

## NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	12 Fraser Avenue, Beaconsfield Upper VIC 3808 L1 TP161459
The application is for a permit to:	Alterations & Additions to a single dwelling
The applicant for the permit is:	Drake Design
The application reference number is:	T240149
You may look at the application and any documents that support the application at the office of the Responsible Authority:	Cardinia Shire Council 20 Siding Avenue Officer 3809  This can be done during office hours and is free of charge.  Documents can also be viewed on Council's website: <a href="https://www.cardinia.vic.gov.au/advertisedplanningapplications">https://www.cardinia.vic.gov.au/advertisedplanningapplications</a>

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

- An objection must
- \* be sent to the Responsible Authority in writing, at Cardinia Shire Council, PO Box 7, Pakenham, Vic, 3810 or email at [mail@cardinia.vic.gov.au](mailto:mail@cardinia.vic.gov.au).
  - \* include the name and address of the objector/ submitter.
  - \* include the application number and site address.
  - \* include the reasons for the objection, and
  - \* state how the objector would be affected.

The Responsible Authority will not decide on the application before:	16 May 2024
--	-------------

If you object, the Responsible Authority will tell you its decision.

Please be aware that copies of objections/submissions received may be made available to any person for the purpose of consideration as part of the planning process.

For additional information or advice contact Cardinia Shire Council, Planning Department on 1300 787 624 or [mail@cardinia.vic.gov.au](mailto:mail@cardinia.vic.gov.au).

Your objection/submission and personal information is collected by Cardinia Shire Council for the purposes of the planning process as set out in the *Planning and Environment Act 1987*. If you do not provide your name and address, Council will not be able to consider your objection/submission. Your objection/submission will be available free of charge at the Council office for any person to inspect and copies may be made available on request to any person for the relevant period set out in the *P&E Act*. You must not submit any personal information or copyright material of third parties without their informed consent. By submitting the material, you agree that the use of the material as detailed above does not breach any third party's right to privacy and copyright.

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## ePlanning

### Application Summary

Portal Reference A22433NY

### Basic Information

Proposed Use Alterations & Additions to a single dwelling  
Current Use Single Dwelling  
Cost of Works \$350,000  
Site Address 12 Fraser Avenue Beaconsfield Upper 3808

### Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

Note: During the application process you may be required to provide more information in relation to any encumbrances.

### Contacts

Type	Name	Address	Contact Details
Applicant	Drake Design	suite 2, Level 1/2 Emerald-Beaconsfield Road, Beaconsfield VIC 3807	W: 03-9769-8096 E: caelliott@drakedesign.com.au
Owner			
Preferred Contact	Drake Design	suite 2, Level 1/2 Emerald-Beaconsfield Road, Beaconsfield VIC 3807	W: 03-9769-8096 E: caelliott@drakedesign.com.au

### Fees

Regulation Fee Condition	Amount	Modifier	Payable
9 - Class 4 More than \$100,000 but not more than \$500,000	\$1,383.30	100%	\$1,383.30
	<b>Total</b>		<b>\$1,383.30</b>

### Documents Uploaded

Date	Type	Filename
02-04-2024	A Copy of Title	Copy of Title.pdf
02-04-2024	Site plans	23051 12 Fraser Ave Beaconsfield Upper_20240402_TP1 ISSUE.pdf
02-04-2024	Additional Document	12 Fraser Avenue, Beaconsfield Upper Vic 3808 - Impact Assessment (V2).pdf
02-04-2024	Additional Document	20231128 232344RF-3 Re-establishment & Features Plan.pdf



**Civic Centre**  
20 Siding Avenue, Officer, Victoria

**Council's Operations Centre (Depot)**  
Purton Road, Pakenham, Victoria

**Postal Address**  
Cardinia Shire Council  
P.O. Box 7, Pakenham VC, 3810

**Email:** mail@cardinia.vic.gov.au

Monday to Friday 8.30am–  
5pm  
**Phone:** 1300 787 624  
**After Hours:** 1300 787 624  
**Fax:** 03 5941 3784

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

## Lodged By

Site User	██████████ Drake Design	Suite 2 - Level 1/2 Beaconsfield-Emerald Rd, Beaconsfield VIC 3807	W: 03-9769-8096 M: 0414-415-117 E: info@drakedesign.com.au
Submission Date	02 April 2024 - 04:35:PM		

## Declaration

By ticking this checkbox, ██████████ declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.



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**REGISTER SEARCH STATEMENT (Title Search) Transfer of  
Land Act 1958**

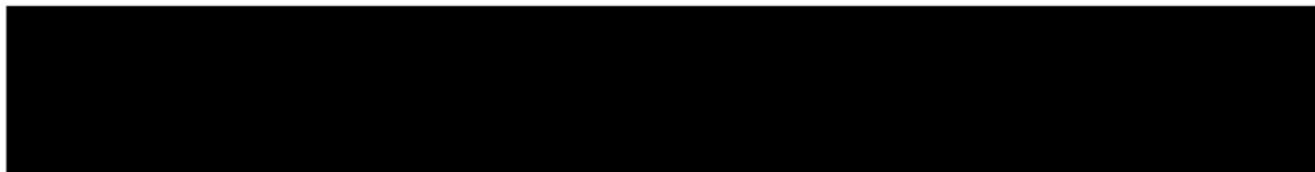
VOLUME 09221 FOLIO 977

Security no : 124113851563E  
Produced 02/04/2024 04:24 PM

**LAND DESCRIPTION**

Lot 1 on Title Plan 161459J.  
PARENT TITLE Volume 09075 Folio 519  
Created by instrument G717689 22/07/1977

**REGISTERED PROPRIETOR**



**ENCUMBRANCES, CAVEATS AND NOTICES**



Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

**DIAGRAM LOCATION**

SEE TP161459J FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 12 FRASER AVENUE BEACONSFIELD UPPER VIC 3808

**ADMINISTRATIVE NOTICES**

NIL



DOCUMENT END

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# Arboricultural Impact Assessment

Prepared For: [REDACTED]

Site Address: 12 Fraser Avenue,  
Beaconsfield Upper Vic 3808

Report Date: Thursday, 14 December 2023

Version: 0.2

0435 288 000  
info@ttarboriculture.com  
ttarboriculture.com



## 1 EXECUTIVE SUMMARY

### 1.1 KEY REPORT CONCLUSIONS & RECOMMENDATIONS

- I. ESO1 PERMIT REQUIREMENTS APPLY TO TREES 1, 2, 3, 4, 5 & 11. THE REMAINDER ARE EXEMPT DUE TO BUSHFIRE PROTECTION EXEMPTIONS OR BEING RECOGNISED WEED SPECIES (6.2.3).
- II. ALL OF THE SUBJECT TREES ARE PROPOSED TO BE RETAINED (7.2).
- III. THERE ARE NO ENCROACHMENTS INTO ANY TPZ AS A RESULT OF THE PROPOSED DEVELOPMENT (6.3).
- IV. ALTHOUGH NOT A DEVELOPMENT RELATED ISSUE, MITIGATION OPTIONS SHOULD BE CONSIDERED FOR TREE 2 DUE TO A STRUCTURAL WEAKNESS (7.2.1).
- V. TREE PROTECTION MEASURES WILL BE REQUIRED FOR THE ADJACENT TREES THAT ARE TO BE RETAINED (7.4).

### 1.2 TREE RETENTION/REMOVAL MATRIX

	TREE RETENTION VALUE					
	TOTAL	COUNCIL	NEIGHBOURING	LOW	MODERATE	HIGH
TOTAL	14	0	4	5	4	1
RETAIN	14	NA	4	5	4	1
REMOVE	0	NA	0	0	0	0

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**TABLE OF REPORT CONTENTS**

**1 Executive Summary..... 2**

1.1 Key report conclusions & recommendations .....2

1.2 Tree Retention/Removal Matrix.....2

**2 Impact Assessment Details..... 4**

2.1 Version Control .....4

2.2 Consulting arborist details .....4

2.3 Client & subject site details .....4

2.4 Brief .....5

**3 Data collection ..... 5**

3.1 Site visit.....5

3.2 Site description .....5

3.3 Data collection .....6

**4 Site maps ..... 7**

4.1 Existing site .....7

4.2 Proposed plan .....8

**5 Discussion ..... 9**

5.1 Tree protection zone .....9

5.2 Structural root zone.....9

5.3 Designing around trees.....9

**6 Conclusion ..... 11**

6.1 Retention value..... 11

6.2 Permit requirements ..... 12

6.3 Impact assessment ..... 14

**7 Recommendations ..... 15**

7.1 Tree Retention/Removal Matrix..... 15

7.2 Tree retention..... 15

7.3 Tree removal..... 16

7.4 Construction & Tree protection measures ..... 16

**8 Appendix ..... 19**

8.1 Appendix 1 - Tree Data & Photographic Evidence..... 19

8.2 Appendix 2 - Definition of Terms..... 25

**9 Bibliography & References ..... 29**

**10 Limitation of Liability ..... 30**

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## 2 IMPACT ASSESSMENT DETAILS

### 2.1 VERSION CONTROL

Version	Date	Author
0.2	Thursday, 14 December 2023	[REDACTED]

### 2.2 CONSULTING ARBORIST DETAILS

Name:

[REDACTED]

Company:

T&T ARBORICULTURE

ABN:

69527133247

Qualifications:

HNC Woodland Management & Arboriculture (AQF Level 5 eqv.)

BANGOR UNIVERSITY, UK

Graduate Certificate in Arboriculture (AQF Level 8)

UNIVERSITY OF MELBOURNE, AUS

MSc Arboriculture & Urban Forestry

(underway) (AQF Level 9)

UNIVERSITY OF CENTRAL LANCASHIRE, UK

VALID, QTRA & TRAQ Risk Assessment Certified

*Qualification requirements as per AS 4970-2009*

Phone:

0435 288 000

Email:

[info@ttarboriculture.com](mailto:info@ttarboriculture.com)

Web:

[www.ttarboriculture.com](http://www.ttarboriculture.com)

### 2.3 CLIENT & SUBJECT SITE DETAILS

Client Name:

[REDACTED]

Site Address:

12 Fraser Avenue, Beaconsfield Upper Vic 3808

Date of Assessment:

Monday, 11 December 2023

Date of Report:

Thursday, 14 December 2023

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## 2.4 BRIEF

This report provides an independent arboricultural assessment of prominent trees that are located adjacent to the footprint of the proposed development to the east of the existing dwelling.

Detail has been requested in relation to the following instructions:

- To provide an objective assessment of the overall condition of the subject trees.
- To provide an objective assessment of the retention value of the subject trees.
- To determine the Tree Protection Zones (TPZ) and Structural Root Zones (SRZ) of the subject trees.
- To determine which tree(s) (if any) are subject to any permit requirements.
- To determine if the subject trees are expected to remain viable as a result of the proposed development.
- To propose recommendations that are expected to ensure that the subject trees (to be retained) would remain viable post development.

For consideration by;

- Property / Tree Owner.
- Development Project Team.
- Council Planning Department.

## 3 DATA COLLECTION

### 3.1 SITE VISIT

Data collected by Consulting Arborist Ben Thomas of T&T Arboriculture at subject site on date specified in CLIENT & SUBJECT SITE DETAILS (2.3).

### 3.2 SITE DESCRIPTION

The local council is Cardinia Shire Council.

The following zoning and overlays apply to the site (Landchecker, 2023):

- GWAZ - Green Wedge A Zone - Schedule 2
- BMO - Bushfire Management Overlay \*
- ESO - Environmental Significance Overlay - Schedule 1 \*
- Bushfire Prone Area \*

\* *Tree & Vegetation controls apply (see 6.2).*

There is currently a residential dwelling and outbuilding located within the site.

The terrain of the site presented with a northerly aspect.

The subject trees are located within the subject site and adjoining property;

- 10 Fraser Ave

No additional prominent vegetation was observed adjacent to the proposed development.

### 3.3 DATA COLLECTION

#### 3.3.1 REFERENCED DOCUMENTS

Site Survey – One Plan (22/11/2023)

Proposed Plans – Drake Design (December 2023)

Cardinia Shire Council Planning Scheme

Australian Standard AS4970 – 2009 ‘Protection of Trees on Development Sites’

Australian Standard AS4373 – 2007 ‘Pruning of Amenity Trees’

Bibliography & References (9)

#### 3.3.2 PROPOSED PLAN

The proposed plan referenced in this report may be subject to change.

Trees have been mapped in the locations as per the site survey and on-site observations.

#### 3.3.3 METHOD OF DATA COLLECTION

For the purposes of this report, a ‘tree’ is considered to be free-standing vegetation, three (3) meters or above in height.

Access to neighbouring properties was restricted, assessment was therefore limited only to parts of the trees that were visible from within the subject site and any neighbouring tree dimensions are estimated.

The subject trees were assessed from observations made as viewed from ground level and canopy spread has been estimated.

A circumference tape measure was used to determine the trunk dimensions of trees accessible at the time of assessment, unless stated otherwise.

A digital camera was used at ground level to obtain photographs within this report, unless stated otherwise.

The height of the trees was measured by using a Nikon Forestry Pro Laser Range Finder.

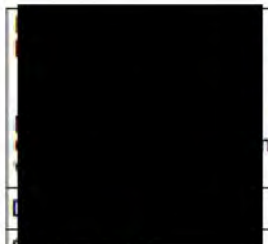
Encroachment percentages have been calculated via ArborCAD V8 (CAD International).

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### 4 SITE MAPS

#### 4.1 EXISTING SITE

A3



DWG#: E1  
 ADDRESS:  
 12 Fraser Avenue,  
 Beaconsfield Upper Vic 3808

NOTES:



- TPZ
- SRZ
- LOW VALUE TREE
- MODERATE VALUE TREE
- HIGH VALUE TREE
- NEIGHBOURING TREE
- COUNCIL TREE
- ENCROACHMENT AREA

4.2 PROPOSED PLAN



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## 5 DISCUSSION

### 5.1 TREE PROTECTION ZONE

Australian standard definition (2009) - *A specified area above and below ground and at a given distance from the trunk set aside for the protection of a tree's roots and crown to provide for the viability and stability of a tree to be retained where it is potentially subject to damage by development.*

In accordance with the Australian Standard, AS4970-2009 'Protection of Trees on Development Sites', the Tree Protection Zone (TPZ) is determined by multiplying the trunk Diameter of the tree at Breast Height (DBH), which is at 1.4 meters above ground level, by a factor of twelve (12) i.e.,  $TPZ\ radius = DBH \times 12$ .

