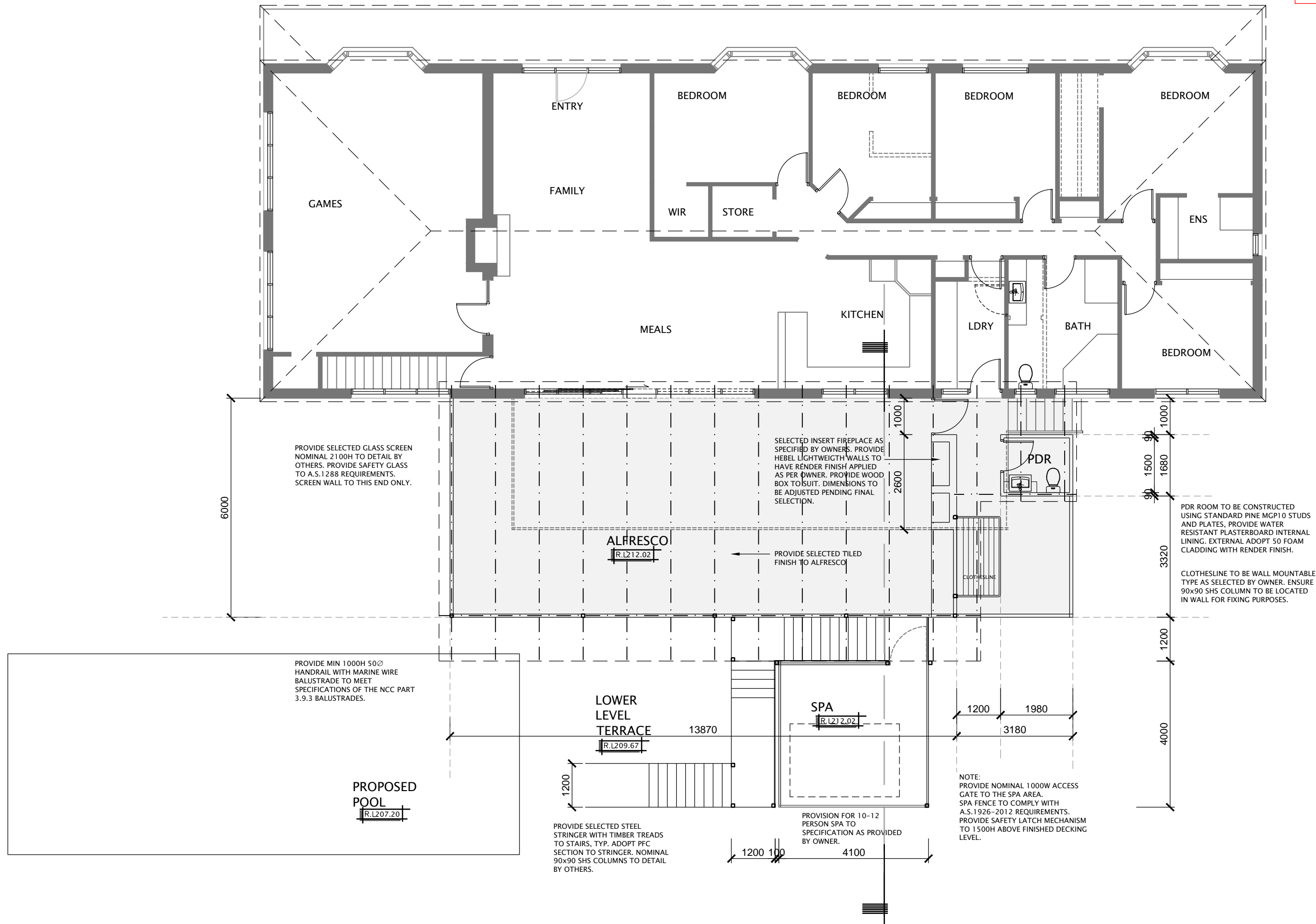
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Design: p.m. **Drawn: p.m.**
Date: July 2016 **Sheet: A03 - 9**
Scale: as shown **Issue: planning**



PIM Building Design

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PH: 9580 3436
pimbuildingdesign@sandarra.net.au

Project:

Proposed alterations and additions to existing dwelling

At:

**230 Telegraph Road
Beaconsfield Upper**

For: B. Fredericks & S. Foster

Drawing title:

Proposed Floor Plan

Design: p.m. **Drawn: p.m.**
Date: July 2016 **Sheet: A04 - 9**
Scale: as shown **Issue: planning A**

SITE STATISTICS		
	SIZE (m ²)	SIZE (squares)
SITE	20936	
EXISTING RESIDENCE		
GARAGE	57.46	6.2
GROUND FLOOR	253.24	27.3
VERANDAH	37.81	4.1
DECKING	48.88	5.3
TOTAL (INCLUDING GARAGE)	397.4	42.8
SITE COVERAGE (BUILDING ONLY)	1.6%	
PROPOSED		
ALFRESCO	100.53	10.8
SPA	16.19	1.7
TOTAL	116.7	12.6
NETT INCREASE TO ALFRESCO	51.7	
SITE COVERAGE (BUILDING ONLY)	1.9%	

