

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	20 Princes Highway, Pakenham VIC 3810 L1 TP186715 V10904 F988
The application is for a permit to:	Use and development of land for a medical centre, signage, reduction in car parking, and altered access to a road in Transport Zone 2
The applicant for the permit is:	3D Design Group
The application reference number is:	T230596
You may look at the application and any documents that support the application at the office of the Responsible Authority:	Cardinia Shire Council 20 Siding Avenue Officer 3809 This can be done during office hours and is free of charge. Documents can also be viewed on Council's website: https://www.cardinia.vic.gov.au/advertisedplanningapplications

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

- An objection must
- * be sent to the Responsible Authority in writing, at Cardinia Shire Council, PO Box 7, Pakenham, Vic, 3810 or email at mail@cardinia.vic.gov.au.
 - * include the name and address of the objector/ submitter.
 - * include the application number and site address.
 - * include the reasons for the objection, and
 - * state how the objector would be affected.

The Responsible Authority will not decide on the application before:	08 May 2024
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If you object, the Responsible Authority will tell you its decision.

Please be aware that copies of objections/submissions received may be made available to any person for the purpose of consideration as part of the planning process.

For additional information or advice contact Cardinia Shire Council, Planning Department on 1300 787 624 or mail@cardinia.vic.gov.au.

Your objection/submission and personal information is collected by Cardinia Shire Council for the purposes of the planning process as set out in the *Planning and Environment Act 1987*. If you do not provide your name and address, Council will not be able to consider your objection/submission. Your objection/submission will be available free of charge at the Council office for any person to inspect and copies may be made available on request to any person for the relevant period set out in the *P&E Act*. You must not submit any personal information or copyright material of third parties without their informed consent. By submitting the material, you agree that the use of the material as detailed above does not breach any third party's right to privacy and copyright.

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Disclaimer: This content is provided "as is" without warranty of any kind. 22-Apr-2024



T230596 PA



[View map online](#)

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Application Summary

Portal Reference A42338PC

Basic Information

Proposed Use	BUILDINGS AND WORKS ASSOCIATED WITH THE CONSTRUCTION OF A MEDICAL CENTRE, ADVERTISING SIGNAGE AND A REDUCTION IN CAR PARKING
Current Use	SINGLE STOREY DWELLING AND ASSOCIATED OUTBUILDINGS
Cost of Works	\$950,000
Site Address	20 Princes Highway Pakenham 3810

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

Not Applicable, no such encumbrances apply.

Contacts



Fees

Regulation Fee Condition	Amount	Modifier	Payable
9 - Class 12 More than \$100,000 but not more than \$1,000,000	\$1,661.60	100%	\$1,661.60
	Total		\$1,661.60



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VIC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am - 5pm

Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

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Documents Uploaded

Date	Type	Filename
29-11-2023	A Copy of Title	Title.pdf
29-11-2023	Site plans	23-033_Sharma_TP1_Rev C_Resize.pdf
29-11-2023	Additional Document	23-033_Sharma.pdf
29-11-2023	Additional Document	5130.000 Heritage Statement_FINAL.pdf
29-11-2023	Additional Document	7667 231128 PAR 3D Princes Pakenham 20 Hwy.pdf
29-11-2023	Additional Document	24885rep.pdf

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

Lodged By

Declaration

By ticking this checkbox, I, BRENDON EGAN MURPHY, declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.



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20 Siding Avenue, Officer, Victoria
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Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

Application to amend a current planning application



Application number: T230596

Address of subject site 20 PRINCES HIGHWAY, PAKENHAM VIC 3810

Pursuant to which section of the Planning and Environment Act 1987 is this amendment being made?

Section 50: Amendment to application at request of applicant before notice/advertising:

Section 50A: Amendment to application at request of responsible authority before notice/advertising:

Section 57A: Amendment to application after notice/advertising is given:

Applicant: BRENDON EGAN - 3D DESIGN GROUP

Phone: 03 5941 4717

Email: pakenham@3dds.com.au

Postal Address: 42B Main Street, Pakenham VIC 3810

What is the purpose of the amendment? Please list all changes:

AMEND THE PERMIT PROPOSAL TO INCLUDE THE BELOW PERMIT REQUIREMENTS:

- USE OF THE LAND FOR A MEDICAL CENTRE UNDER CLAUSE 52.06-3

- REDUCE THE NUMBER OF CAR PARKING SPACES REQUIRED UNDER CLAUSE 52.06-5

- CREATE OR ALTER ACCESS TO A ROAD IN A TRANSPORT ZONE UNDER CLAUSE 52.29-2

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Application to amend a current planning application



Fees

Amendment in accordance with Section 50 or 50A

Nil

Amendment in accordance with Section 57A

40% of the fee applicable to the original permit class plus the difference in fees if the amendment changes the class of permit to that with a higher application fee.