The minimum TPZ radius that must apply is 2.0 meters whilst the maximum is 15.0 meters.

Section 3.2 within the Standard states that the TPZ of Palms, other monocots, cycads and tree ferns should not be less than 1 m outside the crown projection.

### 5.2 STRUCTURAL ROOT ZONE

Australian standard definition (2009) - *The area around the base of a tree required for the tree's stability in the ground. The woody root growth and soil cohesion in this area are necessary to hold the tree upright. The SRZ is nominally circular with the trunk at its centre and is expressed by its radius in metres. This zone considers a tree's structural stability only, not the root zone required for a tree's vigour and long-term viability, which will usually be a much larger area.*

The structural root zone (SRZ) is the setback required to avoid damage to stabilising structural roots. The loss of roots within the SRZ must be avoided. The SRZ is determined by applying the following formula:  $(D \times 50)^{0.42} \times 0.64$ , where  $D$  = trunk diameter in metres measured above the root buttress.

The minimum SRZ radius that must apply is 1.5 meters.

Palms, other monocots, cycads and tree ferns do not require an allocated SRZ due to their root architecture.

### 5.3 DESIGNING AROUND TREES

The following is extracted from Section 3.3 of the Australian Standards AS4970-2009 'Protection of Trees on Development Sites'.

*It may be possible to encroach into or make variations to the TPZ of the trees that must be retained. Encroachment includes excavation, compacted fill and machine trenching.*

#### 5.3.1 MINOR ENCROACHMENT

*If the proposed encroachment is less than 10% of the area of the TPZ and is outside the SRZ, detailed root investigations should not be required. The area lost to this encroachment should be compensated for elsewhere and contiguous with the TPZ. Variations must be made by the project arborist considering relevant factors.*

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### 5.3.2 MAJOR ENCROACHMENT

*If the proposed encroachment is greater than 10% of the TPZ or inside the SRZ the project arborist must demonstrate that the tree(s) would remain viable. The area lost to this encroachment should be compensated for elsewhere and contiguous with the TPZ. This may require root investigation by non-destructive methods and consideration of relevant factors.*

---

### 5.3.3 TPZ ENCROACHMENT CONSIDERATIONS

*When determining the potential impacts of encroachment into the TPZ, the project arborist should consider the following:*

- *Location and distribution of the roots to be determined through non-destructive investigation methods (pneumatic, hydraulic, hand digging or ground penetrating radar). Photographs should be taken and a root zone map prepared.*

*NOTE: Regardless of the method, roots must not be cut, bruised or frayed during the process.*

- *It is imperative that exposed roots are kept moist and the excavation back filled as soon as possible.*
- *The potential loss of root mass resulting from the encroachment: number and size of roots.*
- *Tree species and tolerance to root disturbance.*
- *Age, vigour and size of the tree.*
- *Lean and stability of the tree.*

*NOTE: Roots on the tension side are likely to be most important for supporting the tree and are likely to extend for a greater distance.*

- *Soil characteristics and volume, topography and drainage.*
- *The presence of existing or past structures or obstacles affecting root growth.*
- *Design factors.*

*Tree sensitive construction measures such as pier and beam, suspended slabs, cantilevered building sections, screw piles and contiguous piling can minimize the impact of encroachment.*

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## 6 CONCLUSION

### 6.1 RETENTION VALUE

Refer to TREE RETENTION VALUE (8.2.5) for retention value attributes.

#### 6.1.1 COUNCIL OWNED TREES

There are no council owned trees.

#### 6.1.2 NEIGHBOURING TREES

There are 4 TREES considered to be within neighbouring properties.

TREES 11 – 14

#### 6.1.3 LOW RETENTION VALUE

There are 5 TREES of low retention value within the site.

TREES 3 & 4

TREES 6 & 7

TREE 10

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#### 6.1.4 MODERATE RETENTION VALUE

There are 4 TREES of moderate retention value within the site.

TREE 2 \*

TREE 5

TREES 8 & 9

*\* Despite possessing high value attributes, the value of TREE 2 has been reduced due to significant bark inclusion (BI) at the base. Due to the bark layer, there is a lack of interlocking xylem (wood fibres) between tree components that results in a structural weakness within the main unions. Mitigation is recommended if this tree is to be retained in the landscape, see 7.2.1.*

#### 6.1.5 HIGH RETENTION VALUE

There is 1 TREE of high retention value within the site.

TREE 1



## 6.2 PERMIT REQUIREMENTS

### 6.2.1 LOCAL LAW

The site is not subject to any local law in regard to tree protection.

### 6.2.2 OVERLAYS

The site is subject to the following any overlays in regard to tree protection.

#### 6.2.2.1 ENVIRONMENTAL SIGNIFICANCE OVERLAY – SCHEDULE 1 (ESO1)

A permit is required to:

Remove, destroy or lop any vegetation, including dead vegetation. This does not apply:

- If a schedule to this overlay specifically states that a permit is not required.
- If the table to Clause 42.01-3 specifically states that a permit is not required.
- To the removal, destruction or lopping of native vegetation in accordance with a native vegetation precinct plan specified in the schedule to Clause 52.16.

In addition to the exemptions under Clause 52.12 (Bushfire protection exemptions), a permit is not required to remove, destroy or lop any vegetation if:

- The vegetation is a tree overhanging the roof of a building used for Accommodation. This exemption only allows the removal, destruction, or lopping of that part of the tree which is overhanging the building and which is necessary for fire protection.
- The vegetation is dead as a result of natural circumstances or the spread of noxious weeds and which has been assessed as being suitable for removal by an authorised officer of the responsible authority. This exemption does not apply to standing dead trees with a trunk diameter of 40 centimetres or more at a height of 1.3 metres above ground level.
- It is the minimum extent necessary to maintain utility services for the transmission of water, sewage, gas, electricity, electronic communications or the like, provided that the removal, destruction or lopping is undertaken with the written consent of the responsible authority.
- It is necessary for maintenance by the Cardinia Shire Council of works including any road, drain, essential service or public facility.
- The vegetation is seedlings or regrowth less than 5 years old, the land has previously been lawfully cleared and the land is being maintained for cultivation or pasture.
- The vegetation is to be removed, destroyed or lopped by cutting only to obtain reasonable amounts of wood for personal use by the owner or occupier of the land. Personal use is wood used for firewood, the construction of fences on the same land and hobbies such as craft. This exemption does not apply to:
  - Standing living and dead trees with a trunk diameter of 40 centimetres or more at a height of 1.3 metres above natural ground level.
  - Living native vegetation on contiguous land in the same ownership with an area less than 10 hectares.
- It is the removal of any vegetation from an existing dam wall where the vegetation may impact on the structural stability of the dam wall.
- It is within 6 metres of an existing dwelling on a lot less than 0.4 hectares.

- It is necessary for the works associated with the normal operation of Puffing Billy Tourist Railway as defined in the Schedule to the Public Use Zone under Clause 36.01 of this Planning Scheme.
- The vegetation is to be pruned or lopped (but not removed) as part of normal domestic or horticultural practice for the species.
- The vegetation is an environmental weed contained in the table below; that is not listed under the Schedule to Clause 43.01 (Heritage Overlay) and there is no condition listed in the table:

---

#### 6.2.2.2 BUSHFIRE PROTECTION EXEMPTION (CLAUSE 52.12)

This site is within a Bushfire Management Overlay and within a Bushfire Prone Area which are subject to the following Bushfire Protection Exemptions, which state:

##### EXEMPTION TO CREATE DEFENDABLE SPACE AROUND BUILDINGS USED FOR ACCOMMODATION

Any requirement of a planning permit, including any condition, which has the effect of prohibiting the removal, destruction or lopping of vegetation, or any requirement of this planning scheme to obtain a planning permit, or any provision of this planning scheme that prohibits the removal, destruction or lopping of vegetation or requires the removal, destruction or lopping of vegetation to be carried out in a particular manner, does not apply to any of the following:

The removal, destruction or lopping of any vegetation within 10 metres of an existing building used for accommodation if all of the following requirements are met:

- The building must be located in an area that is designated as a Bushfire Prone Area under the Building Act 1993.
- The building must have been:
  - constructed before 10 September 2009; or
  - approved by a permit issued under this scheme before 10 September 2009; or
  - approved by a building permit issued under the Building Act 1993 before 10 September 2009; or
  - constructed to replace a dwelling or dependent persons unit that was damaged or destroyed by a bushfire that occurred between 1 January 2009 and 31 March 2009.

##### EXEMPTION FOR VEGETATION REMOVAL ALONG A FENCE LINE

Any requirement of a planning permit, including any condition, which has the effect of prohibiting the removal, destruction or lopping of vegetation, or any requirement of this planning scheme to obtain a planning permit, or any provision of this planning scheme that prohibits the removal, destruction or lopping of vegetation or requires the removal, destruction or lopping of vegetation to be carried out in a particular manner, does not apply to the removal, destruction or lopping of any vegetation along a boundary fence between properties in different ownership if all of the following requirements are met:

- The fence must be located in an area that is designated as a bushfire prone area under the Building Act 1993.
- The fence must have been constructed before 10 September 2009.
- The clearing alongside both sides of the fence when combined must not exceed 4 metres in width, except where land has already been cleared 4 metres or more along one side of the fence, then up to 1 metre can be cleared along the other side of the fence.

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## 6.2.3 TREES SUBJECT TO PERMIT REQUIREMENTS

### 6.2.3.1 COMMENTS

For the purposes of the Bushfire Protection Exemption (Clause 52.12), the distance from the subject trees to the existing dwelling and boundary fences were obtained from scale drawings. Onsite measurements should be taken to confirm exemption.

The dwelling and the boundary fences appeared to predate September 2009; therefore, for the purposes of this report, the bushfire exemptions have been applied.

As the subject site is <4000 m<sup>2</sup> in size, native vegetation planning and protection (NVPP) - Clause 52.17 requirements do not apply.

### 6.2.3.2 TREES THAT REQUIRE A PERMIT

Tree(s) #	Applicable governance	Permit criteria
<b>1, 2, 3, 4, 5, 11</b>	ESO1	Remove, destroy or lop any vegetation, including dead vegetation. No exemptions apply.

### 6.2.3.3 TREES THAT DO NOT REQUIRE A PERMIT

Tree(s) #	Applicable governance	Permit criteria
<b>6, 7, 8, 9, 10</b>	ESO1 BPA	Exempt – Located either within 10m of the dwelling or within a 4m clearance corridor along a fence line as per clause 52.12.
<b>12, 13, 14</b>	ESO1	Exempt – Weed species

## 6.3 IMPACT ASSESSMENT

### 6.3.1 NO ENCROACHMENT

There are no encroachments into the TPZ or SRZ of the subject trees due to the proposed development.

Therefore, the proposed development is not expected to compromise the long-term viability of the subject trees.

Less invasive construction measures or development redesign is not required as these trees are expected to remain viable post construction.

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## 7 RECOMMENDATIONS

### 7.1 TREE RETENTION/REMOVAL MATRIX

Total number of tree(s) to be retained or removed.

	TREE RETENTION VALUE					
	TOTAL	COUNCIL	NEIGHBOURING	LOW	MODERATE	HIGH
TOTAL	14	0	4	5	4	1
RETAIN	14	NA	4	5	4	1
REMOVE	0	NA	0	0	0	0

### 7.2 TREE RETENTION

All subject trees are proposed to be retained as part of the project.

Tree protection measures (7.4) should be installed to ensure that trees that are proposed to be retained would remain viable post construction.

#### 7.2.1 TREE 2

Due to the significant bark inclusion (BI) within the main unions at the base of this tree, the weakened structure should be mitigated with additional support for it to be more safely retained in the landscape.

Dynamic cable bracing should be installed between the three leaders at a height of approximately 2/3 of the total height. Cable braces must be installed as per the manufacturer's recommendations by a suitably qualified and experienced arborist. Bracing should allow for natural movement between the unions (dynamic) but be of a sufficient strength rating to stop total failure of the unions in a high wind event.



Figure 1 - Example of dynamic cable brace installed between tree components.

## 7.3 TREE REMOVAL

There are no trees proposed to be removed as part of the project.

In the event of tree removal, the following is recommended:

- Tree removal should be undertaken prior to construction commencing.
- Written consent from the responsible authority must be obtained prior to tree removal (if required).

## 7.4 CONSTRUCTION & TREE PROTECTION MEASURES

### 7.4.1 CONSTRUCTION MEASURES

Less invasive construction measures or development redesign are not required to ensure that trees which are proposed to be retained (7.2) would remain viable post construction. Tree protection measures (e.g., fencing) should be implemented for these trees to remain viable.

### 7.4.2 BUSHFIRE MANAGEMENT REQUIREMENTS

Pruning and/or removal of existing trees may need to be considered as a result of recommendations within a Bushfire Management Plan.

Where possible, lesser value trees should be considered to gain recommended clearances and canopy separation in instances where trees need to be removed.

Where possible, any required pruning should adhere to general pruning standards (as below).

### 7.4.3 PRUNING

Pruning of trees that are proposed to be retained (7.2) is not required for clearance purposes and should therefore not be undertaken.

If unforeseen pruning is required, only the minimum amount necessary for clearance in order to complete construction should be removed.

Pruning should be undertaken by a suitably qualified Arborist (minimum AQF level 3).

The pruning should be undertaken in accordance with the AS4373 – 2007 'Pruning of amenity trees'.

Pruning should be undertaken prior to machinery being brought onto site.

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#### 7.4.4 TREE PROTECTION FENCING (TREE 3)

TPF should be installed as close to the TPZ as practically possible provided that it does not encroach onto the road, footpath, crossover or proposed works.

