

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	L172 LP206990 39 Cameron Way, Pakenham
The application is for a permit to:	Construction of a second dwelling at the rear of the existing dwelling and alterations and additions to the existing dwelling
The applicant for the permit is:	Philip Harvey & Associates
The application reference number is:	T160829
You may look at the application and any documents that support the application at the office of the Responsible Authority:	Cardinia Shire Council 20 Siding Avenue Officer 3809 This can be done during office hours and is free of charge. Documents can also be viewed on Council's website www.cardinia.vic.gov.au .

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

- An objection must
- * be sent to the Responsible Authority in writing, at Cardinia Shire Council, PO Box 7, Pakenham, Vic, 3810 or email at mail@cardinia.vic.gov.au
 - * include the name and address of the objector/ submitter
 - * include the application number and site address
 - * include the reasons for the objection, and
 - * state how the objector would be affected.

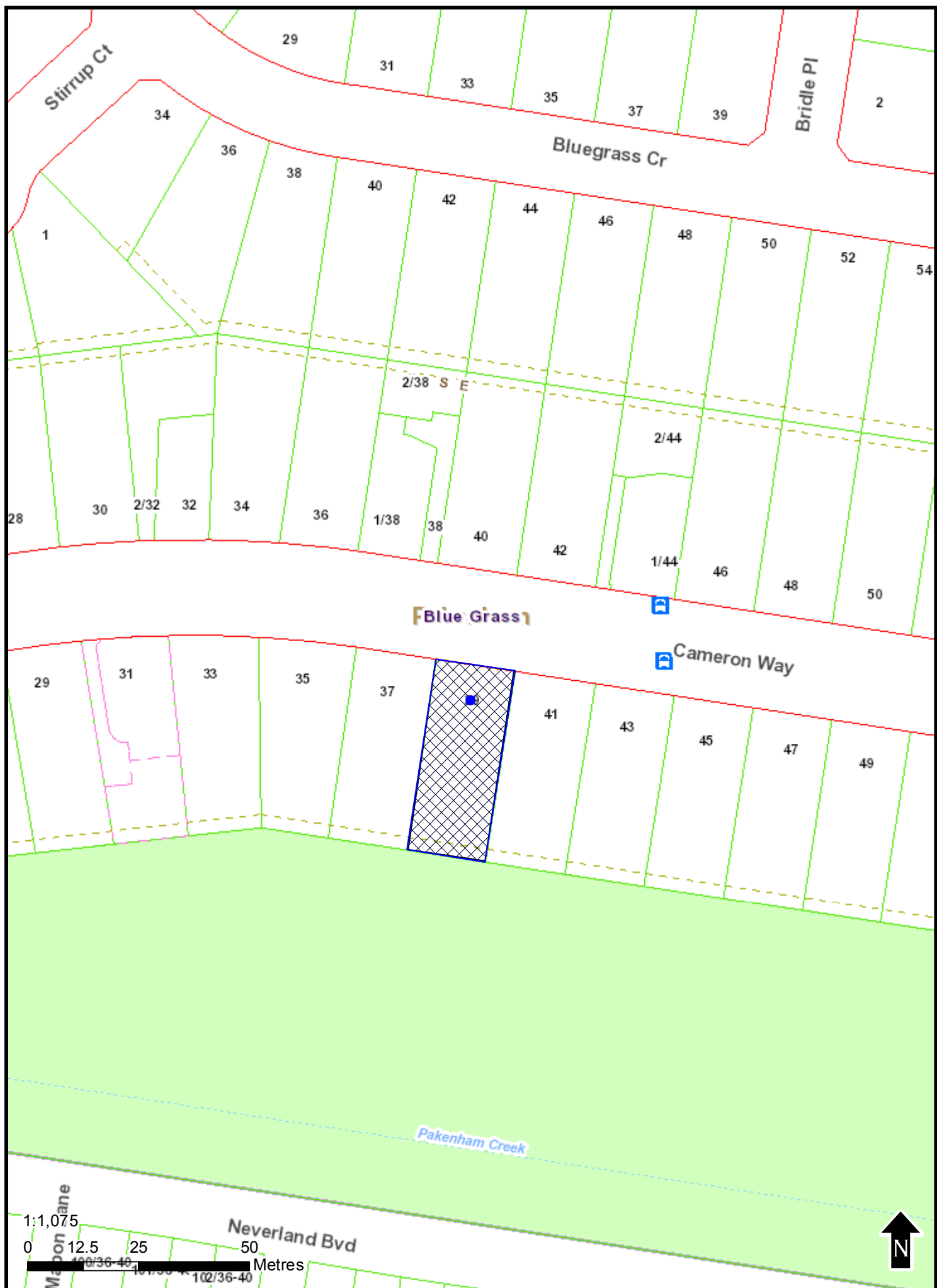
The Responsible Authority will not decide on the application before:	24 March 2017
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If you object, the Responsible Authority will advise you of its decision.

Please be aware that copies of objections/submissions received may be made available to any person for the purpose of consideration as part of the planning process.

For additional information or advice contact Cardinia Shire Council, Planning Department on 1300 787 624 or mail@cardinia.vic.gov.au

Your objection/ submission and personal information is collected by Cardinia Shire Council for the purposes of the planning process as set out in the *Planning and Environment Act 1987*. If you do not provide your name and address, Council will not be able to consider your objection/ submission. Your objection/ submission will be available free of charge at the Council office for any person to inspect and copies may be made available on request to any person for the relevant period set out in the *P&E Act*. You must not submit any personal information or copyright material of third parties without their informed consent. By submitting the material, you agree that the use of the material as detailed above does not breach any third party's right to privacy and copyright.