PROPOSED FLOOR PLAN

1:100

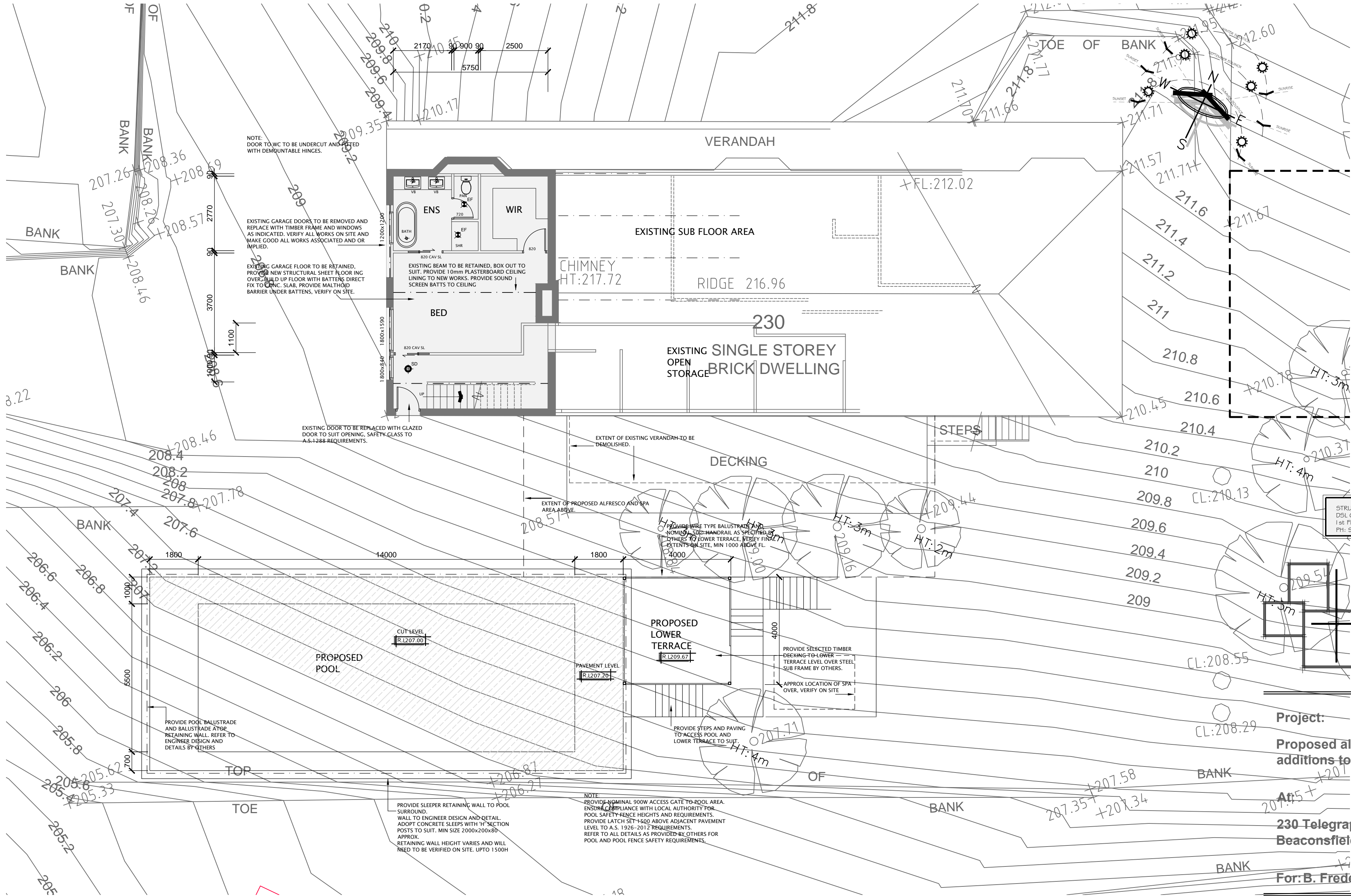
STRUCTURAL ENGINEER:
DSL CONSULTING PTY LTD
1st FLOOR, 659 HIGH STREET, KEW EAST 3102
PH: 9859 1611 JOB No: 41 - 16

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1st FLOOR, 659 HIGH STREET, KEW EAST 3102
PH: 9859 1611 JOB No: 41 - 16

PIM Building Design

PO Box 8139
CARRUM DOWNS VIC 3201
PH: 9580 3436
pimbuildingdesign@sandarra.net.au

Project:
Proposed alterations and
additions to existing dwelling

230 Telegraph Road
Beaconsfield Upper

For: B. Fredericks & S. Foster

Drawing title:
Proposed Basement

Design: p.m. Drawn: p.m.
Date: July 2016 Sheet: A05 - 9
Scale: as shown Issue: planning A

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PROPOSED BASEMENT FLOOR PLAN