TPF should be installed prior to machinery being brought onsite.

TPF should be a minimum **1.8m high** and comprised of wire mesh supported by concrete feet (or similar) (see figure 1).

TPF should remain intact for the duration of the project.

TPF should only be removed or shifted with the approval of the Project Arborist and the Responsible Authority.

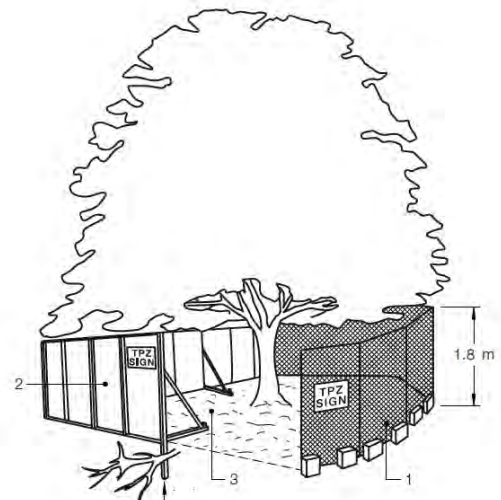


Figure 2 - Tree Protection Fencing (Image from AS4970-2009)

##### 7.4.4.1 TREE PROTECTION SIGNAGE

The signage should be placed on TPZ fencing at regular intervals so that it is visible from any angle outside the TPZ.

Signage should state 'Tree Protection Zone, No Access' or similar (see figure 3).

Signage should be greater than 600mm X 400mm in size.

The contact details of the project arborist and site manager should be written on the sign.



Figure 3 - TPZ signage

#### 7.4.5 GROUND PROTECTION

It is unlikely that ground protection (GP) will be required for this project.

If found to be required, GP should consist of a layer of permeable membrane, such as geotextile fabric, beneath a 100mm thick layer of mulch.

Mulch must then be covered with a layer of strapped rumble boards (see figure 4).

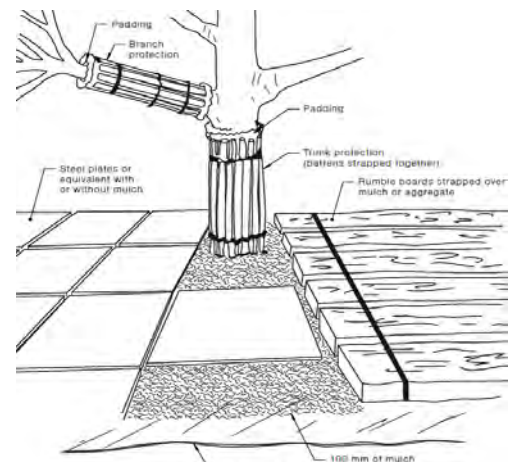


Figure 4 - Ground protection (Image from AS4970-2009)

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#### 7.4.6 SCAFFOLDING

When scaffolding must be erected within the TPZ, cover the ground with a 100mm layer of mulch, and then cover this with boards and plywood to prevent soil compaction, see GROUND PROTECTION.

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#### 7.4.7 SITE STORAGE

A designated storage area where building materials, chemicals etc. can be stored should be located outside the TPZ of retained trees.

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#### 7.4.8 PROHIBITIONS WITHIN THE TPZ

The following activities are prohibited within the TPZ:

- ✘ Machine excavation including trenching (unless approved by the Project Arborist, Arborist supervision may be required)
- ✘ Cultivation
- ✘ Storage
- ✘ Preparation of chemicals, including cement products
- ✘ Parking of vehicles
- ✘ Refuelling
- ✘ Dumping of waste
- ✘ Wash down and cleaning of equipment
- ✘ Placement of fill
- ✘ Lighting of fires
- ✘ Physical damage to the tree
- ✘ Pruning or damaging of roots greater than 30mm in diameter

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#### 7.4.9 DRAINS AND SERVICES

In the event that any drains or services along with any existing proposed encroachments exceed a 10% encroachment of the TPZ or into the SRZ of tree(s) that are proposed to be retained, the following should be undertaken:

Drains or services should be installed by non-root destructive means, as follows:

- Horizontal boring of at least 600 mm in depth. Final depth should be established after consultation with the project arborist and site engineers with consideration to development needs.
- By means of low pressure pneumatic or hydro-excavation to ensure that the bark and cambium of the roots remain undamaged, unless a root investigation determines that the tree(s) would remain viable. Fine roots (<2 mm) are typically destroyed as part of this procedure but usually readily replaced by healthy trees.

Engage suitably qualified arborist (AQF Level 5) to supervise excavation for the drains and services within the TPZ.

The supervising arborist should prune any roots that are encountered in accordance with AS4373-2007 'Pruning of Amenity Trees' Section 9 with sharp, sterilised hand tools. Roots must not be mechanically cut, torn or pulled during excavation.

## 8 APPENDIX

### 8.1 APPENDIX 1 - TREE DATA & PHOTOGRAPHIC EVIDENCE

Tree No.	Botanical Name & Common Name	Age	Origin	Height	Canopy Spread	DBH CA1 DAB	Health	Structure	ULE	Amenity Value	Retention Value	TPZ Radius	SRZ Radius	Permit Required	Intent	Comments	
1	<i>Corymbia maculata</i>	Semi Mature	Native NSW VIC	19.0 m	N-S 13.0 m	0.56 m	Good	Good	20+ years	Moderate	High	6.7 m	2.9 m	Yes - ESO1	Retain		
	1.92 m																
	Spotted Gum				E-W 13.0 m	0.73 m											
2	<i>Corymbia citriodora</i>	Semi Mature	Native NSW QLD	20.6 m	N-S 15.0 m	0.41 m 0.46 m 0.39 m (0.72 m)	Good	Fair	20+ years	Moderate	Moderate	8.6 m	3.2 m	Yes - ESO1	Retain	Significant bark inclusion within main unions at base. Cabling to provide mechanical support advised.	
	1.35 m 1.60 m 1.32 m (4.27 m)																
	Lemon-scented Gum				E-W 15.0 m	0.94 m											
3	<i>Pittosporum eugenioides 'Variegatum'</i>	Semi Mature	Exotic	5.4 m	N-S 4.0 m	0.10 m 0.10 m 0.08 m (0.16 m)	Fair	Fair	10 - 20 years	Low	Low	2.0 m	1.7 m	Yes - ESO1	Retain	Group of 5 trees of the same species. Dimensions averaged.	
	0.35 m 0.35 m 0.28 m (0.97 m)																
	Lemonwood				E-W 4.0 m	0.20 m											
4	<i>Melaleuca sp.</i>	Semi Mature	Native	8.0 m	N-S 5.0 m	0.35 m	Fair	Fair/Good	10 - 20 years	Low	Low	4.2 m	2.1 m	Yes - ESO1	Retain	Mechanical damage to base from grass cutting.	
	1.10 m																
	Bottlebrush				E-W 5.0 m	0.35 m											



Tree No.	Botanical Name & Common Name	Age	Origin	Height	Canopy Spread	DBH CA1 DAB	Health	Structure	ULE	Amenity Value	Retention Value	TPZ Radius	SRZ Radius	Permit Required	Intent	Comments
5	<i>Eucalyptus fulgens</i>	Mature	Native VIC	16.2 m	N-S 16.0 m	0.85 m	Fair	Fair/Good	10 - 20 years	Moderate	Moderate	10.2 m	3.2 m	Yes - ESO1	Retain	Some tip dieback. Deadwood.
					2.51 m											
	Green scentbark				E-W 16.0 m	0.91 m										
6	<i>Cupressus macrocarpa cv.</i>	Semi Mature	Exotic	13.8 m	N-S 7.0 m	0.42 m	Good	Fair/Good	20+ years	Low	Low	5.0 m	2.6 m	No (bushfire)	Retain	Group of 4 trees of the same species. Dimensions averaged. Within 4 metre clearance corridor along fence line.
					1.48 m											
	Monterey Cypress cv.				E-W 7.0 m	0.56 m										
7	<i>Melaleuca styphelioides</i>	Semi Mature	Native NSW QLD VIC	11.6 m	N-S 7.0 m	0.33 m	Good	Fair/Good	20+ years	Low	Low	4.0 m	2.2 m	No (bushfire)	Retain	Within 4 metre clearance corridor along fence line.
					1.10 m											
	Prickly Paperbark				E-W 7.0 m	0.38 m										
8	<i>Betula pendula</i>	Semi Mature	Exotic	14.2 m	N-S 6.0 m	0.28 m	Good	Good	10 - 20 years	Moderate	Moderate	3.4 m	2.1 m	No (bushfire)	Retain	Within 10 metres of dwelling.
					0.94 m											
	Silver Birch				E-W 6.0 m	0.35 m										
9	<i>Betula pendula</i>	Semi Mature	Exotic	15.4 m	N-S 6.0 m	0.25 m	Good	Good	10 - 20 years	Moderate	Moderate	3.0 m	2.1 m	No (bushfire)	Retain	Within 10 metres of dwelling.
					0.85 m											
	Silver Birch				E-W 6.0 m	0.34 m										
10	<i>Mixed sp.</i>	Semi Mature	Mixed	3.0 m	N-S 2.0 m	0.13 m	Good	Good	10 - 20 years	Low	Low	2.3 m	N/A	No (bushfire)	Retain	Mixed vegetation comprised of the following species: - 5 x <i>Cordyline</i> sp. - 1 x <i>Betula pendula</i> Tree dimensions have been averaged. Within 10 metres of dwelling.
					0.41 m											
	Mixed Vegetation				E-W 3.0 m	0.20 m										

Tree No.	Botanical Name & Common Name	Age	Origin	Height	Canopy Spread	DBH CA1 DAB	Health	Structure	ULE	Amenity Value	Retention Value	TPZ Radius	SRZ Radius	Permit Required	Intent	Comments	
11	<i>Eucalyptus fulgens</i>	Semi Mature	Native VIC	15.2 m	N-S 7.0 m	0.40 m 0.40 m (0.56 m)	Fair	Fair	10 - 20 years	Moderate	Neighbouring Tree	6.7 m	2.9 m	Yes - ESO1	Retain	Neighbouring tree located within the eastern adjoining property (10 Fraser Ave.). Recognised weed species.	
	1.32 m 1.32 m (2.64 m)																
	Green scentbark				E-W 7.0 m	0.75 m											
12	<i>Prunus cerasifera 'Nigra'</i>	Semi Mature	Exotic	4.0 m	N-S 3.0 m	0.10 m 0.08 m 0.08 m (0.15 m)	Good	Fair	10 - 20 years	Low	Neighbouring Tree	2.0 m	1.8 m	No (weed)	Retain	Neighbouring tree located within the eastern adjoining property (10 Fraser Ave.). Recognised weed species.	
	0.31 m 0.31 m 0.31 m (0.94 m)																
	Black Cherry Plum				E-W 3.0 m	0.22 m											
13	<i>Ligustrum Lucidum</i>	Semi Mature	Exotic	3.4 m	N-S 3.0 m	0.10 m 0.08 m 0.12 m (0.12 m)	Good	Fair	10 - 20 years	Low	Neighbouring Tree	2.0 m	1.8 m	No (weed)	Retain	Neighbouring tree located within the eastern adjoining property (10 Fraser Ave.). Recognised weed species.	
	0.35 m 0.28 m (0.63 m)																
	Broad-leaf Privet				E-W 3.0 m	0.25 m											
14	<i>Acacia longifolia</i>	Semi Mature	Native NSW QLD SA TAS VIC	4.2 m	N-S 4.0 m	0.08 m 0.08 m 0.08 m 0.07 m 0.06 m (0.16 m)	Good	Fair	10 - 20 years	Low	Neighbouring Tree	2.0 m	1.8 m	No (weed)	Retain	Neighbouring tree located within the eastern adjoining property (10 Fraser Ave.). Recognised weed species.	
	0.25 m 0.28 m 0.25 m 0.25 m 0.25 m (1.29 m)																
	Golden Wattle				E-W 4.0 m	0.25 m											

<p>TREE 1</p>	<p>TREE 2</p>	<p>TREE 2 – BI WITHIN UNIONS</p>	<p>TREE 3</p>	<p>TREE 4</p>
<p>TREE 5</p>	<p>TREES 6 &amp; 7</p>	<p>TREES 8 &amp; 9</p>	<p>TREE 10 (GROUP)</p>	<p>TREE 11</p>

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TREE 12



TREE 13



TREE 14



FRONT BOUNDARY FENCE VIEWED FROM THE WEST



EXISTING DRIVEWAY VIEWED FROM THE NORTH



SITE OF PROPOSED EXTENSION VIEWED FROM THE SOUTH

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## 8.2 APPENDIX 2 - DEFINITION OF TERMS

The following descriptors are used as indicators only. Other factors may be used in assessing an individual tree health, structure, ULE, retention value and amenity value.

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### 8.2.1 TREE DATA TABLE

DBH: Diameter at Breast Height (1.4 meters from ground level)

DAB: Diameter At Base of tree

CA1: Circumference of trunk At 1 meter from ground level

TPZ: Tree Protection Zone

SRZ: Structural Root Zone

---

### 8.2.2 TREE HEALTH

#### GOOD

The tree is demonstrating good or exceptional growth for the species. The tree should exhibit a full canopy of foliage and have only minor pest or disease problems. Foliage colour size and density should be typical of a health specimen of that species.

#### FAIR

The tree is in reasonable condition and growing well for the species. The tree should exhibit an adequate canopy of foliage. There may be some dead wood in the crown, some grazing by insect or animals may be evident, and/or foliage colour, size or density may be atypical for a healthy specimen of that species.

#### POOR

The tree is not growing to its full capacity. Extension growth of the laterals may be minimal. The canopy may be thinning or sparse. Large amounts of dead wood may be evident throughout the crown, as well as significant pest and disease problems. Other symptoms of stress indicating tree decline may be present.

#### VERY POOR

The tree appears to be in a state of decline, and the canopy may be very thin and sparse. A significant volume of dead wood may be present in the canopy, or pest and disease problems may be causing a severe decline in tree health.

#### DEAD

The tree is no longer alive.