DESIGN RESPONSE STATEMENT

It is proposed to retain the existing dwelling, remove the garage from the rear and construct one new dwelling, as per the attached plans. The subject property is located in an established area, on the South side of Cameron Way, approx. 158m West of Barrington Drive. The site is rectangular in shape, with a frontage of 18.0m and depth of 43.61m. Total area is approximately 785m². The property is zoned Residential (GR21) and overlay DCP01 applies. A detailed description of the site and surrounding area is contained in the accompanying Site Feature & Level Survey (ref. 8009-10FL Sheet 1 of 1), the attached Neighbourhood Character & Site Analysis and photographic montage.

OPPORTUNITIES:

- Site area provides some scope for further development.
- Locality is appropriate for medium density housing, in that, there are a number of medium density developments in the immediate vicinity and the property is in close proximity to public transport, shops, schools and all community facilities.

CONSTRAINTS:

- There is a 3.0m wide easement adjacent to the South boundary.
- Orientation of the site creates some difficulty in achieving ideal solar access for two dwellings.
- Existing garage will need to be replaced with a new car parking facility.

DESIGN RESPONSE:

- Removal of the garage from the rear, will facilitate driveway access for both dwellings. A new carport on the East boundary, at the rear of the existing dwelling, will replace the garage to be removed.
- Compact, single storey dwelling responds to site constraints and maximises available space. Siting also maximises solar access for both dwellings, with a significant setback from the South boundary for Unit 2.
- While the dwelling is sited clear of the easement, the proposed carport for Unit 2 will require build-over consent from the relevant authorities.
- Removal of the existing verandah will allow solar access to the POS of existing.

SETBACKS:

- Front setback remains unchanged for existing dwelling.
- Side and rear setbacks respect neighbouring properties and ensure privacy and amenity for all residents.

ACCESS & EGRESS:

- The existing 3 metre crossing serving will be retained to service both dwellings.
- No additional crossings are proposed.
- All vehicles have space to turn and exit the property in a forward direction.

CAR PARKING:

- Each (3 bedroom) dwelling is provided with a single carport and a second parking space. The existing space in the front setback will be retained as one.
- On-street parking is available and unrestricted.

PRIVATE OPEN SPACE:

- Each dwelling is provided with an area of secluded, private open space which is:
- Adequate in size and dimension. (Total areas are in excess of standard requirements.)
- Adjacent to the main living area.
- Generally North facing, with compliant South boundary setbacks.
- A north facing area in the front setback will provide supplementary space for the existing.

LANDSCAPING & VEGETATION:

- There is no significant vegetation to be removed, some small trees to be retained.
- Ample space is provided in the site layout for landscaping, including tree planting.
- A detailed landscaping plan with an appropriate re-planting schedule will be provided.

OVERLOOKING & OVERSHADOWING:

- Low scale built form and natural orientation minimise overshadowing concerns.
- Existing and proposed fencing and screen planting will assist with privacy for residents.
- There are no habitable room windows facing others with potential for overlooking.
- There is a reserve on the South side of the subject property.

SUMMARY:

The proposed development maximises site use, while at the same time offering a diversity of energy efficient housing, within close proximity to schools, shops, public transport and recreational facilities. The proposal considers and reflects the objectives in the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement. No particular concerns are raised in that assessment. It is considered that the low scale and relatively low density development will integrate well with the surroundings and provide a desirable outcome for the site, in an area that is appropriate for medium density development of this nature.

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DESIGN RESPONSE PLAN

PHILIP HARVEY &
ASSOCIATES

P.O. BOX 4303, LANGWARRIN 3910
P: 8790 0877 M: 0412 356 552

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AMENDMENT		
DATE	REASON	DRAWN