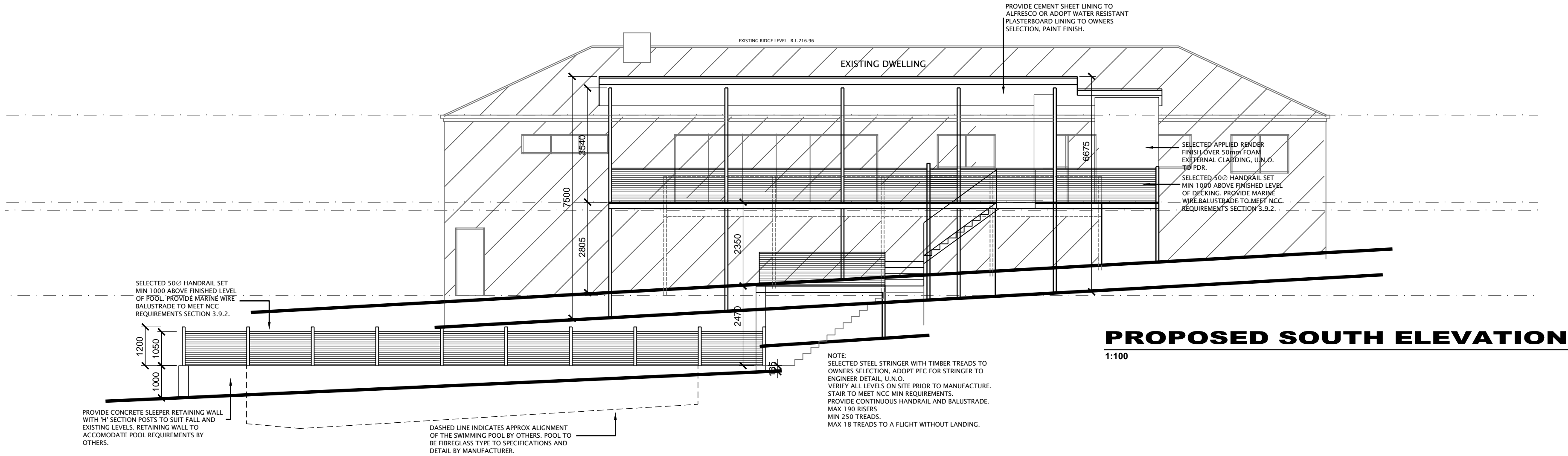
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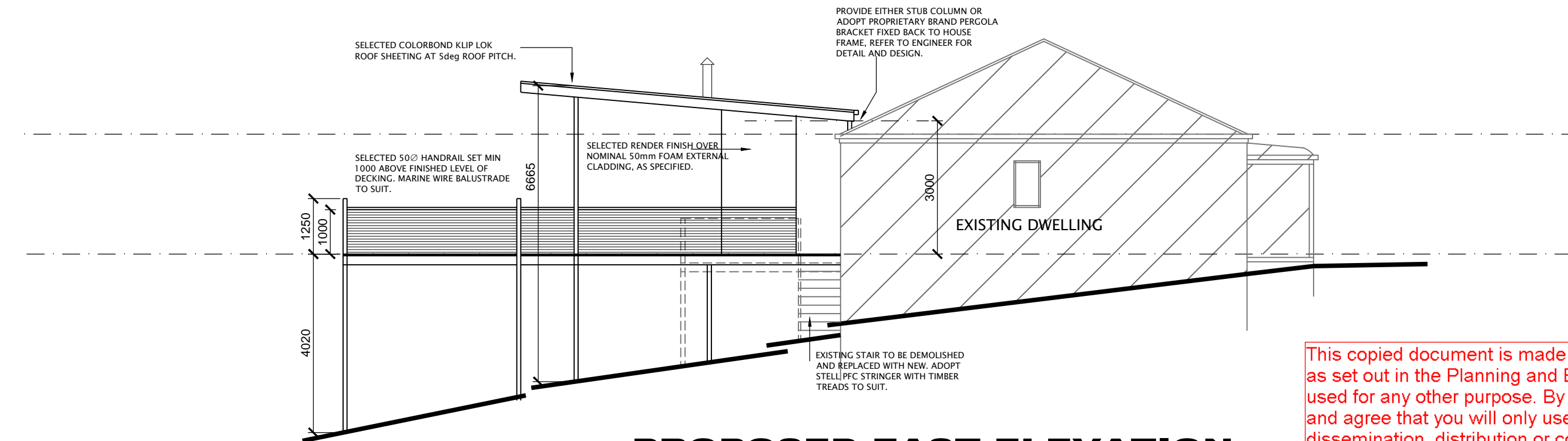
REGISTERED BUILDING PRACTITIONER:
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PROPOSED SOUTH ELEVATION

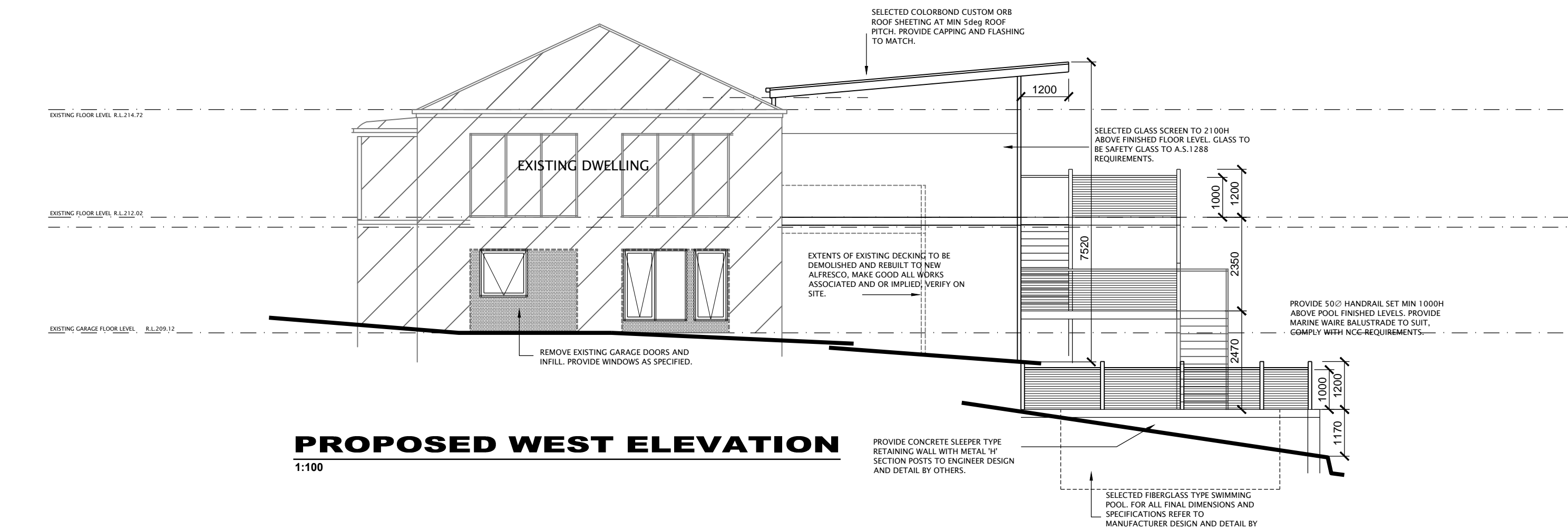
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PROPOSED EAST ELEVATION