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### 8.2.3 STRUCTURE

The definition of structure is the likelihood of the tree to fail under normal condition. A tree with good structure is highly unlikely to suffer any significant failure, while a tree with poor to very poor structure is likely or very likely to fail.

#### GOOD

The tree has a well-defined and balanced crown. Branch unions appear to be strong, with no defects evident in the trunks or the branches. Major limbs are well defined. The tree would be considered a good example for the species. Probability of significant failure is highly unlikely.

#### FAIR

The tree has some minor problems in the structure of the crown. The crown may be slightly out of balance at some branch unions or branches may be exhibiting minor structural faults. If the tree has a single trunk, this may be on a slight lean, or be exhibiting minor defects. Probability of significant failure is low.

#### POOR

The tree may have a poorly structured crown, the crown may be unbalanced, or exhibit large gaps. Major limbs may not be well defined; branches may be rubbing or crossing over. Branch unions may be poor or faulty at the point of attachment. The tree may have suffered major root damage. Probability of significant failure is moderate.

#### VERY POOR

The tree has a poorly structured crown. The crown is unbalanced or exhibits large gaps. Major limbs are not well defined. Branch unions may be poor or faulty at the point of attachment. A section of the tree has failed or is in imminent danger of failure. Active failure may be present, or failure is probably in the immediate future.

Failed: A significant section of the tree or the whole tree has failed.

---

### 8.2.4 USEFUL LIFE EXPECTANCY (ULE)

Useful life expectancy is approximately how long a tree can be retained safely and usefully in the landscape providing site conditions remain unchanged and the recommended works are completed. It is based on the principals of safety and usefulness in the landscape and should not reflect personal opinions on species suitability.

#### UNSAFE OR 0 YEARS

The tree is considered dangerous in the location and/or No longer provides any amenity value.

#### LESS THAN 5 YEARS

The tree under normal circumstances and without extra stress should be safe and have value of maximum of 5 years. The tree will need to be replaced in the short term. Replacement plants should be established as soon as possible if there is efficient space, or consideration should be given to the removal of the tree to facilitate replanting.

#### 5 TO 10 YEARS

The tree under normal circumstances and without extra stress should be safe and have value of maximum of 10 years. Trees in this category may require regular inspections and maintenance particularly if they are large

specimens. Replacement plants should be established in the short term if there is sufficient space, or consideration should be given to the removal of the tree to facilitate replanting.

#### 10 TO 20 YEARS

The tree under normal circumstances and without extra stress should be safe and of value of up to 20 years. During this period, regular inspections and maintenance will be required.

#### 20 + YEARS

The tree under normal circumstances and without extra stress should be safe and of value of more than 20 years. During this period, regular inspections and maintenance will be required.

---

### 8.2.5 TREE RETENTION VALUE

#### HIGH

The tree may be significant in the landscape, offer shade and other amenities such as screening. The tree may assist with erosion control, offer a windbreak or perform a vital function in the location (e.g. habitat, shade, flowers or fruit). The tree is free from structural defects and is vigorous. Consider the retention of the tree and designing the development to accommodate the tree.

#### MODERATE

The tree may offer some screening in the landscape or serve a particular function in the location and have minor structural defects. The tree may be entering the mature stage of its life cycle. The tree may be retained if it does not hamper the design intent.

#### LOW

The tree offers very little in the way of screening or amenity and may have significant structural defects. The tree may also be mature and entering the senescent stage of its life cycle. The tree may be removed if necessary.

#### NEIGHBOURING TREE

The tree is located within an adjoining private property/land. The tree is to be protected unless written consent from the tree owner(s) and/or responsible authority is obtained. Consider the retention of the tree unless written consent is obtained from the tree owner and/or responsible authority.

#### COUNCIL OWNED TREE

The tree is located within Council owned land. The tree is to be protected unless written consent from the responsible authority is obtained. Consider the retention of the tree unless written consent is obtained from the tree owner and/or responsible authority.

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### 8.2.6 AGE

**YOUNG:** Juvenile or recently planted.

**SEMI MATURE:** Tree actively growing.

**MATURE:** Tree has reached expected size in situation.

**SENESCENT:** Tree is over mature and has started to decline.



## 8.2.7 AMENITY VALUE

The amenity value rating considered the impact that the tree has on any neighbouring sites as being equally important to that supplied to the subject site. However, trees that contribute to the general area (e.g. streetscape) are given a greater weight.

### VERY LOW

Tree makes little or no amenity value to the site or surrounding areas. In some cases, the tree might be detrimental to the area's amenity value (e.g. unsightly, risk of weed spread)

### LOW

Tree makes some contribution of amenity value to the site but makes no contribution to the amenity value of surrounding areas. The removal of the tree may result in little loss of amenity. Juvenile trees, including street trees are generally included in this category. However, they may have the potential to supply increased amenity in the future.

### MODERATE

The tree makes a moderate contribution to the amenity of the site and/or may contribute to the amenity of the surrounding area.

### HIGH

The tree makes a significant contribution to the amenity value of the site, or the tree makes a moderate contribution to the amenity value of the larger landscape.

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## 10 LIMITATION OF LIABILITY

Information contained in this report covers the tree(s) that were examined and reflect the condition of those tree(s) at the time of inspection. There is no warranty or guarantee expressed or implied that the problems or deficiencies of the trees or property in question may not arise in the future. Trees can be managed, but they cannot be controlled. To live or work near a tree involves a degree of risk. The only way to eliminate all risks involved with a tree is to eliminate the tree.

Property boundaries and ownership, disputes between neighbours, landlord-tenant matters, and related incidents are beyond the scope of the engagement of the author and are not considered in this report.

Unless stated otherwise, there was no access to neighbouring properties, assessment is therefore limited only to parts of the trees that are visible from within the subject site and any neighbouring tree dimensions are estimated.

Unless otherwise expressed in this report, this report only applies to and only covers identifiable defects and issues present at the time of an external, visual and non-disturbance tree inspection requested by the client. It does not include an internal/invasive inspection inside the tree trunk or below the ground (i.e. a root inspection) and accordingly it is always possible that defects including decay, could remain undetected, concealed or out of reasonable view and examination.

Trees are living entities and as such are subject to the forces of nature and third-party intervention, all of which are outside the control of the author. The inspection and recommendations in this report whilst undertaken with all due care, skill and appropriate arboriculture expertise, can only apply to what is reasonably identifiable in the specific inspection requested by the client and which is the subject of this report.

Accordingly, the author cannot guarantee that the tree(s) inspected as part of this report are and will remain structurally sound and safe under all circumstances and cannot guarantee that the recommendations made in this report will categorically render the tree(s) hazard free.

The author accepts no responsibility for and cannot be held liable for:

- Any structural defects (including internal defects within the tree itself – unless part of the requested inspection) that only become reasonably apparent post the inspection contained in this report, unless they are clearly contemplated and set out in and part of, and within the time validity, of this report.
- Any damage or injury caused by any act or omission of the client in implementing or not implementing recommendations made by the author; or
- Any unforeseen weather events/conditions or any third-party intervention that impacts upon the inspected tree(s), which occurs post, the inspection contained in this report.
- Any actual or implied impacts or delay to the planning or construction of the project.
- Any costs related to amendments or changes to any planning or construction as a result of a recommendation made in this report.
- The health and structure of the tree post development.
- Any material facts which you have withheld from us when providing your instructions (whether knowingly or recklessly) which ought reasonably to have been disclosed to us as they may have had a bearing on the outcome of our findings.
- Any adverse effects as a result of the implementation of recommendations made within tree management plans produced by T&T Arboriculture (or from another arborist's report provided by you) undertaken in the capacity of Project Arborist or otherwise.

All written reports must be read in their entirety, at no time shall part of the written assessment be referred to unless taken in full context of the whole written report.

This report and its recommendations are valid as at the time of the inspection only.

# Residence

## Alterations & Additions

**12 Fraser Ave  
Beaconsfiled  
Upper Vic 3808**

Job No:23051



**DRAKE DESIGN PTY LTD**

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### TOWN PLANNING ISSUE

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#### \_Drawing List\_TP

DWG NO.	TITLE	REVISION
TP000	Cover Sheet	1
TP100	Neighbourhood Site Description	1
TP101	Existing / Demo Site Plan	1
TP102	Existing / Demo Ground Plan	1
TP103A	Proposed Site Plan	1
TP103B	Proposed Full Site Plan	1
TP104	Proposed Garden Area	1
TP105	Shadow Diagrams	1
TP202	Proposed Floor Plan	1
TP501	Proposed Elevations	1
TP502	Proposed Elevations	1
TP601	Proposed Materials	1
TP901	Proposed 3D Views	1



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## Alterations & Additions

**12 Fraser Ave Beaconsfiled Upper Vic 3808**

Mileah & Graham Andrews

Job No:23051

Cover Sheet **TP000** 1

Date: MAR. 2024

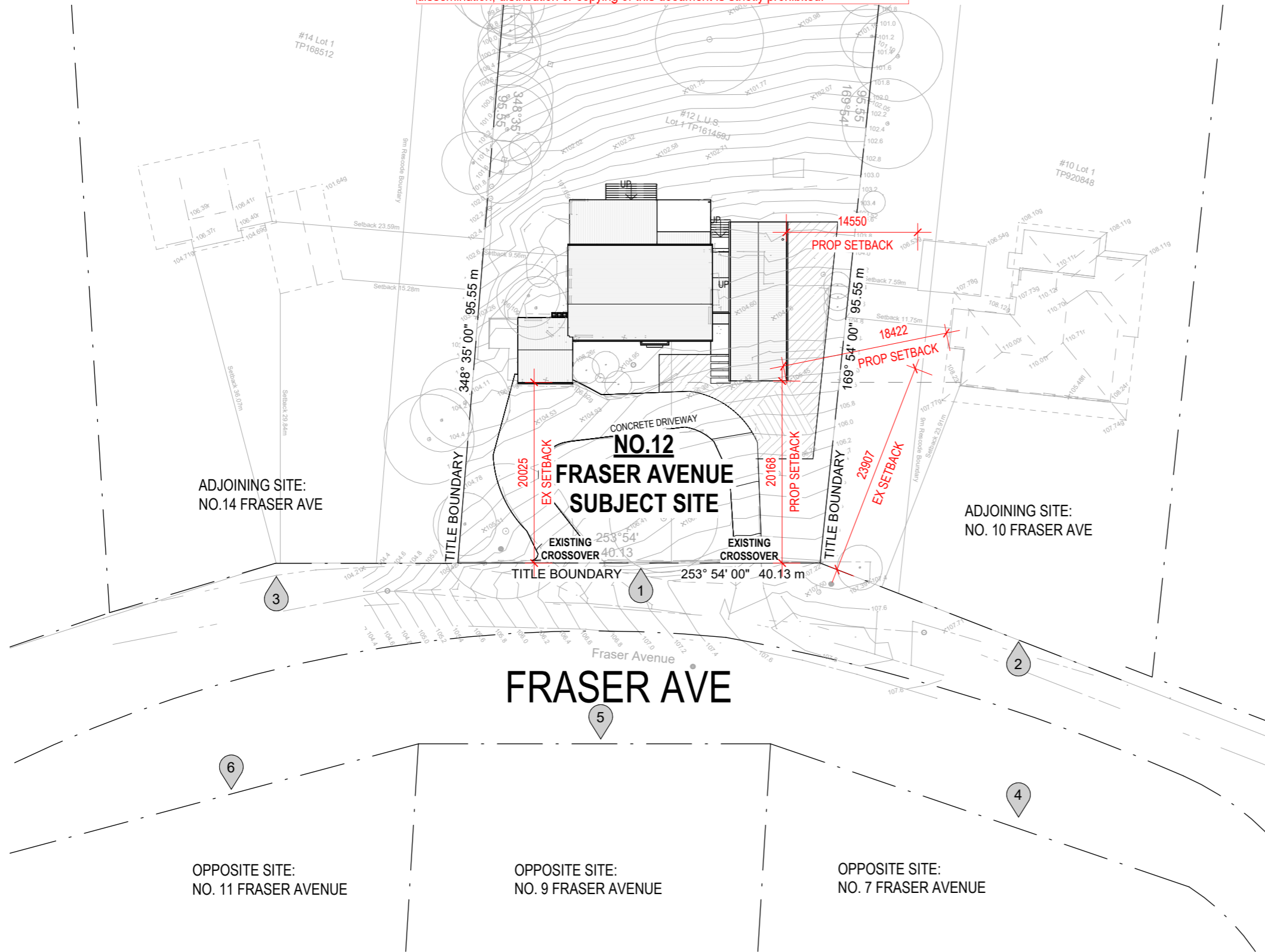
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**NEIGHBOURHOOD SITE DESCRIPTION**