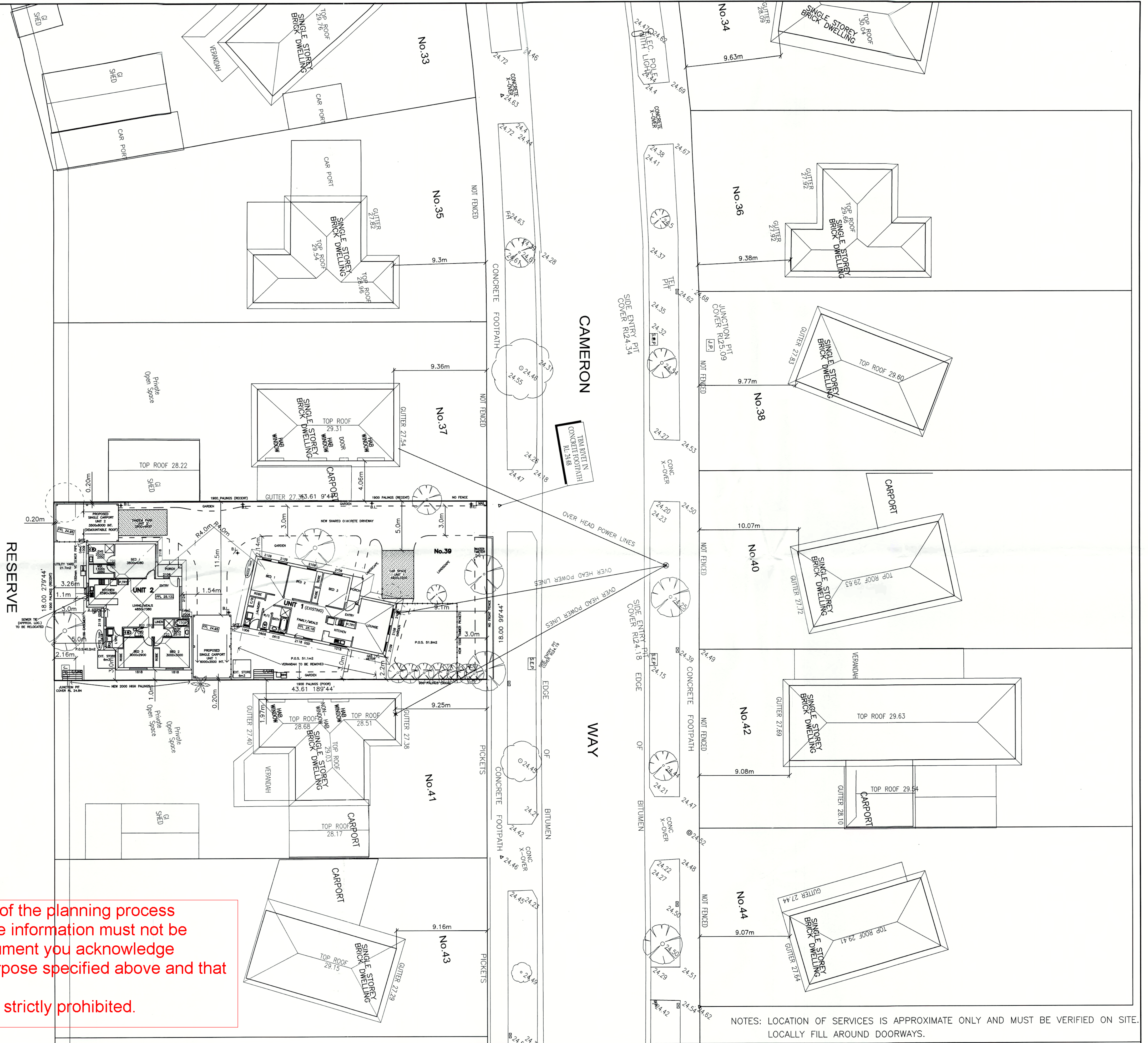


TREES TO BE REMOVED



TREES TO BE RETAINED

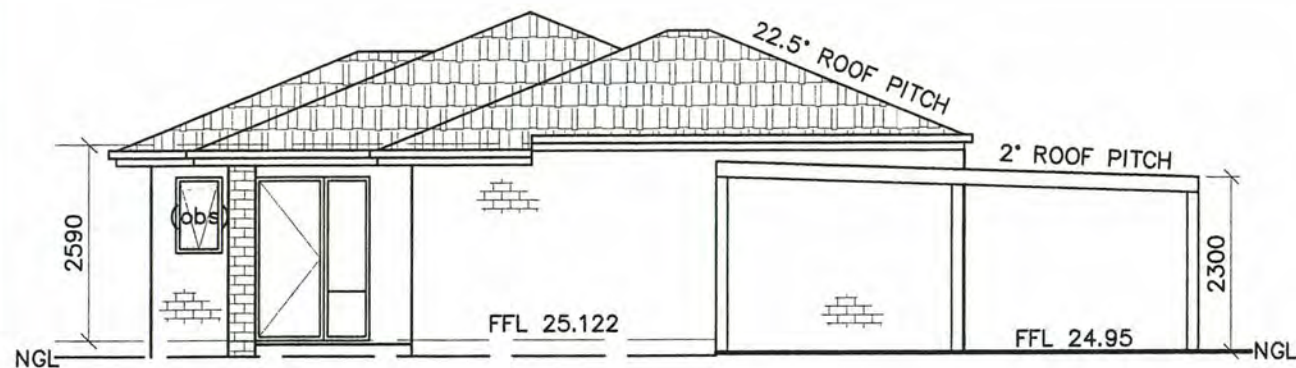
BOLLARD LIGHTING



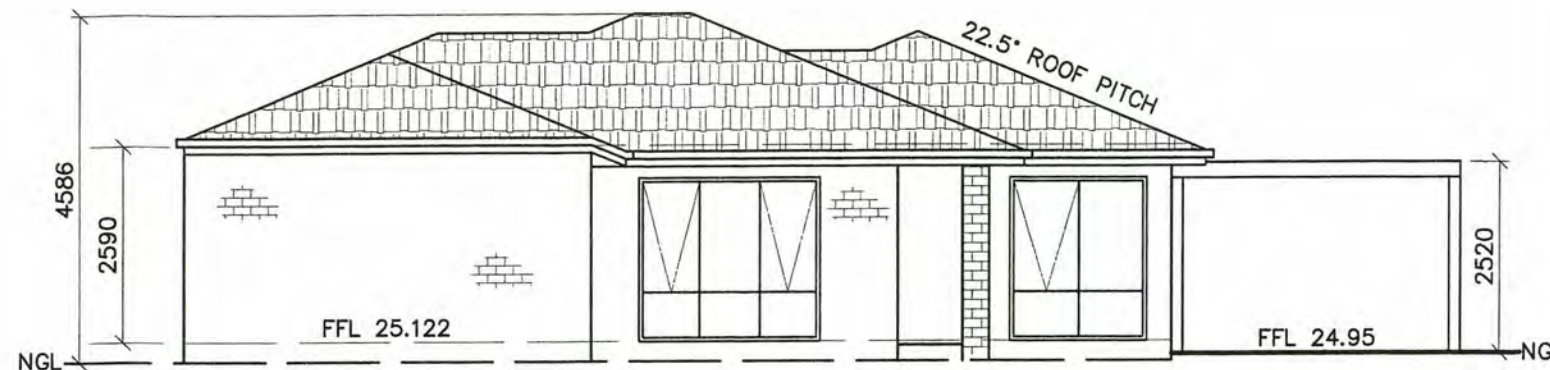
NOTES: LOCATION OF SERVICES IS APPROXIMATE ONLY AND MUST BE VERIFIED ON SITE.
LOCALLY FILL AROUND DOORWAYS.