1:100

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PROPOSED WEST ELEVATION

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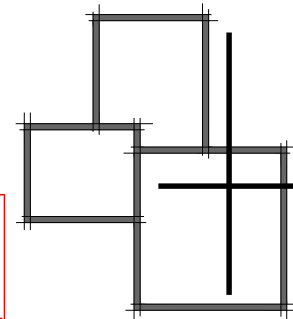
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STRUCTURAL ENGINEER:
DSL CONSULTING PTY LTD
1st FLOOR, 659 HIGH STREET, KEW EAST 3102
PH: 9859 1611 JOB No: 41 - 16

REGISTERED BUILDING PRACTITIONER:
PETER MARTINE DF-AD1971

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PIM Building Design

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PH: 9580 3436
pimbuildingdesign@sandarra.net.au

Project:

Proposed alterations and
additions to existing dwelling

At:

230 Telegraph Road
Beaconsfield Upper

For: B. Fredericks & S. Foster

Drawing title:

Proposed Elevations

Design: p.m.

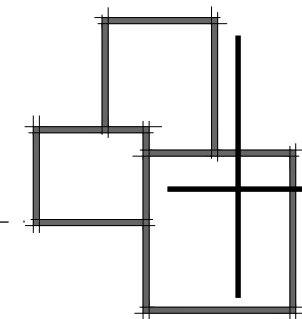
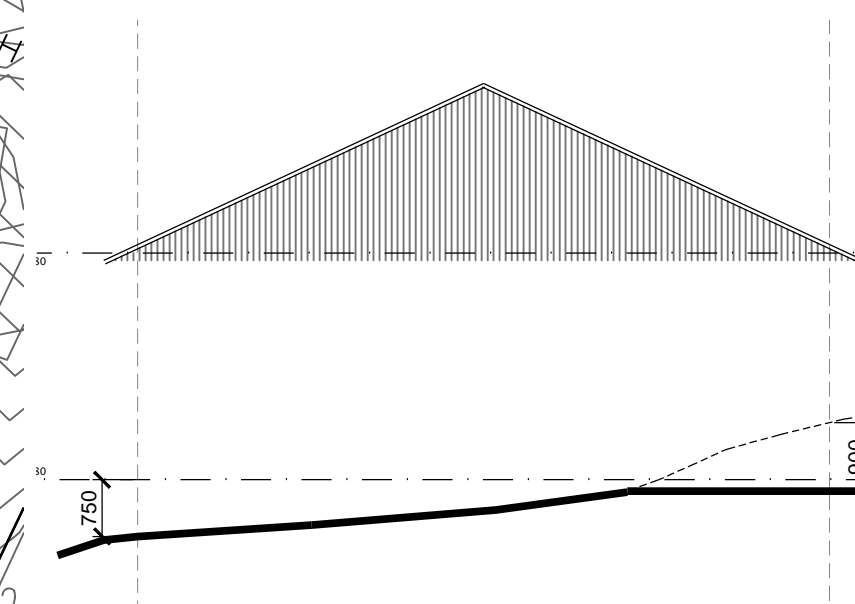
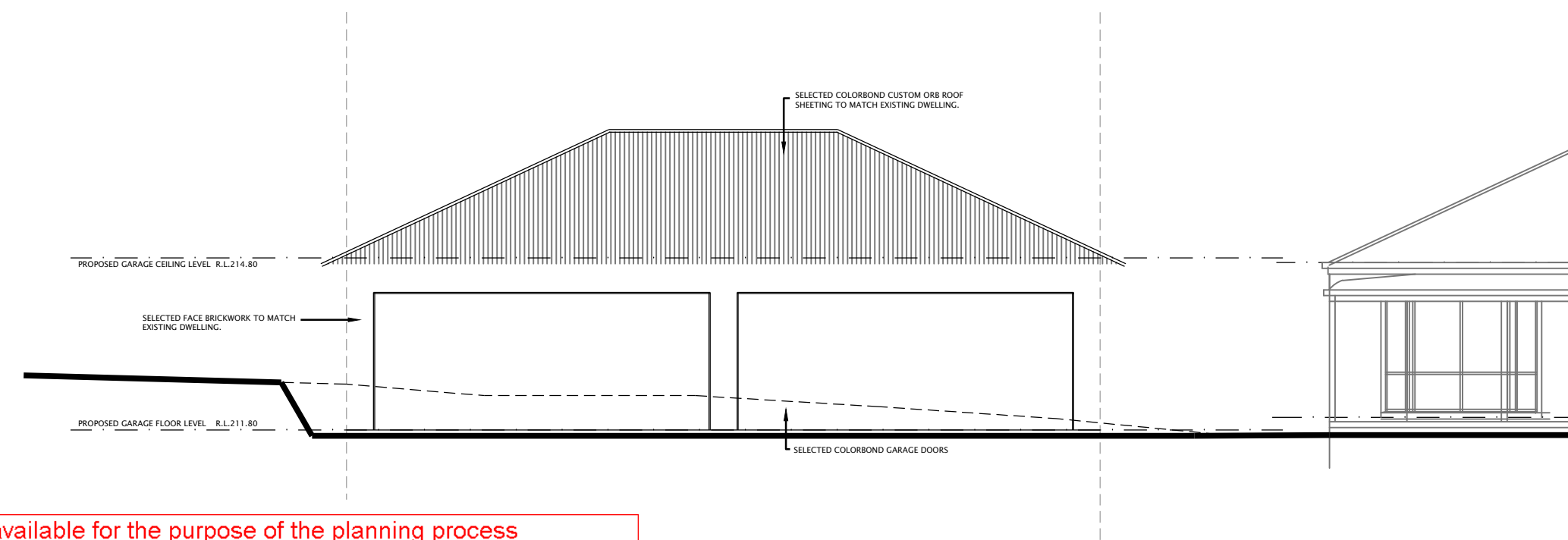
Drawn: p.m.