1 **SUBJECT SITE: 12 FRASER AVENUE - EXISTING SINGLE STOREY DWELLING (BRICK VENEER)**



2 **ADJOINING SITE: 10 FRASER AVENUE - EXISTING SINGLE STOREY DWELLING (BRICK VENEER)**



3 **ADJOINING SITE: 14 FRASER AVENUE - EXISTING DOUBLE STOREY DWELLING (WEATHERBOARD)**



4 **OPPOSITE SITE: 7 FRASER AVENUE - EXISTING SINGLE STOREY DWELLING (BRICK VENEER)**



5 **OPPOSITE SITE: 9 FRASER AVENUE - EXISTING DOUBLE STOREY DWELLING (BRICK VENEER)**

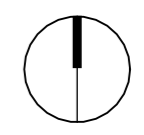


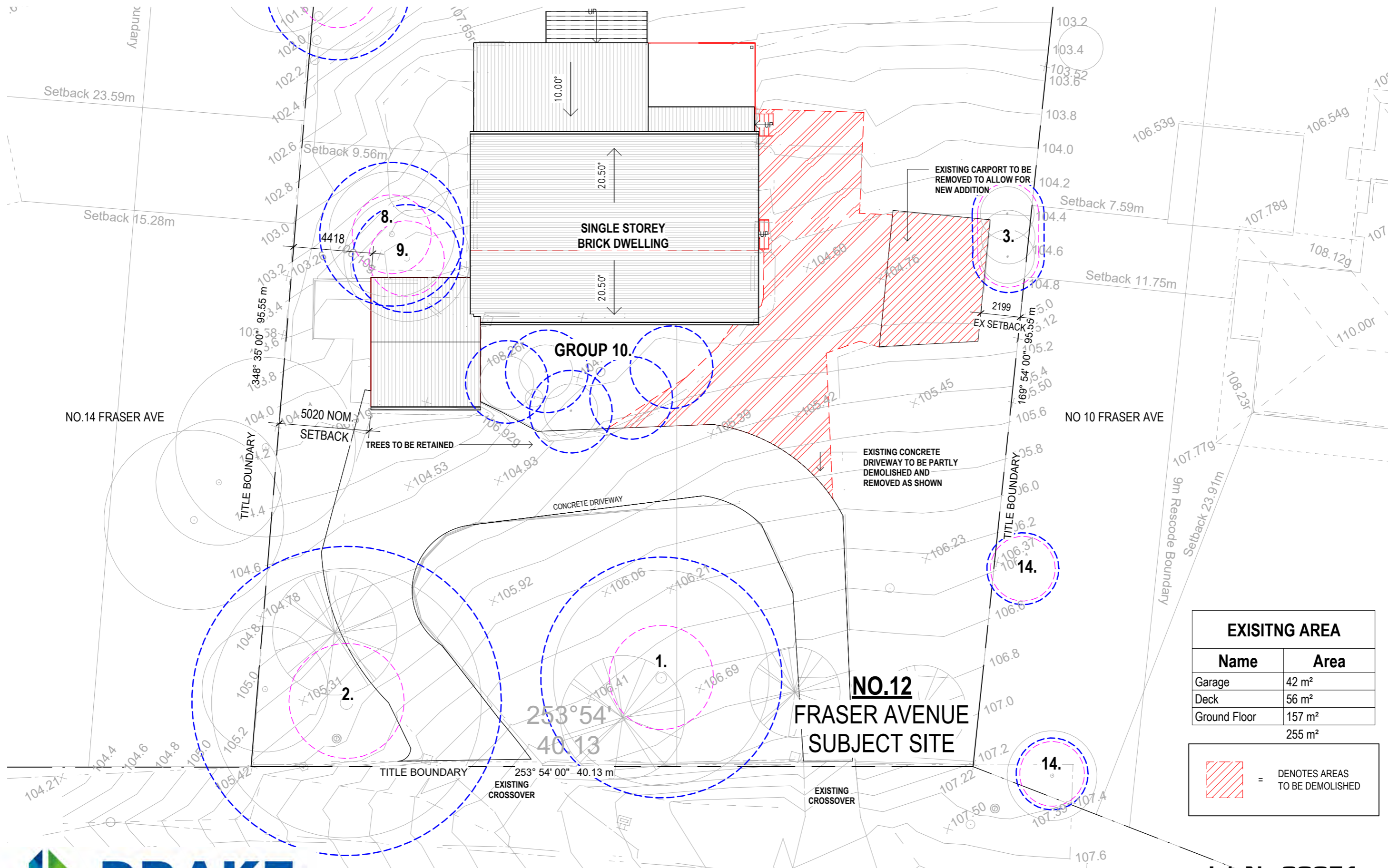
6 **OPPOSITE SITE: 11 FRASER AVENUE - EXISTING SINGLE STOREY DWELLING (BRICK VENEER)**

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**Neighbourhood Site Description TP100 1**  
 Date: MAR. 2024 Scale: 1 : 500 Drawn by: MK  
 Rev No. 1 Description TP1 ISSUE Date 26.03.2024





EXISTING AREA	
Name	Area
Garage	42 m <sup>2</sup>
Deck	56 m <sup>2</sup>
Ground Floor	157 m <sup>2</sup>
	255 m <sup>2</sup>

	= DENOTES AREAS TO BE DEMOLISHED
---	----------------------------------



**Existing Site Plan - TP 1 G N**  
 SCALE 1:200  
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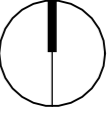
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**Job No: 23051**  
**Existing / Demo Site Plan TP101 1**

Date: MAR. 2024 Scale: As indicated Drawn by: MK

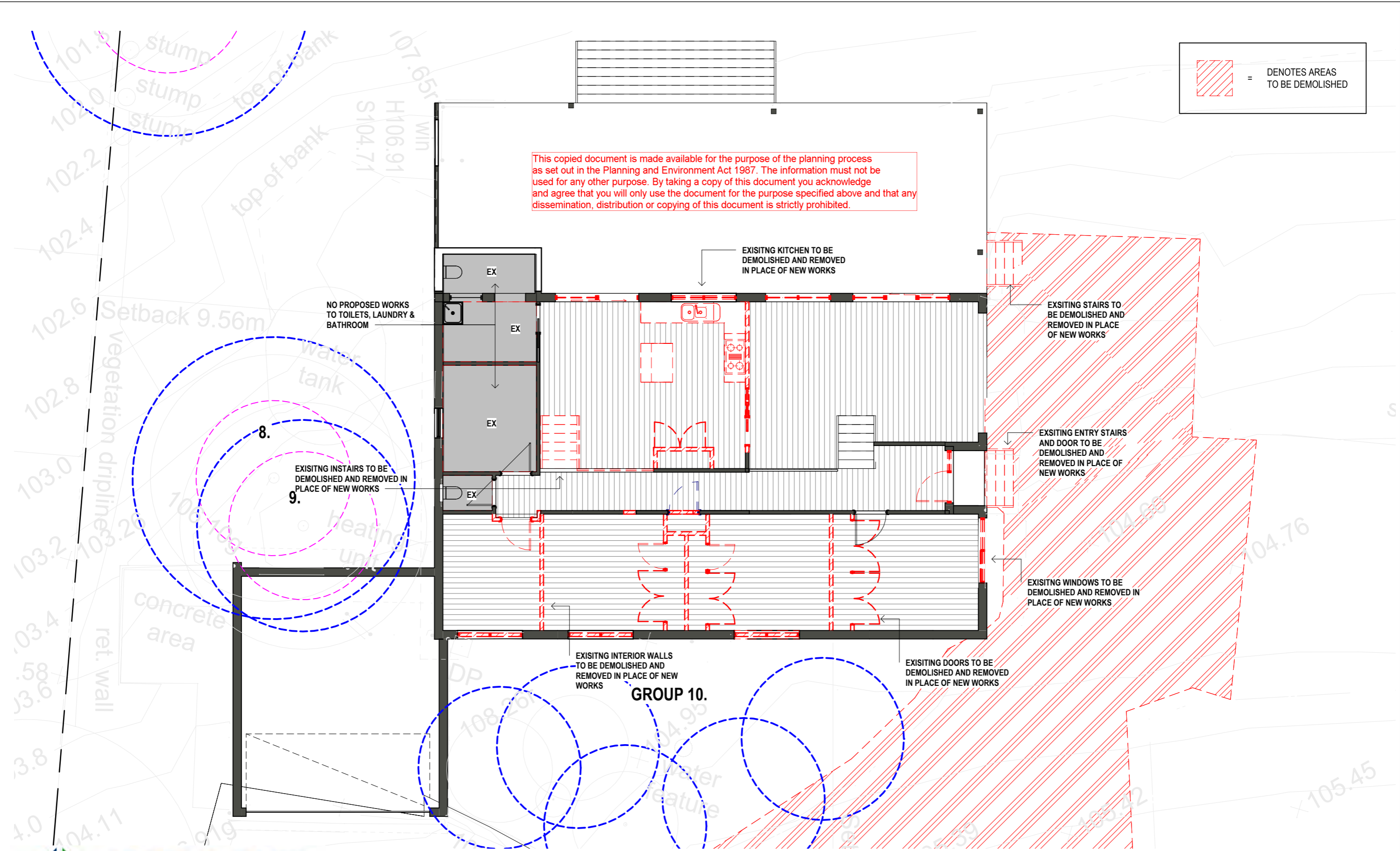
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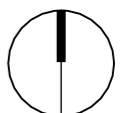
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Mileah & Graham Andrews

**Job No:23051**  
**Existing / Demo Ground Plan TP102 1**

Date: MAR. 2024 Scale: As indicated Drawn by: MK

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**SITE PLAN NOTES.**

GENERALLY:  
• ALL BOUNDARY DIMENSIONS ARE APPROXIMATE & TO BE VERIFIED WITH A CLEAR COPY OF TITLE;

**CIVIL DRAINAGE PLAN TO TAKE PRECEDENCE OF SITE PLAN STORMWATER LAYOUT**

MINIMUM REQUIREMENTS FOR NEW STORMWATER DRAINS:  
• BUILDER TO OBTAIN LEGAL POINT OF DISCHARGE FROM AUTHORISED AUTHORITIES PRIOR TO CONSTRUCTION;  
• STORM WATER LAYOUT IS ONLY INDICATIVE & SHOULD BE VERIFIED PRIOR TO THE COMMENCEMENT OF ANY WORKS;  
• CONNECT ALL DOWN PIPES TO THE SATISFACTION OF LOCAL COUNCIL AUTHORITIES NOMINATED LEGAL POINT OF DISCHARGE; BUILDER SHALL VERIFY ALL LEVELS TO ENSURE ADEQUATE DISCHARGE DRAINAGE PRIOR TO ANY WORKS. PROVIDE MIN. OF 1 D.P. EVERY 12m;  
• PROVIDE 90mmØ UPVC STORMWATER PIPES AS REQUIRED;  
• PROVIDE 300mm GROUND COVER TO ALL DRAINS.

- d.p. SELECTED 90mmØ OR SIMILAR DOWNPIPES
- spnd. SELECTED 90mmØ OR SIMILAR SPREADER
- d.p./r.w.h. SELECTED 90mmØ DOWNPIPES WITH RAIN WATER HEAD

SITE PREPARATION:  
• SITE TO BE SCRAPED APPROX. 100mm ALLOWING FOR THE REMOVAL OF ANY VEGETATION AND TO PROVIDE A LEVEL BASE FOR THE FOOTING SYSTEM DESIGNED BY AN ENGINEER; SPREAD FILL OVER REMAINING BUILDING AREA TO BE LEVEL; TO BE CONFIRMED PRIOR TO THE COMMENCEMENT OF ANY WORKS;  
• ALL SITE CUTS, FILL, BATTER OR SCRAPES TO BE CONFIRMED BY BUILDER PRIOR TO THE COMMENCEMENT OF ANY WORKS;  
• ALL FINISHED FLOOR LEVELS TO BE CONFIRMED BY BUILDER PRIOR TO ANY WORKS;

F.F.L. FINISHED FLOOR REDUCED LEVEL.

PRELIMINARY SITE LEVELS:  
SITE LEVELS ARE APPROXIMATE ONLY DUE TO EXISTING SITE CONDITIONS (EXISTING STRUCTURES); SITE LEVELS WILL BE RE-ASSESSED ON COMPLETION OF CLEARING SITE.

ENERGY EFFICIENCY RATING:  
THE PROPOSED BUILDING IS TO EXCEED THE MINIMUM ENERGY PERFORMANCE STANDARDS REQUIRED BY THE CURRENT EDITION OF THE BUILDING CODE OF AUSTRALIA.

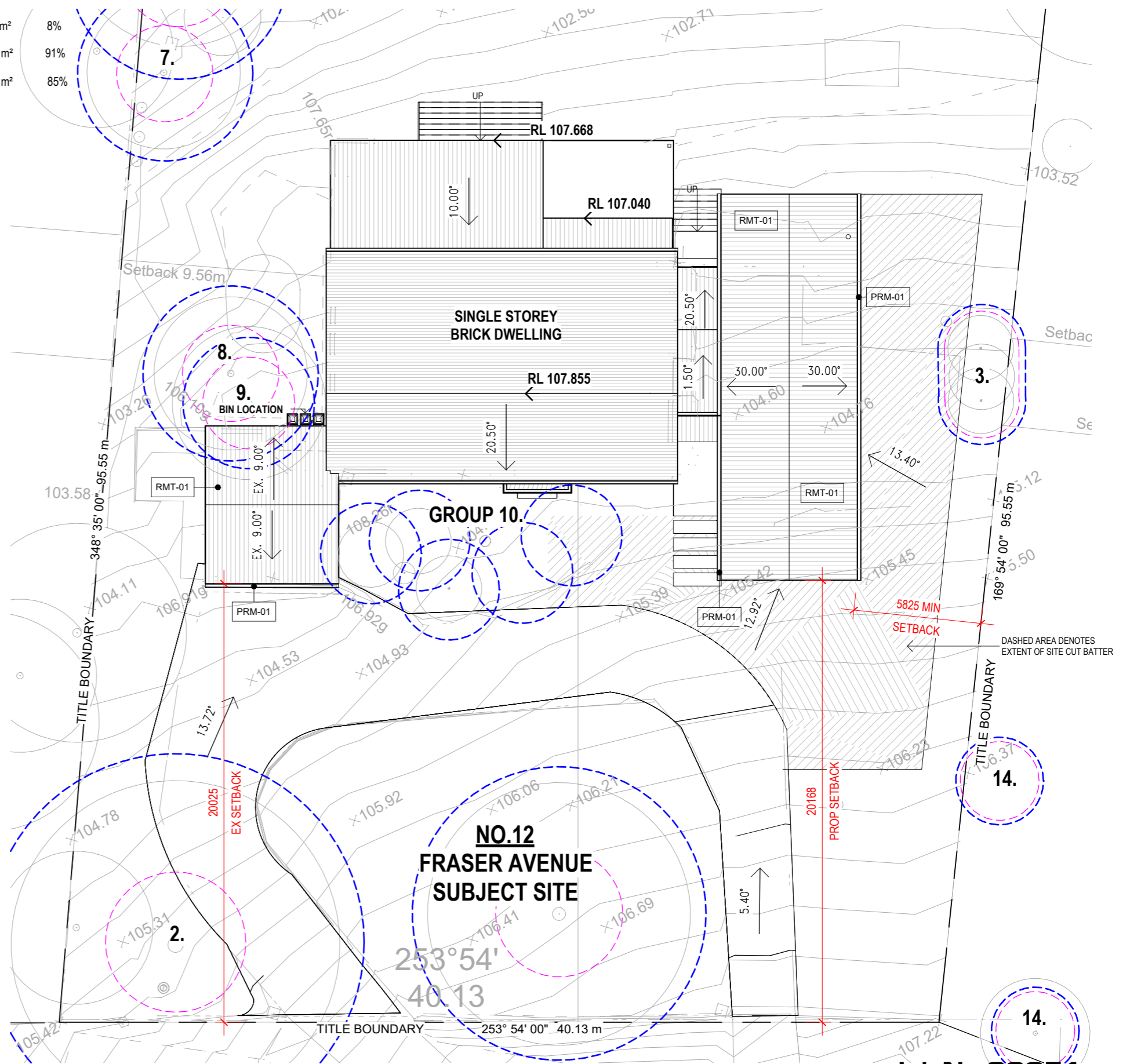
TERMITE PROTECTION:  
PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH A.S.3660.1

TEMPORARY FENCING:  
BUILDER TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES TO COMPLY WITH THE REQUIREMENTS OF LOCAL AUTHORITIES BY-LAWS.