PROJECT:	PROPOSED DUAL OCCUPANCY			A1
CLIENT:	SCOTT & REBECCA COOKSLEY	DRAWN	PEH	TP-684
		DATE	15/03/16	ISSUE: A
		SCALE	1:200	SHEET 1 OF 6
ADDRESS:	39 CAMERON WAY PAKENHAM	CHECKED		

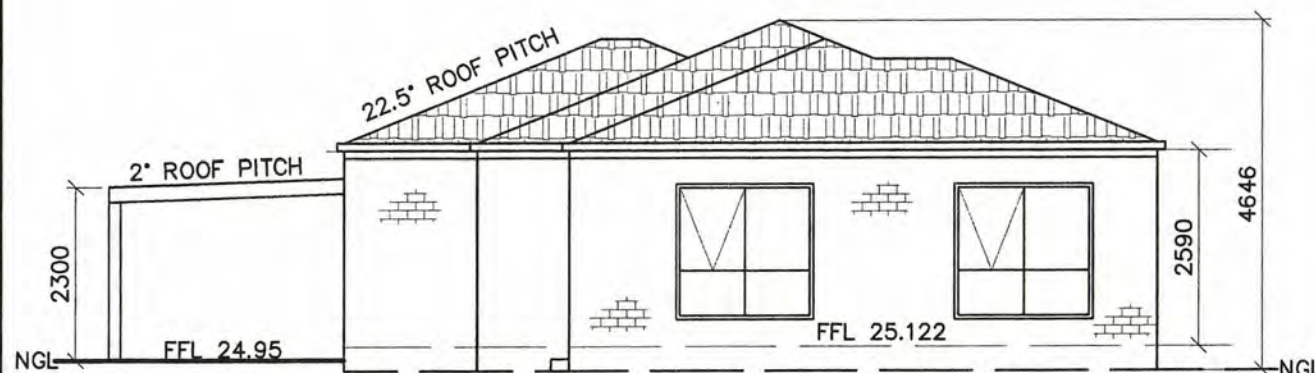
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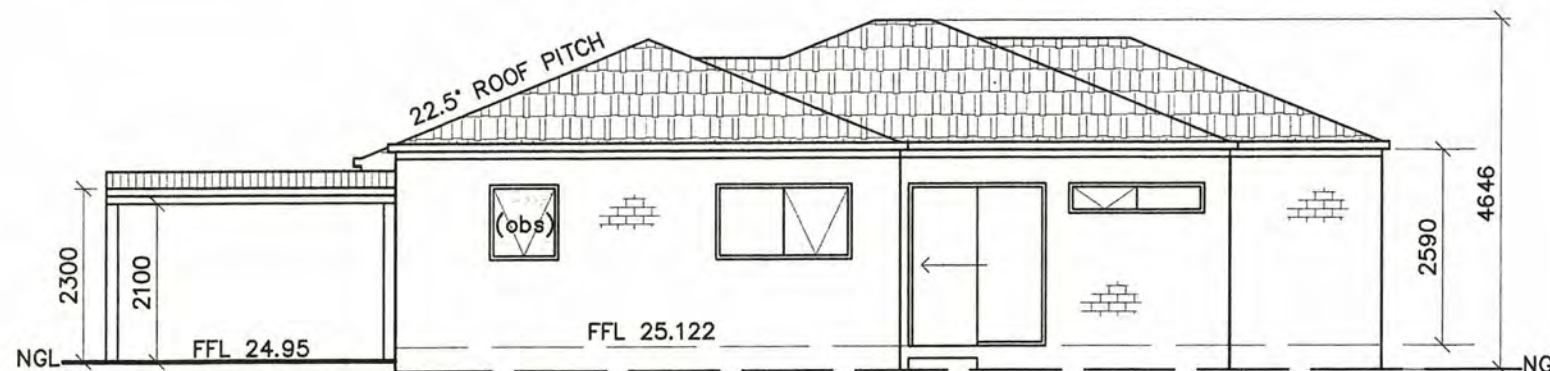
WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION

UNIT 2

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ELEVATIONS

COLOURS & MATERIALS SCHEDULE

SUB FLOOR	SLAB ON GROUND
ROOF	BRISTLE "CHOCOLATE" TILES
WALLS	AUSTRAL "DENISON" FACE BRICKWORK
FASCIAS & GUTTERS	"EVENING HAZE" COLORBOND
WINDOW FRAMES	"MERINO" COLORBOND