Date: July 2016

Sheet: A06 - 9

Scale: as shown

Issue: planning



PO Box 8139
CARRUM DOWNS VIC 3201
PH: 9580 3436
pimbuildingdesign@sandarra.net.au

At:
230 Telegraph Road
Beaconsfield Upper

Drawing title:

Proposed Garage plan and elevations

Design: p.m.	Drawn: p.m.
Date: July 2016	Sheet: A09 - 9
Scale: as shown	Issue: planning A

Specifications

Subgrade preparation

Site preparation to be carried out in accordance with best horticultural practice and under suitable conditions. Disturbance to indigenous soil structure is to be minimised. The use of machinery that may damage soil structure or profile is not acceptable. Sub-grade to all lawn and planted areas is to be cultivated to a minimum depth of 150mm and shaped to achieve drainage falls prior to topsoiling. Subgrade to be tested prior to preparation and conditioning to determine pH, salinity and gypsum requirement. Any gypsum required is to be distributed at the manufacturers recommended rate and cultivated into the sub-grade at a minimum depth of 150mm. Proposed topping areas to be graded / drained to prevent water discharge into neighbouring properties

Weed control

Remove and dispose of environmental weeds off site prior to subgrade preparation, topsoiling and planting works

Soil Preparation

Topsoil is to be spread in maximum 150mm layers, lightly compacted by use of a 150 - 200kg roller, or by thorough walking until it accords with finished kerb levels or to within 75mm below edging levels to accommodate mulch. Imported topsoil for garden beds is to be medium texture general purpose garden soil and lightly compacted to minimum 300mm depth to garden beds. Soil is to comply with s.a.s. 2223-1975, and as follows:

- free from perennial weeds and their roots, bulbs and rhizomes
- free from building rubble and any other matter deleterious to plant growth
- pH to be 6.0 - 7.0
- texture to be light to medium friable loam
- free from silt material

Imported topsoil for lawn rejuvenation / establishment shall have the above characteristics, but shall be a free draining sandy loam lightly compacted to minimum 100mm depth

Mulch

The specified mulch for garden beds is to be an aged organic material with 60 - 80 percent of its volume being wood chips particles in a size range of 25 - 50 mm maximum. Mulch is to be spread at a consolidated depth of 75mm

Planting Procedure

If soil to planting hole is dry - fill with water and allow to drain completely. Tree roots are to be teased outwards if matted or circling occurs prior to backfilling. Place tree in centre of hole on firm soil to prevent sinking, ensuring top of the rootball is flush with the surrounding soil surface and the trunk is vertical. Backfill material is to be in a loose, friable state, with no bricks, rocks or foreign material - if sufficient material is not available form the original hole to backfill, a similar soil type must be sourced and used. Soil material must be firmly backfilled in layers to prevent large air pockets from occurring, then thoroughly watered in. Trees to be staked with two 2250mm x 70mm hardwood stakes driven firmly into the ground - stakes must not be placed through the rootball area. Trees are to be secured to each stake with a strong, soft and flexible material, tight enough to support the tree in windy conditions - yet loose enough to stimulate development of a good supportive root system. Tree tie material must not injure tree bark or restrict trunk growth for a minimum period of three years. Slow release fertiliser (3/6 month formulation) such as 'Osmocote' is to be applied to the top of the rootball area away from the trunk / stem to manufacturers specifications and watered in immediately. All trees to be mulched to a diameter of 1200mm wide and to a depth of 100mm but must not be in contact with the tree trunk. Mulch is to be an aged organic material with 60 - 80 percent of its volume being wood chip particles in a size range of 25 - 50mm maximum. Mulch is to be spread at a consolidated depth of 75mm. The planting hole surface is to be shaped to minimise waterlogging/excessive water retention but retain the mulch material neatly. The site must be left in a clean and safe condition