TIMBER FRAMING NOTES:  
90 x 45mm F5 PINE TOP & BOTTOM PLATES;  
90 x 45mm F5 PINE STUDS @ 450mm CENTRES TO EXTERNAL WALLS;  
90 x 35mm F5 PINE STUDS @ 600 CENTRES TO INTERNAL WALLS;  
NOGGINS AT HALF STUDS.

- LEGEND :-**
- \* S/W DRAIN OUTLET
  - + SEWER MANHOLE
  - W WATER METER
  - HW HOT WATER
  - R+ RECYCLED WATER POINT
  - T+ EXTERNAL WATER POINT
  - ⊕ CAPPED GAS POINT
  - G GAS METER
  - ⊙ DOWN PIPE LOC.
  - ⊠ METER BOX LOC.
  - SW- STORM WATER RUN
  - ⊗ EXISTING TREES
  - TREES REMOVED
  - (S) SMOKE DETECTOR
  - ⊙ EXHAUST FAN
  - RWT RAINWATER TANK

Site Coverage	331.49 m <sup>2</sup>	8%
Permeable Area	3576.94 m <sup>2</sup>	91%
Garden Area	3323.01 m <sup>2</sup>	85%



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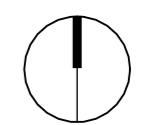
**Alterations & Additions**  
**12 Fraser Ave Beaconsfield Upper Vic 3808**  
 Mileah & Graham Andrews

**Job No:23051**  
**Proposed Site Plan TP103A1**

Date: MAR. 2024 Scale: As indicated Drawn by: MK

Rev No.	Description	Date
1	TP1 ISSUE	26.03.2024

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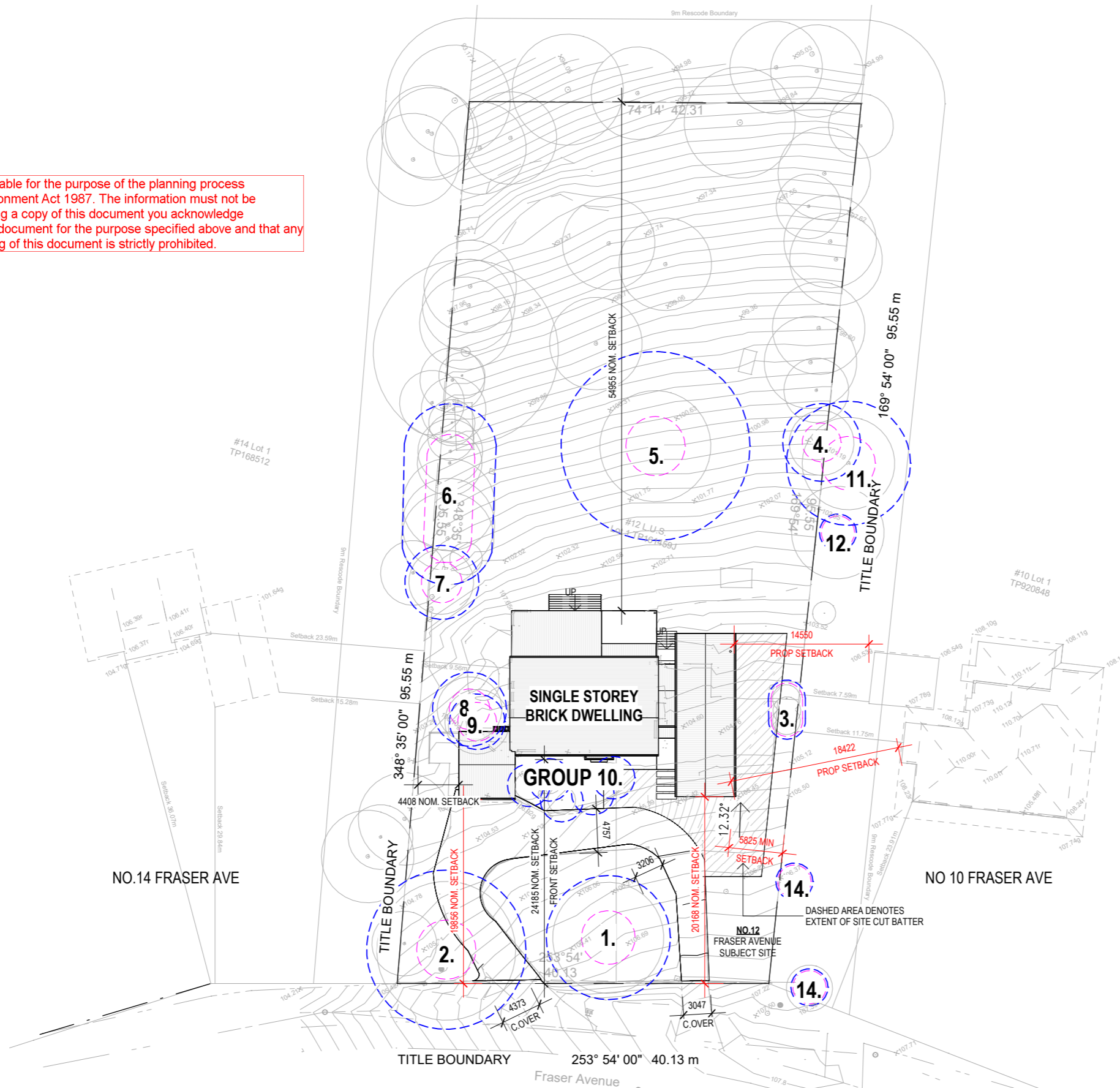




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**SITE CALCULATIONS**

	Area	Percentage
Site	3921.53 m <sup>2</sup>	100%
Site Coverage	331.49 m <sup>2</sup>	8%
Garden Area	3323.01 m <sup>2</sup>	85%
Permeable Area	3576.94 m <sup>2</sup>	91%



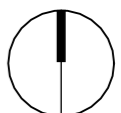
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 Mileah & Graham Andrews

**Job No:23051**  
**Proposed Full Site Plan TP103B1**

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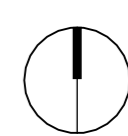
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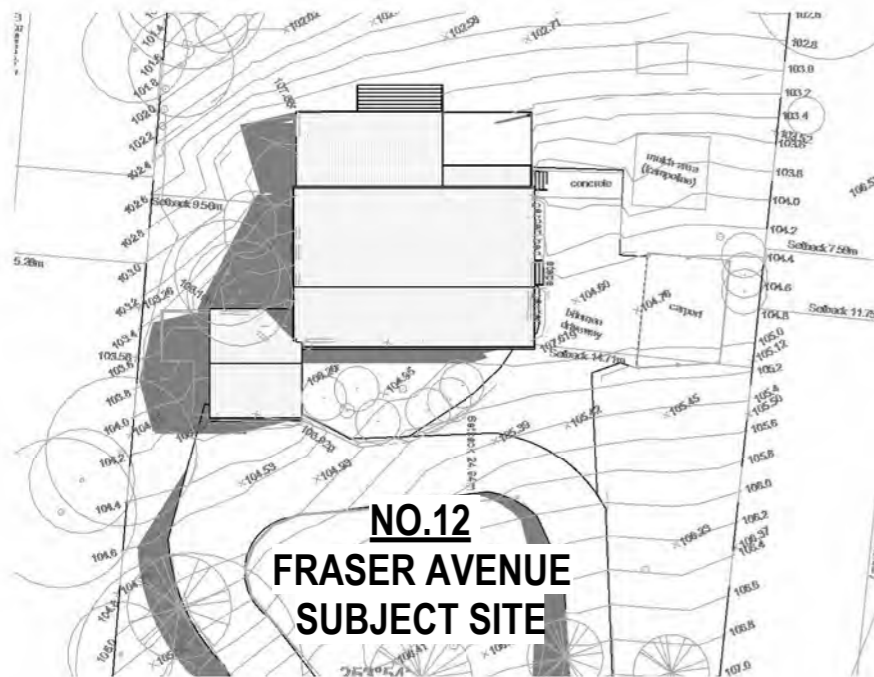
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**12 Fraser Ave Beaconsfield Upper Vic 3808**  
Mileah & Graham Andrews

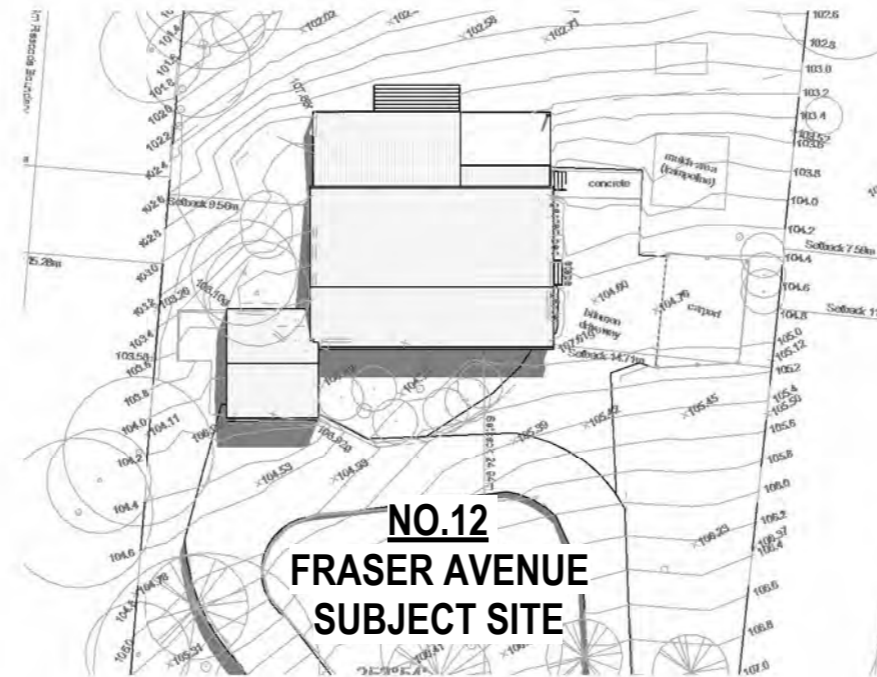
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**Proposed Garden Area TP104 1**

Date: MAR. 2024 Scale: 1 : 500 Drawn by: MK  
Rev No. 1 Description TP1 ISSUE Date 26.03.2024

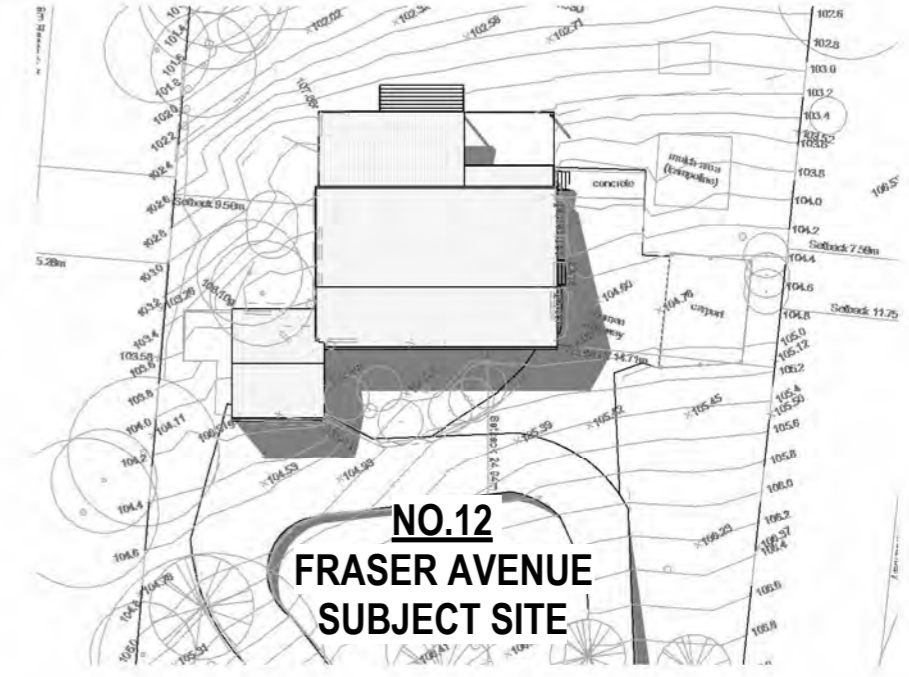




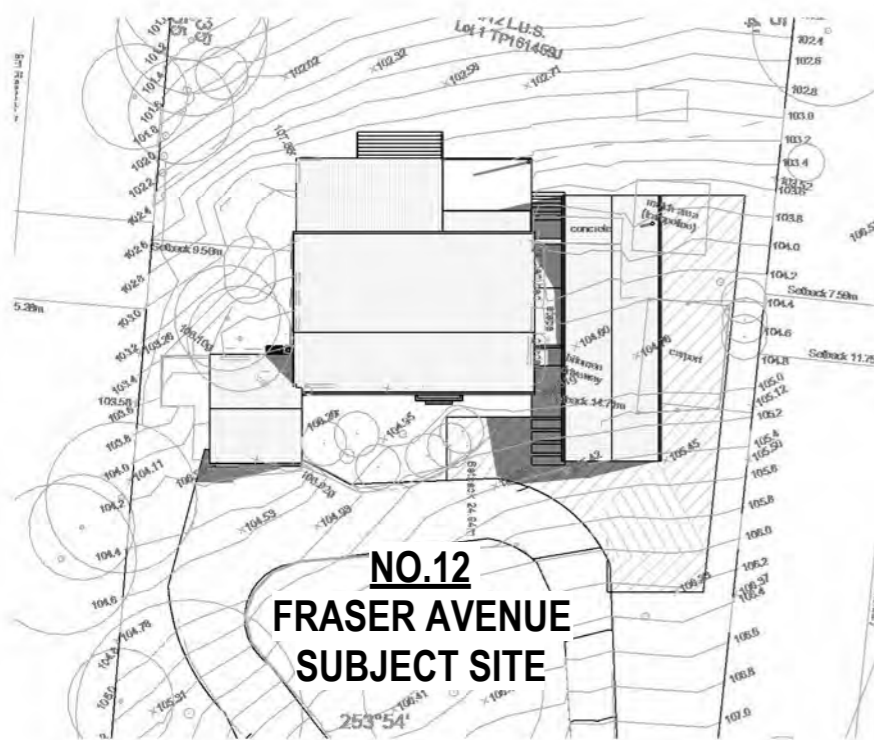
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SCALE 1 : 500