**PHILIP HARVEY &
ASSOCIATES**

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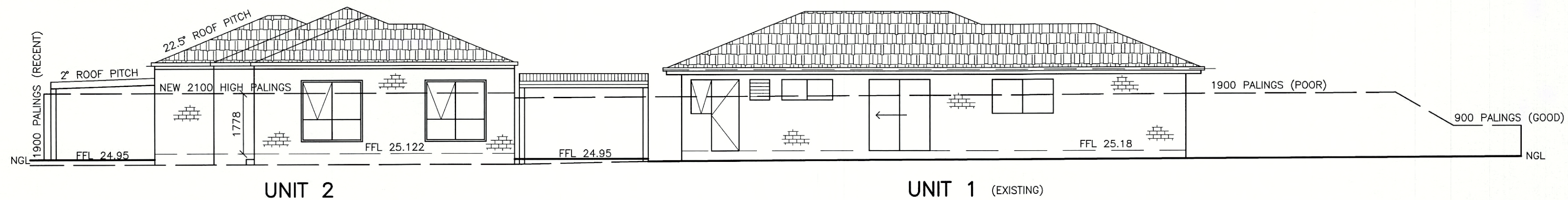
A3

CLIENT: SCOTT & REBECCA COOKSLEY

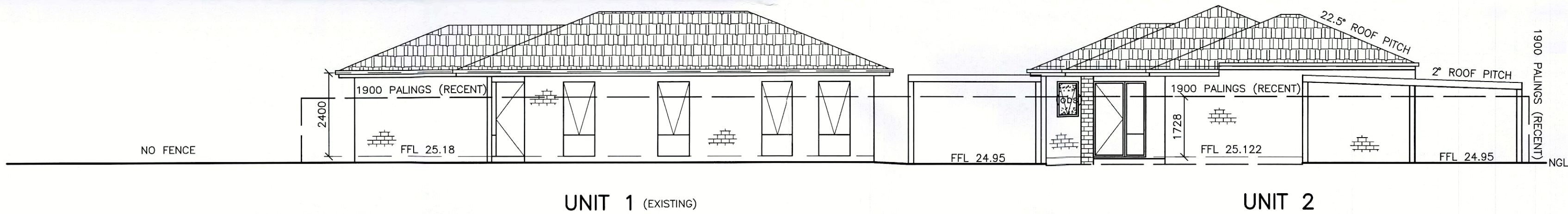
ADDRESS: 39 CAMERON WAY
PAKENHAM

DRAWN	PEHJ	TP-684
DATE	21/11/16	ISSUE: A
SCALE	1:100	SHEET 4 OF 6
CHECKED		

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EAST ELEVATIONS



WEST ELEVATIONS

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ELEVATIONS

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	DATE	REASON	DRAWN		CLIENT:	SCOTT & REBECCA COOKSLEY	DRAWN	PEHJ	TP-684 ISSUE: <div>A</div> SUPPLEMENTARY 1	
	13/01/17	R.F.I.	PEHJ				DATE	13/01/17		
							SCALE	1:100		
					ADDRESS:	39 CAMERON WAY PAKENHAM	CHECKED			
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CAMERON WAY

STREETSCAPE

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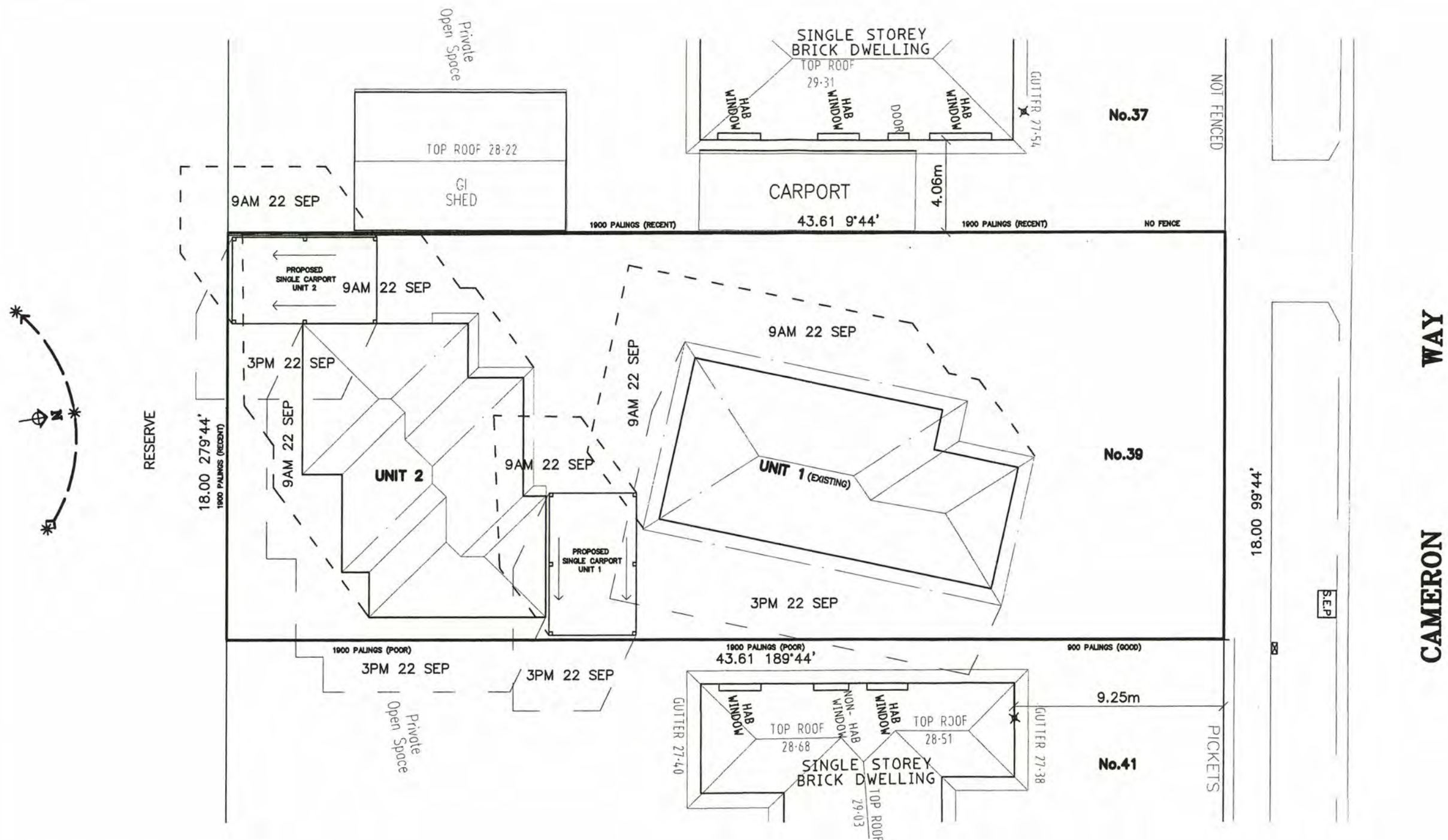
PROJECT: PROPOSED DUAL OCCUPANCY