Lodgement of application

Your application can then be sent via email, mail or submitted in person at Council's Civic Centre.

Assistance

If any assistance in completing this form is required, we recommend you contact Council's Statutory Planning Team on 1300 787 624 before lodging an application. Insufficient or unclear information may delay the processing of your application.

Note: *Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of the planning process under the Planning and Environment Act 1987.*

Cardinia Shire Council
Civic Centre
20 Siding Avenue, Officer

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PO Box 7
Pakenham 3810 (DX 81006 Pakenham)

Phone: 1300 787 624
Email: mail@cardinia.vic.gov.au
Web: cardinia.vic.gov.au

National Relay Service (NRS)

TTY: 133 677 (ask for 1300 787 624)
Speak and Listen (speech-to-speech relay): 1300 555 727 (ask for 1300 787 624)

Translator Interpretation Service
131 450 (ask for 1300 787 624)

**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

Page 1 of 1

VOLUME 10904 FOLIO 988

Security no : 124110002939R

Produced 24/10/2023 02:01 PM

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LAND DESCRIPTION

Lot 1 on Title Plan 186715C.
PARENT TITLE Volume 09087 Folio 617
Created by instrument AD926586E 10/10/2005

REGISTERED PROPRIETOR



ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AX336415Y 09/10/2023
COMMONWEALTH BANK OF AUSTRALIA

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE TP186715C FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
AX336413D (E)	DISCHARGE OF MORTGAGE	Registered	09/10/2023
AX336414B (E)	TRANSFER	Registered	09/10/2023
AX336415Y (E)	MORTGAGE	Registered	09/10/2023

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 20 PRINCES HIGHWAY PAKENHAM VIC 3810