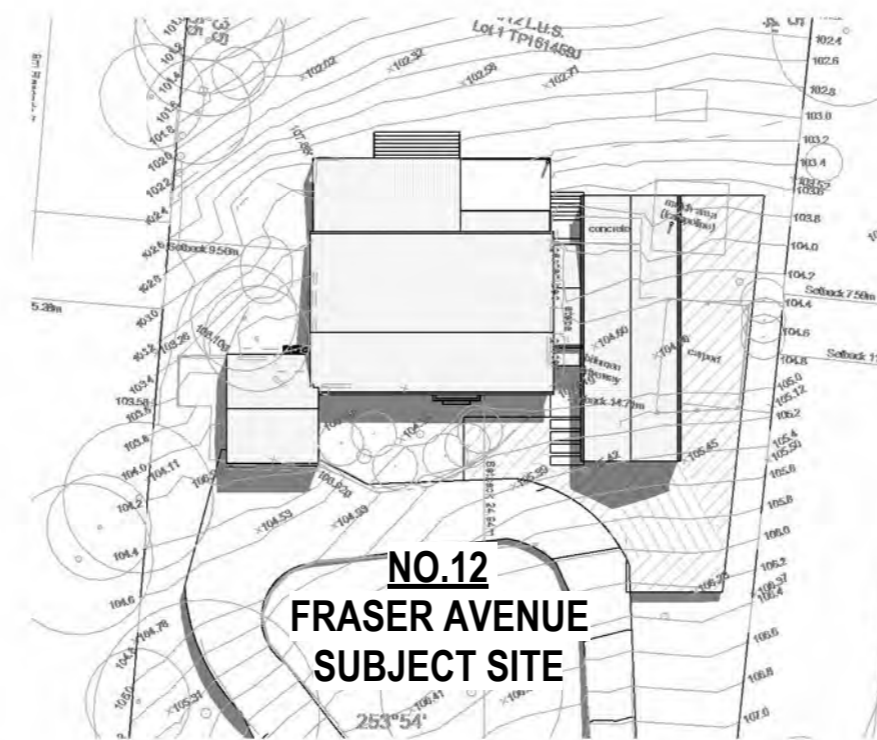
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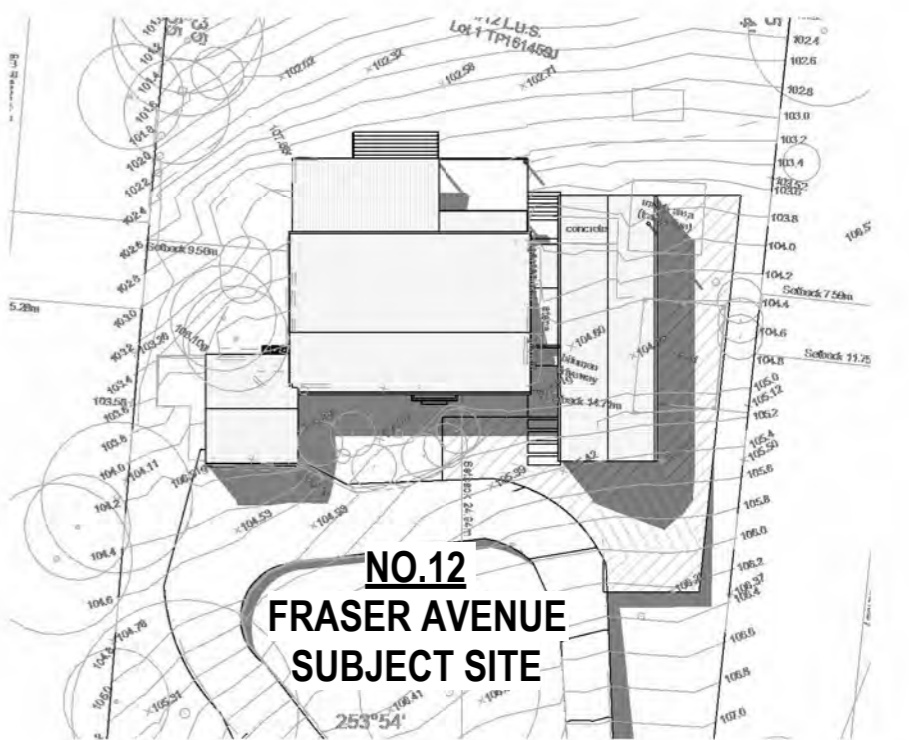
3 Existing Shadow 3pm  
SCALE 1 : 500



4 Proposed Shadow 9am  
SCALE 1 : 500



5 Proposed Shadow 12pm  
SCALE 1 : 500



6 Proposed Shadow 3pm  
SCALE 1 : 500

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**NOTE:**  
ALL SHADOW CASTING ON 22<sup>ND</sup> OF SEPTEMBER



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**Alterations & Additions**

**12 Fraser Ave Beaconsfield Upper Vic 3808**

Mileah & Graham Andrews

**Job No:23051**  
**Shadow Diagrams TP105 1**

Date: MAR. 2024

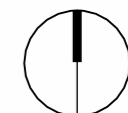
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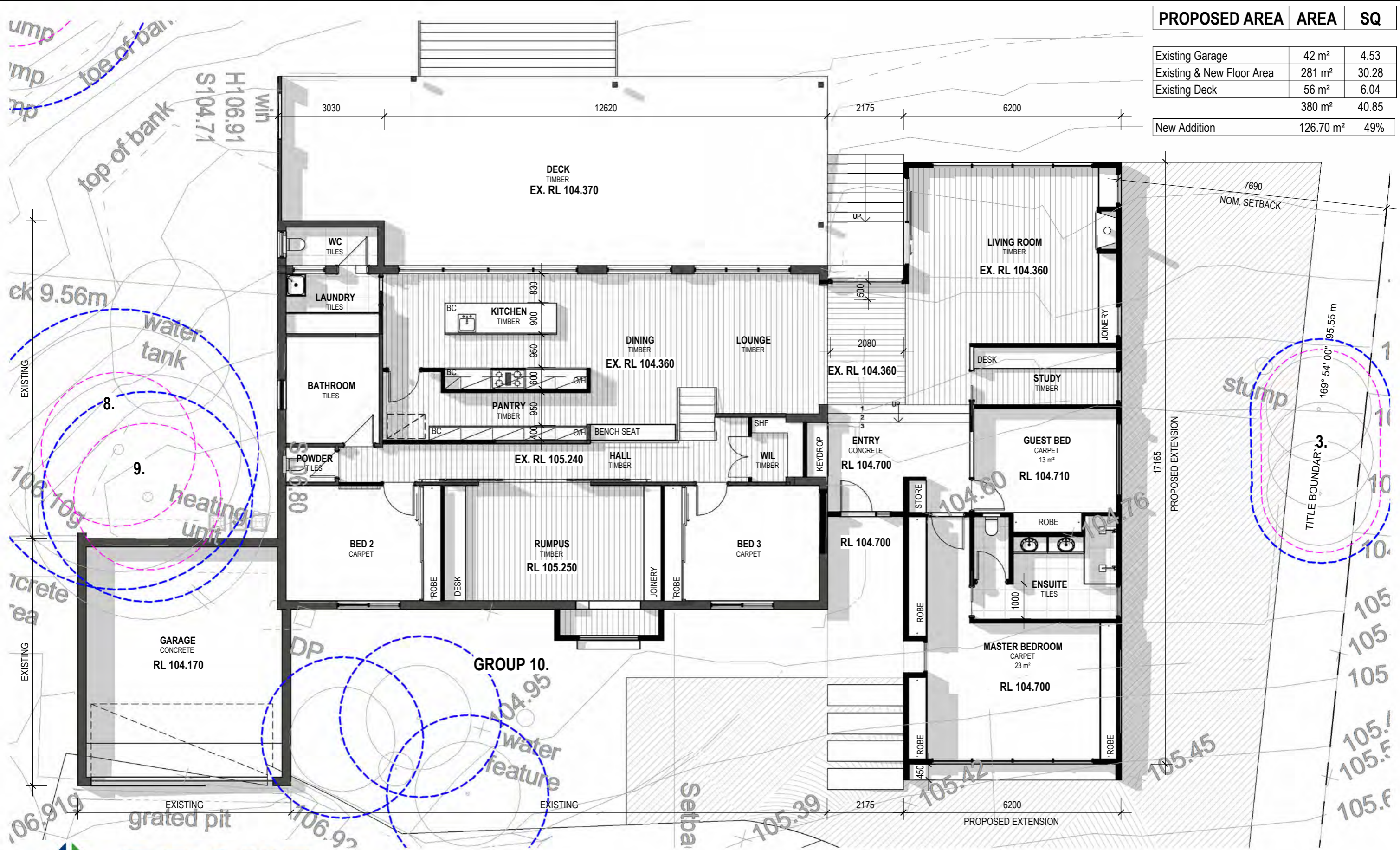
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PROPOSED AREA	AREA	SQ
Existing Garage	42 m <sup>2</sup>	4.53
Existing & New Floor Area	281 m <sup>2</sup>	30.28
Existing Deck	56 m <sup>2</sup>	6.04
	380 m <sup>2</sup>	40.85
New Addition	126.70 m <sup>2</sup>	49%



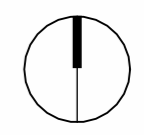
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**Alterations & Additions**  
**12 Fraser Ave Beaconsfield Upper Vic 3808**  
 Mileah & Graham Andrews

**Job No: 23051**  
**Proposed Floor Plan TP202 1**

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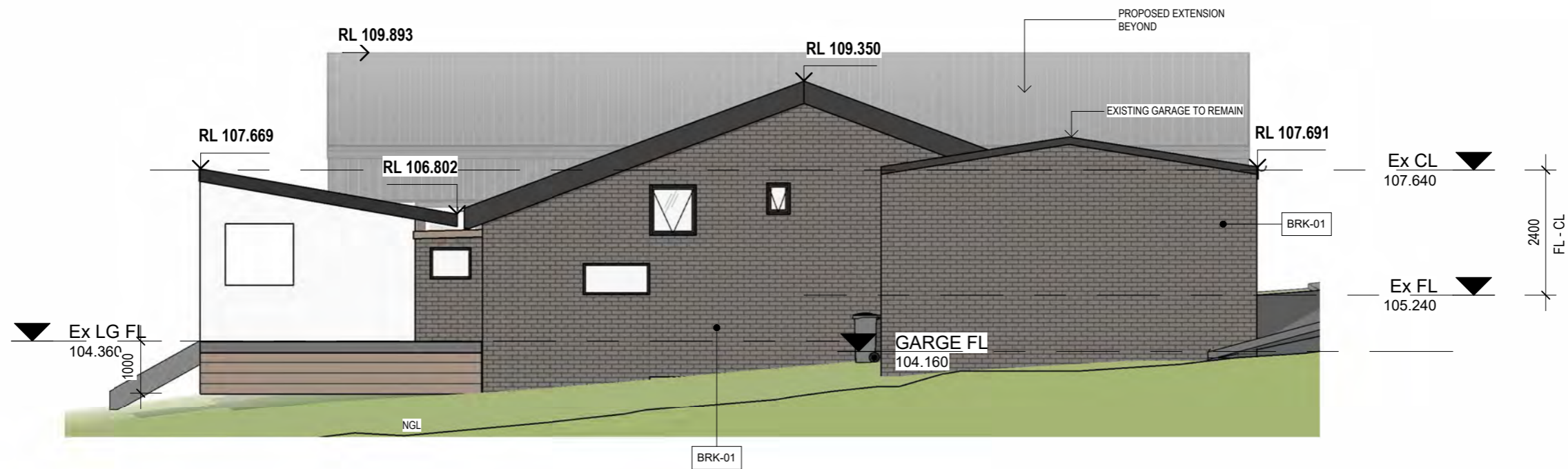
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1 Proposed Elevation A  
SCALE 1 : 100

LEGEND	GENERAL NOTES	ENERGY EFFICIENCY NOTES	NEW CONSTRUCTION:	DOOR SEALS
FG - FIXED GLAZING OS - OPENABLE SASH AS - AWNING SASH DH - DOUBLE HUNG OB - OBSCURE GLAZING SL - SLIDING L - OPENABLE LOUVRES ALL WINDOWS TO BE POWDERCOATED ALUMINIUM FRAMING UNLESS OTHERWISE NOTED.	ALL GROUND LINES & LEVELS ARE TO BE VERIFIED ON SITE BY BUILDER.  400mm CLEARANCE TO UNDERSIDE OF BEARER IN ACCORDANCE WITH AS-3660.1 TERMITE MANAGEMENT.  EAVES TO BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIAL WHERE WITHIN 900mm OF THE BOUNDARY	DRAWINGS TO BE READ IN CONJUNCTION WITH ANY RELEVANT ENERGY RATING REPORT	Refer to the minimum requirements: - GROUND FLOOR R2.25 ADDED THERMAL INSULATION - WALLS R2.8 ADDED THERMAL INSULATION PLUS SISALATION - CEILING MINIMUM R5.1 ADDED THERMAL INSULATION PLUS SARKING	BRUSH SEALS TO UTILITY ROOM DOORS. SILL SEALS TO EXTERNAL HINGED DOORS. DRAFT EXCLUSION WEATHER SEAL WITH TAPED HORIZONTAL AND VERTICAL JOINTS. SEALED GAPS AROUND WINDOWS AND EXTERNAL DOORS. DRAFT PREVENTION

NOTE:  
WINDOW CONFIGURATION AND DIMENSIONS TO BE CONFIRMED BETWEEN CLIENT AND THE MANUFACTURER PRIOR TO THE COMMENCEMENT OF WORKS.