Plant Establishment Period

The landscape is to be maintained by applying best horticultural practice to promote healthy plant performance for a 13 week establishment period following the approval of Practical Completion by the responsible authority including (but not limited to) the following tasks - Pruning as necessary to maintain plants in a healthy and structurally sound manner, pest and diseases - vegetation to be pest and disease free, mulching, staking and tying - 75mm mulch depth to be

maintained around tree bases throughout maintenance period, watering - as often as necessary to ensure healthy and vigorous growth in accordance with current local watering regulations, weeding - maintained in a weed free state over the entire mulch area by spraying or mechanical mean, fertilising - 3/6 x monthly slow release fertiliser in accordance with manufacturers recommended application rates, replacement of deceased, stolen or vandalised plants beyond repair or regrowth with the same species as specified in the plant schedule within the assigned maintenance period

Irrigation

An in-ground automatic drip irrigation system to be installed to all garden areas and planter boxes (if applicable) in accordance with current local watering regulations

Timber Edging

Timber edging to be 75mm x 25mm treated pine secured to 300mm long treated pine stakes at nom. min 1000mm spacings with galvanised screws and installed to all junctions between garden beds, lawn and topping / pebble areas

Drainage

Landscape and / or building contractor(s) are responsible for civil and hydraulic computations for landscape building works including, but not limited to surface and sub surface drainage for all landscape areas prior to commencement of works

General

White care has been taken to select tree species with non-invasive root systems it is recommended that root control barriers be installed for any trees located within two metres of any building lines.

Climbing plants (if applicable) are to be trained to supportive mesh, wire or lattice fixed over entire fence section from base to top

Do not scale from plan - contractor to verify all dimensions on site prior to commencing construction

Plants - Quality of Trees and Shrubs

Trees and shrubs shall be healthy nursery stock free from insects, diseases and weeds. The specified plant heights, and pot sizes are minimums. If plant material is unavailable in these sizes, larger stock must be used. Plant substitution is not acceptable unless confirmed by the responsible authority in writing. The contractor is to supply and install semi mature trees which meet the following criteria. Have a minimum planted height to sizes as indicated in the plant schedule, have a minimum trunk caliper of 50mm at ground level, be undamaged and free of diseases and insect pests, not be root bound or have circling or girdling roots but have roots grown to the edge of - the container, should bear a single straight trunk, strong branching pattern, and full canopy - show healthy, vigorous growth