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A3



SHADOW DIAGRAMS

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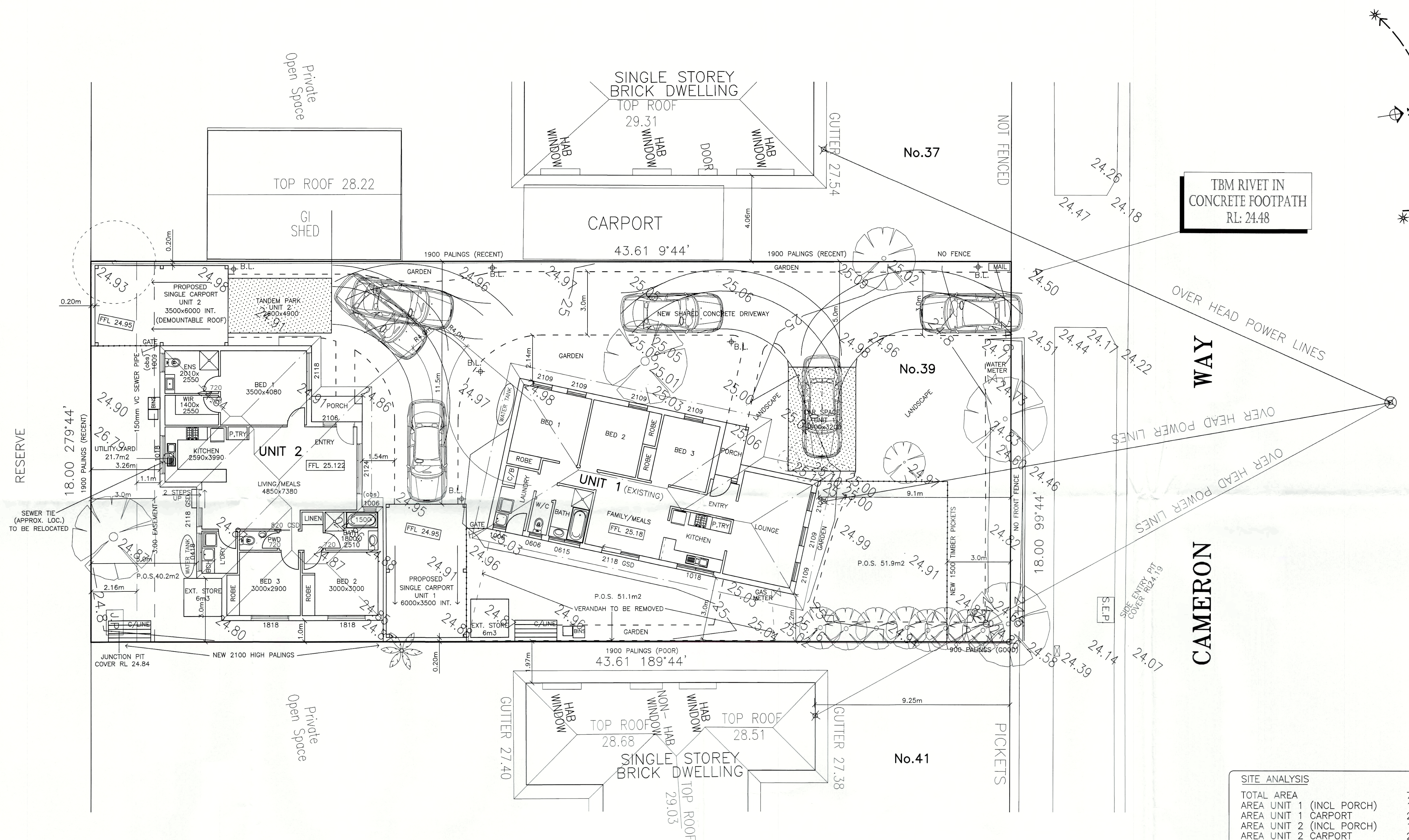
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DATE: 21/11/16
SCALE: 1:200
CHECKED:

TP-684
ISSUE: **A**
SHEET 6 OF 6

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A3



SITE ANALYSIS	
TOTAL AREA	785m ²
AREA UNIT 1 (INCL PORCH)	102.5m ²
AREA UNIT 1 CARPORT	23.9m ²
AREA UNIT 2 (INCL PORCH)	111m ²
AREA UNIT 2 CARPORT	23.9m ²
EXTERNAL STORAGE	6.4m ²
TOTAL FOOTPRINT	267.7m ²
DENSITY	1:392
COVERAGE	34.1%
PERMEABLE LAND	46.5%
TOTAL P.O.S.	143.2m ²
No. CAR SPACES	4