2 Proposed Elevation B  
SCALE 1 : 100



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Alterations & Additions  
12 Fraser Ave Beaconsfield Upper Vic 3808  
Mileah & Graham Andrews

Job No: 23051  
Proposed Elevations TP501 1

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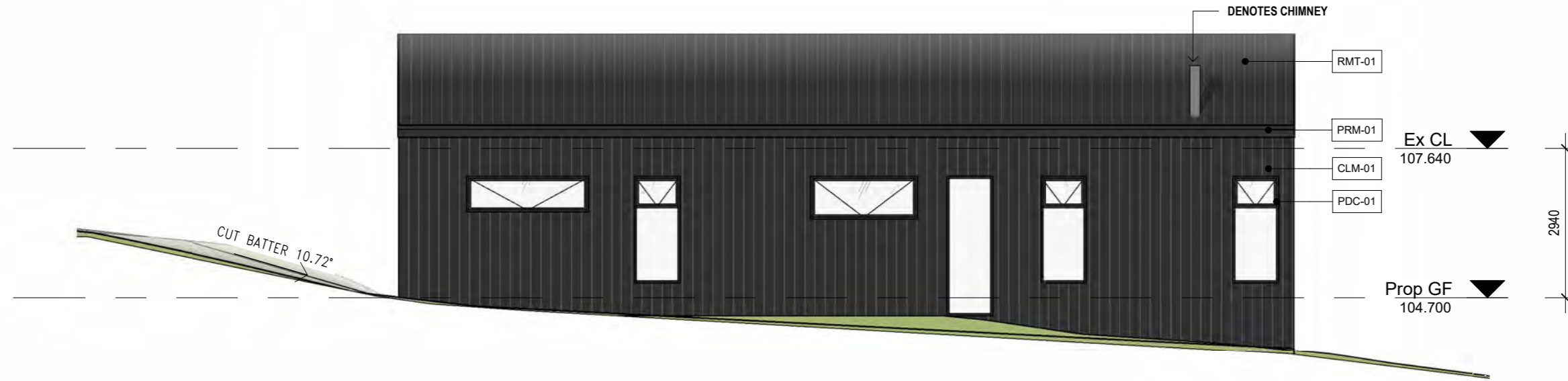


**1 Proposed Elevation C**  
SCALE 1 : 100




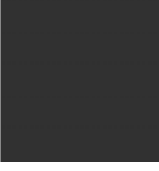
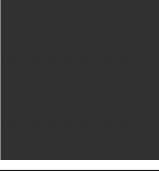

<p><b>LEGEND</b></p> <p>FG - FIXED GLAZING OS - OPENABLE SASH AS - AWNING SASH DH - DOUBLE HUNG OB - OBSCURE GLAZING SL - SLIDING L - OPENABLE LOUVRES ALL WINDOWS TO BE POWDERCOATED ALUMINIUM FRAMING UNLESS OTHERWISE NOTED.</p>	<p><b>GENERAL NOTES</b></p> <p>ALL GROUND LINES &amp; LEVELS ARE TO BE VERIFIED ON SITE BY BUILDER.</p> <p>400mm CLEARANCE TO UNDERSIDE OF BEARER IN ACCORDANCE WITH AS-3660.1 TERMITE MANAGEMENT.</p> <p>EAVES TO BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIAL WHERE WITHIN 900mm OF THE BOUNDARY</p>	<p><b>ENERGY EFFICIENCY NOTES</b></p> <p>DRAWINGS TO BE READ INCONJUNCTION WITH ANY RELEVANT ENERGY RATING REPORT</p> <p><b>NEW CONSTRUCTION:</b> Refer to the minimum requirements:</p> <ul style="list-style-type: none"> <li>- GROUND FLOOR R2.25 ADDED THERMAL INSULATION</li> <li>- WALLS R2.8 ADDED THERMAL INSULATION PLUS SISALATION</li> <li>- CEILING MINIMUM R5.1 ADDED THERMAL INSULATION PLUS SARKING</li> </ul>	<ul style="list-style-type: none"> <li>- DOOR SEALS BRUSH SEALS TO UTILITY ROOM DOORS. SILL SEALS TO EXTERNAL HINGED DOORS.</li> <li>- DRAFT EXCLUSION WEATHER SEAL WITH TAPED HORIZONTAL AND VERTICAL JOINTS. SEALED GAPS AROUND WINDOWS AND EXTERNAL DOORS.</li> <li>- EXHAUST FANS DRAFT PREVENTION</li> </ul>
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NOTE:  
WINDOW CONFIGURATION AND DIMENSIONS TO BE CONFIRMED BETWEEN CLIENT AND THE MANUFACTURER PRIOR TO THE COMMENCEMENT OF WORKS.



**2 Proposed Elevation D**  
SCALE 1 : 100

External Material Schedule			
Mark	Description	Manufacturer	Material: Image
BRK-01	Existing Brick spot bagged to match Recycled Reds		
CLM-01	Metal Cladding: "Slip lok 700 High Strength" or similar cladding- Powdercoated Colourbond 'Monument' or similar	Lysaght	
CLT-01	Timber Cladding: to match existing Vic Ash on site		
PDC-01	Powdercoat Windows: Colorbond ' Monument' or similar	AAA Windows or Similar	
PRM-01	Pressed Metal: Colorbond ' Monument' - Gutters, Fascia and Downpipes	Colorbond	
RMT-01	Metal Roof: "Corrugated Roofing in Colorbond 'Monument' or similar	Lysaght	

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Beaconsfield Vic 3807

A.T.F. DRAKE FAMILY TRUST - ABN: 52 638 484 806 - ACN: 121 878 331

## Alterations & Additions

**12 Fraser Ave Beaconsfield Upper Vic 3808**

Mileah & Graham Andrews

**Job No:23051**

**Proposed Materials TP601 1**

Date: MAR. 2024

Scale: Drawn by: MK

Rev No.  
1

Description  
TP1 ISSUE

Date  
26.03.2024



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**Alterations & Additions**

**12 Fraser Ave Beaconsfield Upper Vic 3808**

Mileah & Graham Andrews

**Job No:23051**

**Proposed 3D Views TP901 1**

Date: MAR. 2024

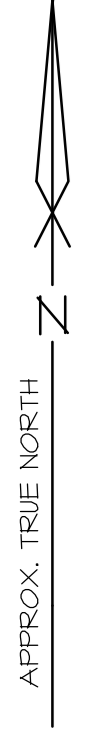
Scale: Drawn by: MK

Rev No.  
1

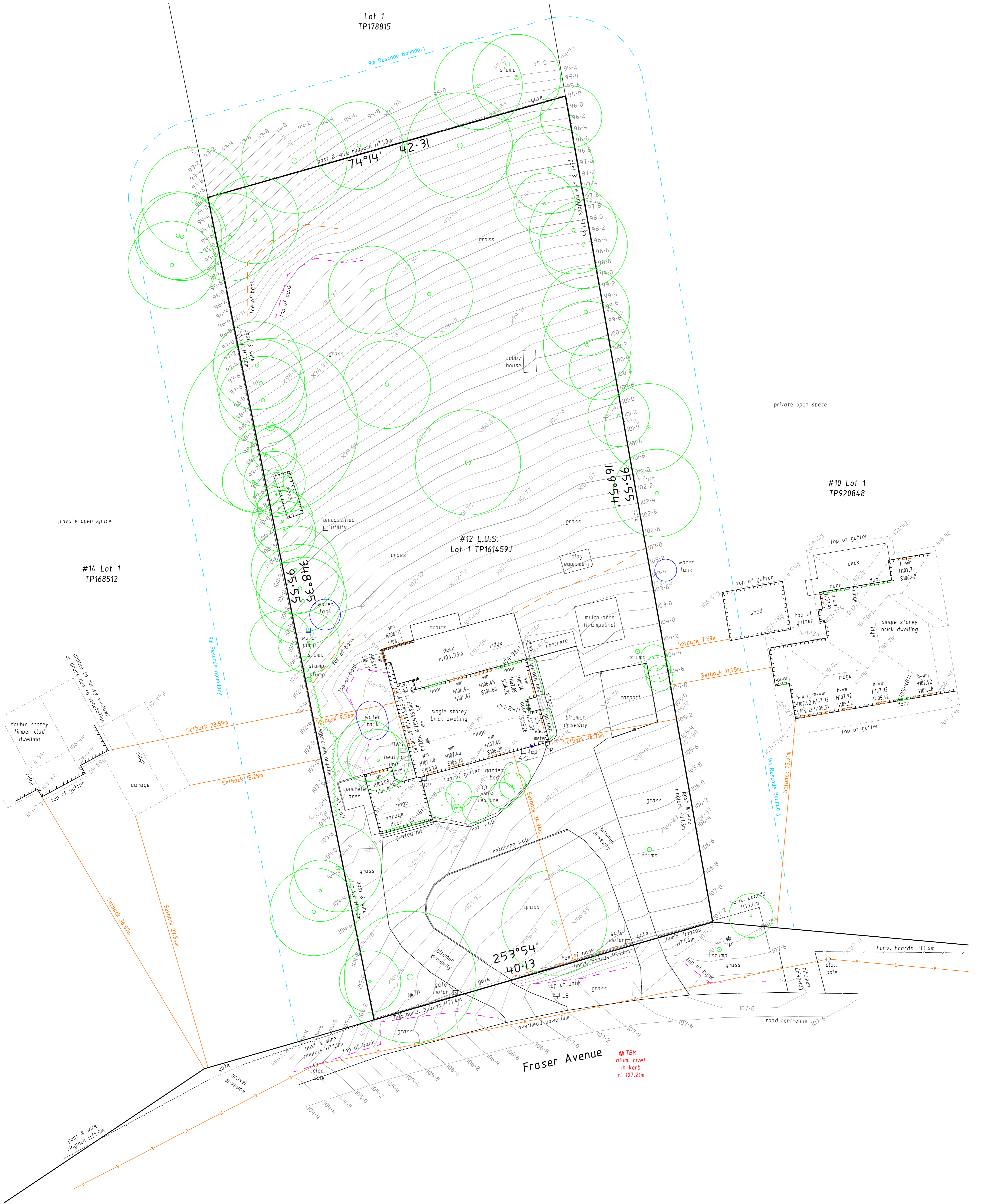
Description  
TP1 ISSUE

Date  
26.03.2024





Lot 1  
TP178815

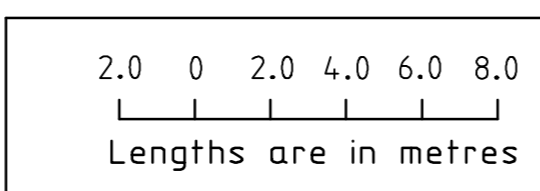


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**OnePlan**  
LAND DEVELOPMENT GROUP  
SURVEYING CONSULTANTS

P:1300 853 157  
M:0400 543 157  
sks@oneplangroup.com.au  
www.oneplangroup.com.au  
GIPPSLAND - MELBOURNE

- Date of Survey: 11/02/2021  
- See Certificate of Title for Easement details.  
- Only significant trees are shown on this plan.  
- Whilst every effort has been made to locate all features details within the surveyed area SK Spatial will not be held responsible for features hidden, obscured or under construction at the time of survey.  
- No underground features have been located unless specifically shown.  
- All data shown on this plan is an accurate representation of the subject site at the time of survey.  
- Data on this plan may only be manipulated with permission from SK Spatial Pty Ltd.



**Notations**  
Levels are to the Australian Height Datum (AHD) vide GEMBR00K PM 96 - RL 107.77m  
Re-establishment datum vide RE71193.  
Total site area: 3923m<sup>2</sup>

**Drake Design**  
12 FRASER AVENUE, BEACONSFIELD UPPER 3808  
Cardinia Shire Council

Plan No.	Scale	Drawn
232344RF-2	1:200 - A1 1:400 - A3	22/11/2023

**Re-establishment & Features Plan**

Parish of Gembrook  
Section D, Part of Crown Allotment 44A  
Lot 1 on TP161459J  
Paracentroid (MGA2020): E 358 120, N 5793 620

# Invoice

Applicant  
Applicant Address  
Drake Design  
suite 2, Level 1/2 Emerald-Beaconsfield Road,  
Beaconsfield VIC 3807

Owner  
Owner Address



Preferred Contact  
Preferred Contact  
Address  
Drake Design  
suite 2, Level 1/2 Emerald-Beaconsfield Road,  
Beaconsfield VIC 3807

Site Address  
12 Fraser Avenue Beaconsfield Upper 3808

Portal Reference  
ReferenceNumber  
A22433NY  
T240149

InvoiceNumber  
InvoiceDate  
InvoicePayByDate  
472113  
02-Apr-2024  
02-May-2024

Amount  
\$1,383.30

Regulation	Description	Amount	Modifier	Modified Amount
g - Class 4	More than \$100,000 but not more than \$500,000	\$1,383.30	100%	\$1,383.30

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