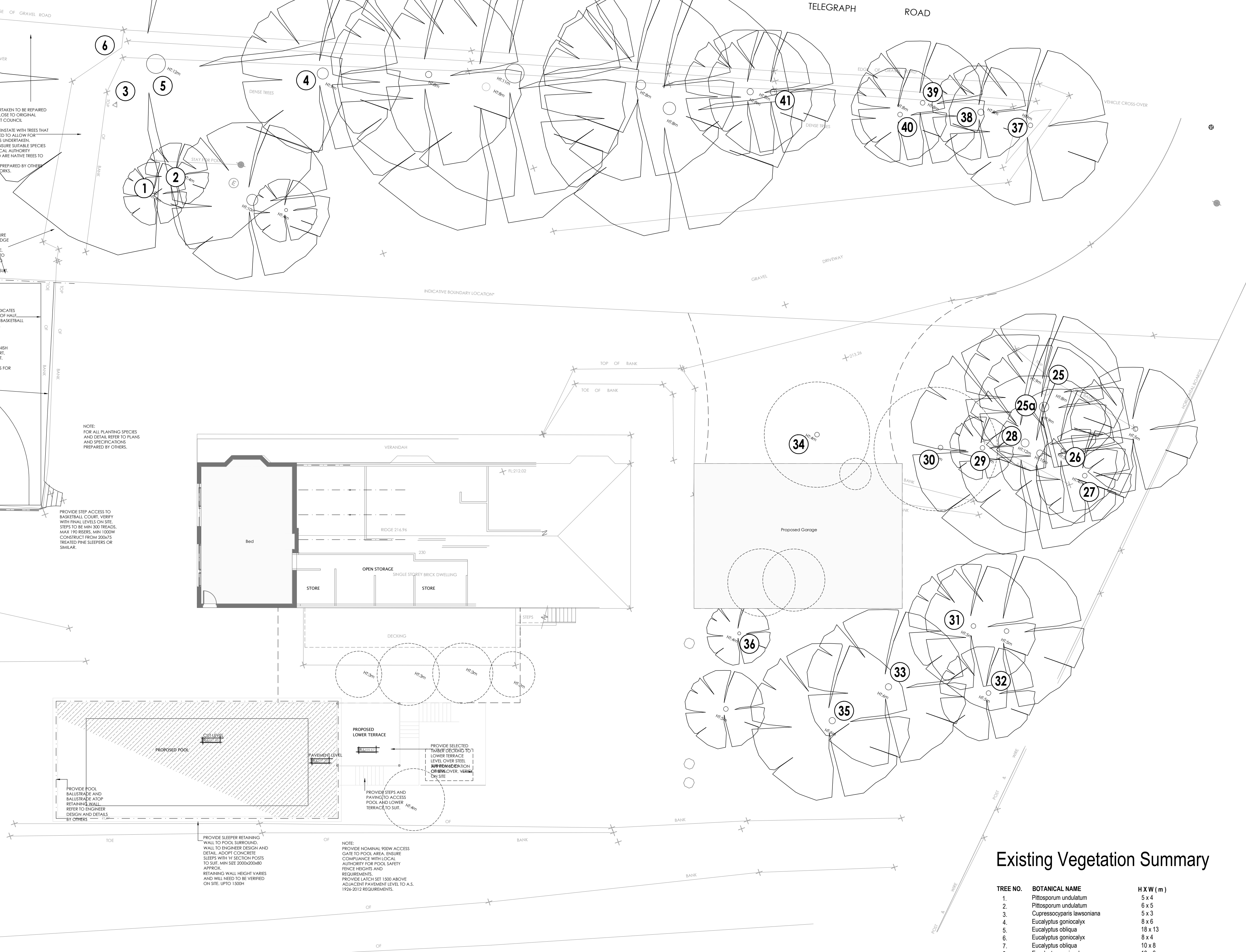
Protection of Existing Trees

This plan is to be read in conjunction with the arboricultural report prepared by Tree response Pty Ltd (0607/2012). Denoted tree numbers - refer to arboricultural report prepared by Tree response Pty Ltd for further information.

All existing vegetation shown on the endorsed plan (subject site and neighbouring properties) to be retained must be suitably marked before any development (including demolition) commences on the land and that vegetation must not be removed, destroyed or topped without the written consent of the responsible authority. Before the commencement of works (including demolition) start, tree protection barriers must be erected around trees (subject site and neighbouring properties) to form a defined tree protection zone during demolition and construction in accordance with tree protection measures as per AS 4970-2009 (Tree protection in development sites) and to the satisfaction of the responsible authority.

Any pruning that is required must be carried out by a trained and competent arborist with a thorough knowledge of tree physiology and pruning methods to carry out pruning to the Australian standard - AS 4373-2007 (Pruning of amenity trees). All tree protection practices must be adhered to in accordance with the arboricultural report and to the satisfaction of the responsible authority

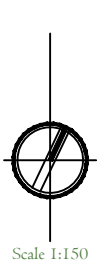
Existing Tree Identification



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Existing Vegetation Summary

TREE NO.	BOTANICAL NAME	H X W (m)
1.	Pittosporum undulatum	5 x 4
2.	Pittosporum undulatum	6 x 5
3.	Cupressus lusitanica	5 x 3
4.	Eucalyptus gonicalyx	8 x 6
5.	Eucalyptus obliqua	18 x 13
6.	Eucalyptus gonicalyx	8 x 4
7.	Eucalyptus obliqua	10 x 8
8.	Eucalyptus gonicalyx	10 x 6
9.	Eucalyptus gonicalyx	9 x 4
10.	Eucalyptus obliqua	10 x 8
11.	Eucalyptus obliqua	11 x 9
12.	Eucalyptus obliqua	16 x 10
13.	Eucalyptus obliqua	12 x 10
14.	Eucalyptus gonicalyx	20 x 20
15.	Eucalyptus gonicalyx	11 x 5
16.	Eucalyptus gonicalyx	9 x 5
17.	Acacia elata	12 x 10
18.	Acacia elata	10 x 7
19.	Eucalyptus obliqua	17 x 11
20.	Eucalyptus obliqua	20 x 14
21.	Eucalyptus gonicalyx	23 x 13
22.	Shinus arena	7 x 5
23.	Prunus persica	6 x 5
24.	Densely clustered additional A. elata, E. gonicalyx, Wattle sp. and Eucalyptus cupressiformis	(4 - 10) x 5
25.	Pittosporum undulatum x 11	5 x 3
25a.	Acacia baileyana	5 x 4
26.	Eucalyptus obliqua	10 x 7
27.	Pittosporum undulatum x 3	6 x 5
28.	Acacia meunieri	12 x 6
29.	Eucalyptus obliqua	12 x 6
30.	Eucalyptus obliqua	15 x 7
31.	Eucalyptus obliqua	11 x 6
32.	Eucalyptus obliqua	8 x 4
33.	Eucalyptus obliqua	9 x 7
34.	Prunus sp.	5 x 6
35.	Pittosporum undulatum x 5	8 x 8
36.	Radermachera sinica	6 x 4
37.	Eucalyptus gonicalyx	15 x 8
38.	Eucalyptus cupressiformis	8 x 5
39.	Eucalyptus obliqua	15 x 10
40.	Eucalyptus gonicalyx	8 x 2
41.	Eucalyptus gonicalyx	13 x 7



PROJECT: PROPOSED EXTENSION & ADDITION
ADDRESS: 230 TELEGRAPH ROAD BEACONSFIELD UPPER
DATE: 02/02/17
SHEET SIZE: A1
DESIGNED BY: NH/MA Landscape Arch. UEL/UK
PROJECT NO. # L5588
REV # A
DRAWN BY: M.M.

Keystone Alliance Pty Ltd

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KEYSTONE
ALLIANCE



TREE PROTECTION FENCE
TO BE MAINTAINED DURING
CONSTRUCTION TO
AUSTRALIAN STANDARDS 4970

MANAGEMENT - TREE PROTECTION ZONES AS SHOWN

Temporary fencing 1200mm high to be erected before construction starts

To maintain the long term viability and structural stability of each tree, it is important that all construction within the TPZ distances provided utilise construction methods that do not involve trenching or strip footings.