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SITE / FLOOR PLANS

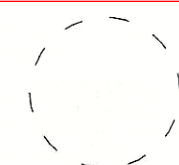
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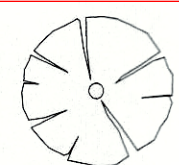
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DATE	REASON	DRAWN
13/01/17	R.F.I.	PEHJ



TREES TO BE REMOVED



TREES TO BE RETAINED

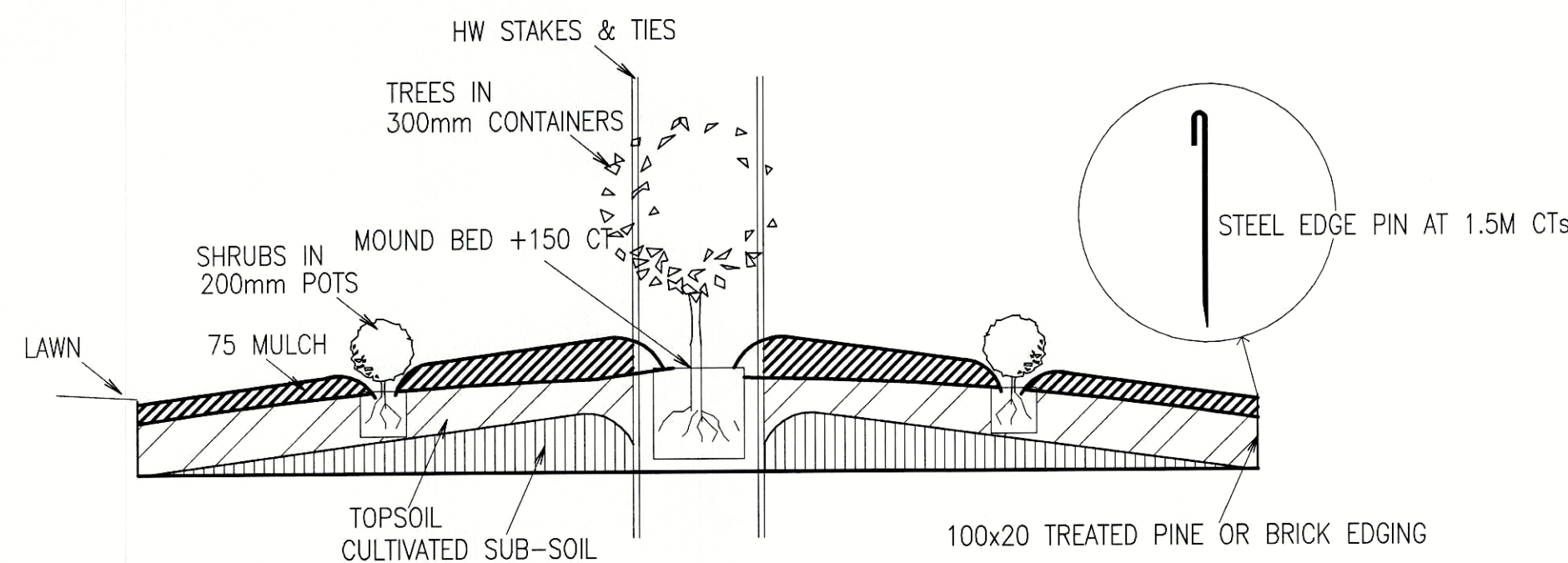


BOLLARD LIGHTING

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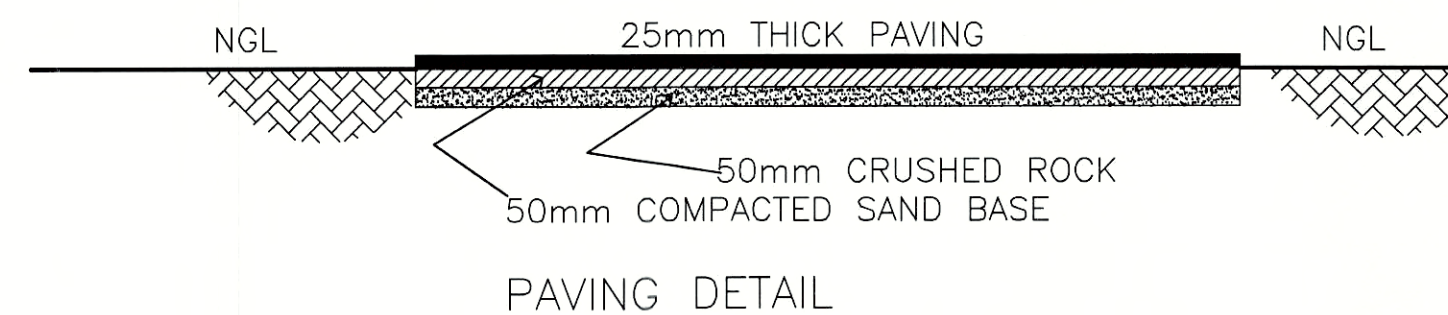
PROJECT:	PROPOSED DUAL OCCUPANCY	A1	
CLIENT:	SCOTT & REBECCA COOKSLEY	DRAWN	PEHJ
		DATE	21/11/16
		SCALE	1:100
ADDRESS:	39 CAMERON WAY PAKENHAM	CHECKED	
		TP-684 ISSUE: B SHEET 2 OF 6	