Excavation for stump/piers holes must be vertically bored to reduce root damage; bucket excavators are not to be used for excavation of the holes.

The TPZ of the tree is to be protected during construction to AS4970: - Australian Standard, Protection of trees on development sites.

Soil levels are not to change within the TPZ of any tree retained.



DEFENDABLE SPACE
10 METRES

TELEGRAPH ROAD
RETAIN ALL EXISTING VEGETATION ON ROAD OFFSIDE

EXISTING GRAVEL DRIVEWAY

PROPOSED GARAGE

EXISTING HOUSE

PROPOSED ADDITION

TERRACE

STAIRS

PROPOSED POOL

Figure 1

ALL OTHER EXISTING VEGETATION TO BE RETAINED

Biodiversity information for applications for permits to remove native vegetation under clause 52.16 or 52.17 of the Victoria Planning Provisions

Date of issue: 19 February 2017
Time of issue: 10:52:52

Property address 230 TELEGRAPH ROAD BEACONSFIELD UPPER 3808

Summary of marked native vegetation

Risk-based pathway	Low
Total extent	0.016 ha
Remnant patches	
	0.016 ha
Location risk	A

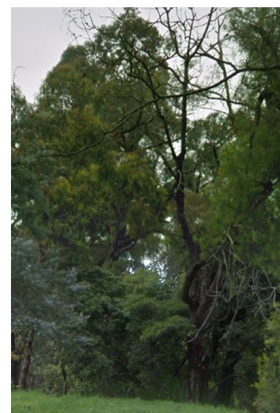
See Appendix 1 for risk-based pathway details

Offset requirements

If a permit is granted to remove the marked native vegetation, a requirement to obtain a native vegetation offset will be included in the permit conditions. The offset must meet the following requirements:

Offset type	General offset
Offset amount (general biodiversity equivalence units)	0.002
Offset attributes	
Vicinity	Port Phillip And Westernport Catchment Management Authority (CMA)
Minimum strategic biodiversity score	0.095
Strategic biodiversity score of marked native vegetation	0.119

REFER FULL BIODIVERSITY ASSESSMENT REPORT FOR DETAILS



PHOTOGRAPHS OF 230 TELEGRAPH ROAD VEGETATION 2016



1 : 400 @ A3

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No.	Species	Common Name	DBH cm.	Tree/ Shrub Retain	Tree/ Shrub Remove	Remarks
1	<i>Pyrus sp.</i>	Pear	18		1	
2	<i>Dicksonia antarctica</i>	Soft Tree Fern	20		1	Planted vegetation
3	<i>Dicksonia antarctica</i>	Soft Tree Fern	20		1	Exempt within 10m existing dwelling
4	<i>Dicksonia antarctica</i>	Soft Tree Fern	20		1	52.48
5	<i>Dicksonia antarctica</i>	Soft Tree Fern	20		1	
6	<i>Trifoliate shrub exotic</i>		10		1	
7	<i>Pittosporum undulatum</i>	Sweet Pittosporum	30		1	Environmental weed
8	<i>Pittosporum undulatum</i>	Sweet Pittosporum	20		1	Environmental weed
9	<i>Pittosporum undulatum</i>	Sweet Pittosporum	15		1	Environmental weed
10	<i>Pittosporum undulatum</i>	Sweet Pittosporum	15		1	Environmental weed
11	<i>Pittosporum undulatum</i>	Sweet Pittosporum	25		1	Environmental weed
12	<i>Pittosporum undulatum</i>	Sweet Pittosporum	22		1	Environmental weed
13	<i>Pittosporum undulatum</i>	Sweet Pittosporum	15		1	Environmental weed
14	<i>Pittosporum undulatum</i>	Sweet Pittosporum	15		1	Environmental weed
15	<i>Pittosporum undulatum</i>	Sweet Pittosporum	13		1	Environmental weed
16	<i>Pittosporum undulatum</i>	Sweet Pittosporum	15		1	Environmental weed
17	<i>Pittosporum undulatum</i>	Sweet Pittosporum	18		1	Environmental weed
18	<i>Eucalyptus goniacalyx</i>	Longleaf Bundy	23		1	
19	<i>Eucalyptus goniacalyx</i>	Longleaf Bundy	23	1		
20	<i>Eucalyptus radiata</i>	Peppermint	44		1	Dead Stag
21	<i>Eucalyptus radiata</i>	Peppermint	30		1	
22	<i>Eucalyptus radiata</i>	Peppermint	15		1	
23	<i>Eucalyptus obliqua</i>	Messmate	30		1	Leaning on # 24
24	<i>Eucalyptus obliqua</i>	Messmate	50	1		
25	<i>Protea cv. (S. Africa)</i>	Protea	15		1	Remove for addition
26	<i>Ficus carica</i>	Fig	20	1		

Table 1 Vegetation to be retained within 10 metres of proposed shed at 230 Telegraph Road. *Refer Pest Plant Management Strategy May 2012 Cardinia Shire Council



Area of subject land represented in figure 1

PROPOSED PLANTING EVC 16 INDIGENOUS



Eucalyptus radiata Peppermint 150mm pots x 3
Size at maturity 8m high x 4m wide



TREE RETAIN



TREE REMOVE



TREE PROTECTION ZONE

VEGETATION ASSESSMENT
230 TELEGRAPH ROAD
BEACONSFIELD UPPER
19 FEBRUARY 2017