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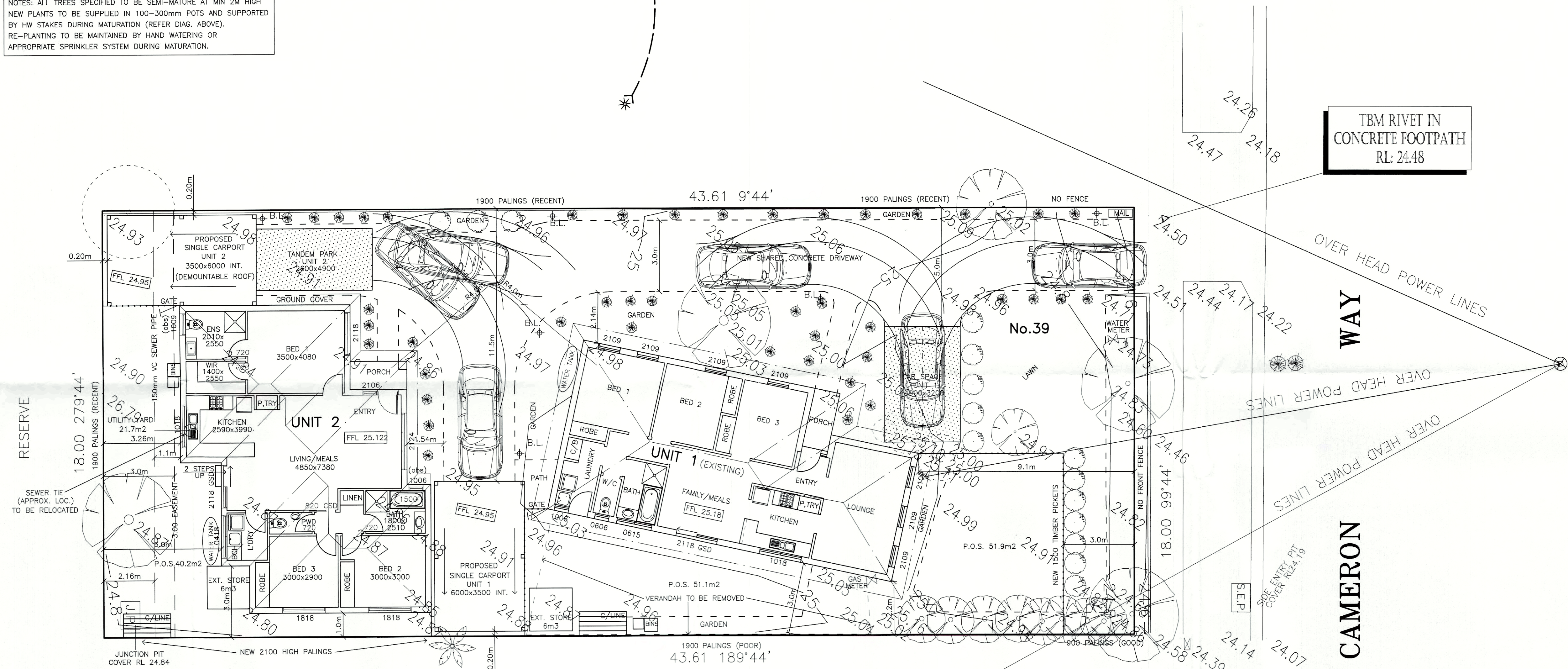


TYPICAL GARDEN BED

NOTES: ALL TREES SPECIFIED TO BE SEMI-MATURE AT MIN 2M HIGH
NEW PLANTS TO BE SUPPLIED IN 100-300mm POTS AND SUPPORTED
BY HW STAKES DURING MATURATION (REFER DIAG. ABOVE).
RE-PLANTING TO BE MAINTAINED BY HAND WATERING OR
APPROPRIATE SPRINKLER SYSTEM DURING MATURATION.



PAVING DETAIL



PLANTING SCHEDULE (TYPICAL)

KEY - BOTANICAL NAME	COMMON NAME	P=PROSTRATE SIZE(HxW)	POT SIZE
SHRUBS			
KP ANIGOZANTHOS MANGLESII	RED & GREEN KANGA PAW	1000x500	150mm
BS BUXUS SEMPERVIRENS	ENGLISH BOX	600x600	150mm
DR DIANELLA REVOLUTA	BLACK-ANTHER FLAX-LILY	1000x700	150mm
PO PATERSONIA OCCIDENTALIS	LONG PURPLE-FLAG	1000x600	150mm
GO GOODENIA OVATA	HOP GOODENIA	1000x600	150mm
CR CORREA DUSKY BELLS	CORREA	800x1000	150mm
UR URUME	AZALEA (SUN TOLERANT)	700x1000	150mm

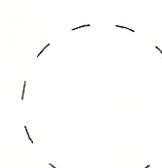
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LANDSCAPE CONCEPT PLAN

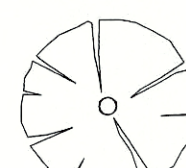
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POROUS PAVING



TREES TO BE REMOVED



EXISTING VEGETATION



PROPOSED MEDIUM SHRUBS



PROPOSED SMALL SHRUBS

PROJECT:	PROPOSED DUAL OCCUPANCY				A1
CLIENT:	SCOTT & REBECCA COOKSLEY		DRAWN	PEHJ	TP-684 ISSUE: A
			DATE	13/01/17	
			SCALE	1:100	SUPPLEMENTARY 2
ADDRESS:	39 CAMERON WAY PAKENHAM		CHECKED		
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