ADMINISTRATIVE NOTICES

NIL

eCT Control 15940N COMMONWEALTH BANK OF AUSTRALIA
Effective from 09/10/2023

DOCUMENT END

TITLE PLAN	EDITION 1	TP 186715C
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Location of Land Parish: NAR-NAR-GOON Township: Section: Crown Allotment: Crown Portion: 10 (PT) Last Plan Reference: LP5593 Derived From: VOL 9087 FOL 817 Depth Limitation: NIL	Notations ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN
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Description of Land / Easement Information	THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT COMPILED: 14/10/1999 VERIFIED: BE
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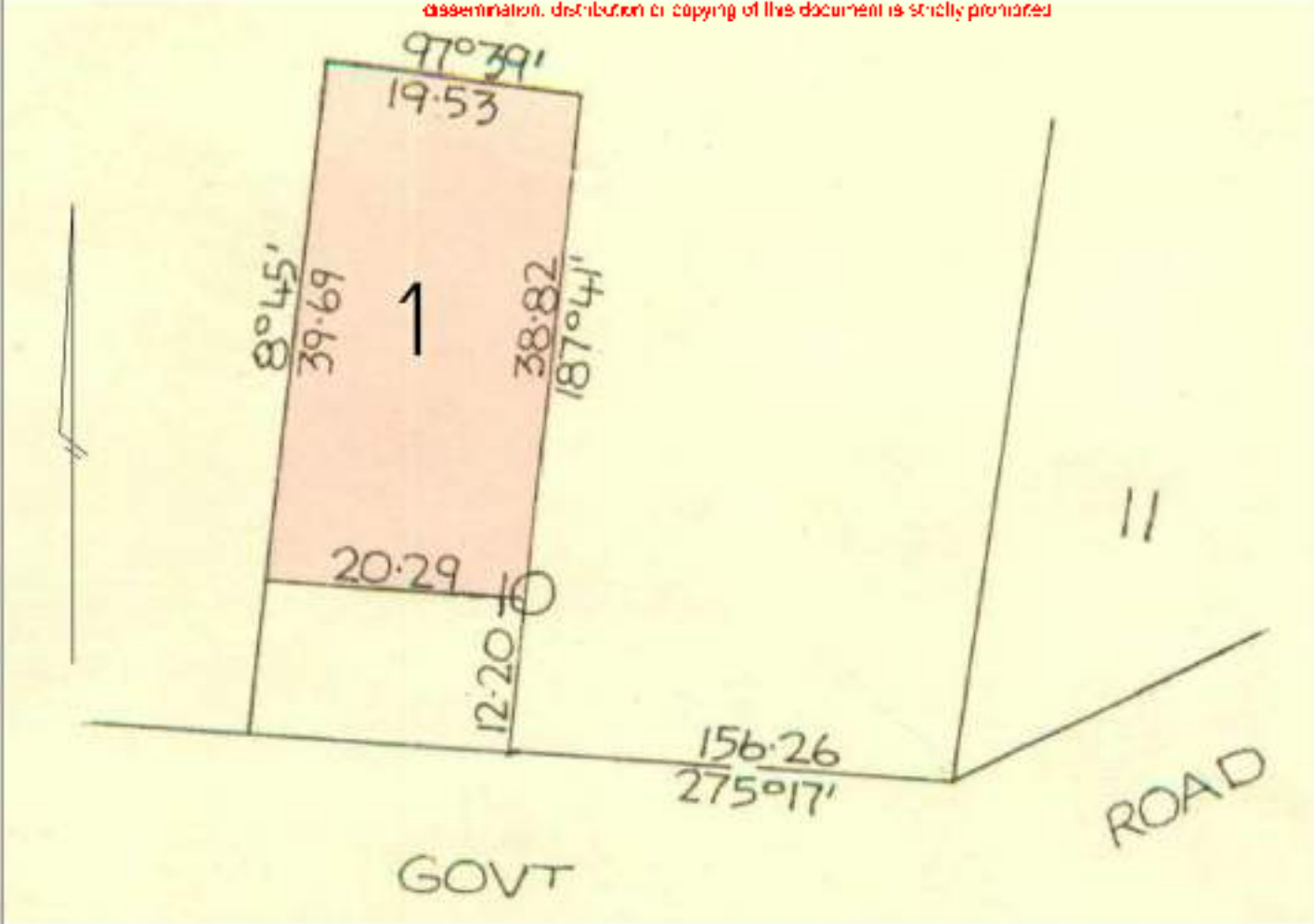
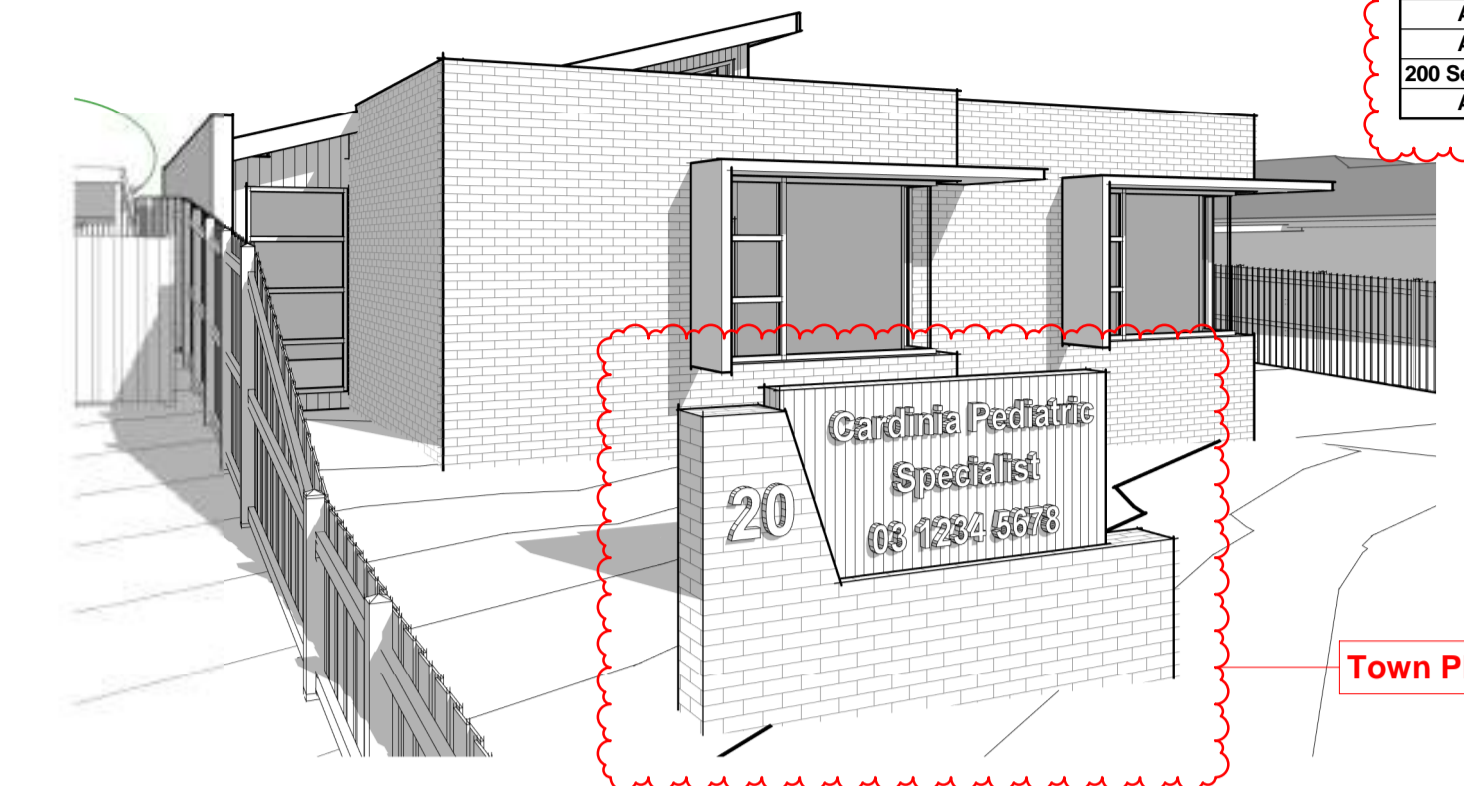
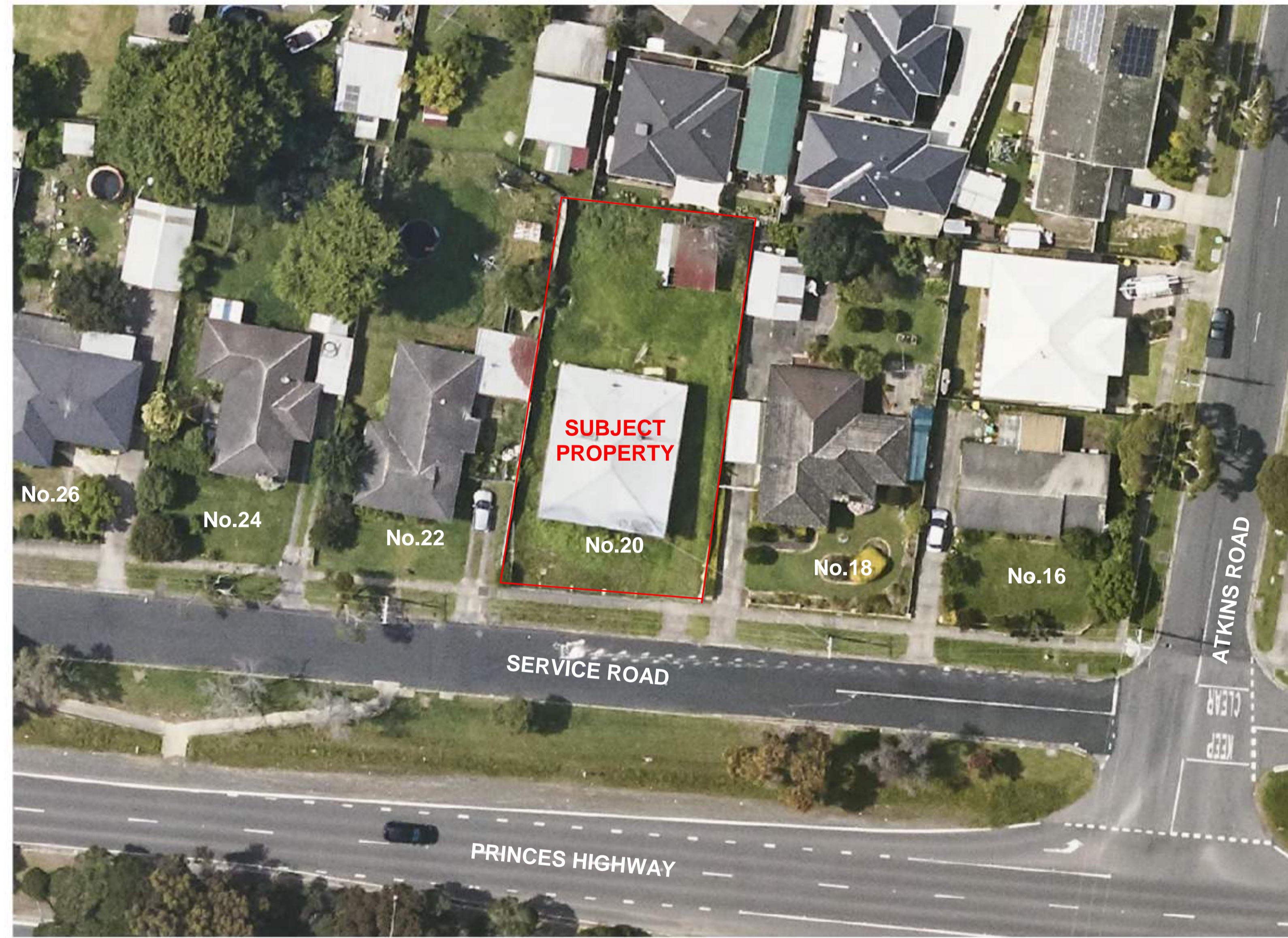


TABLE OF PARCEL IDENTIFIERS
WARNING: Where multiple parcels are referred to or shown on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962
PARCEL 1 = LOT 5 (PT) ON LP6893

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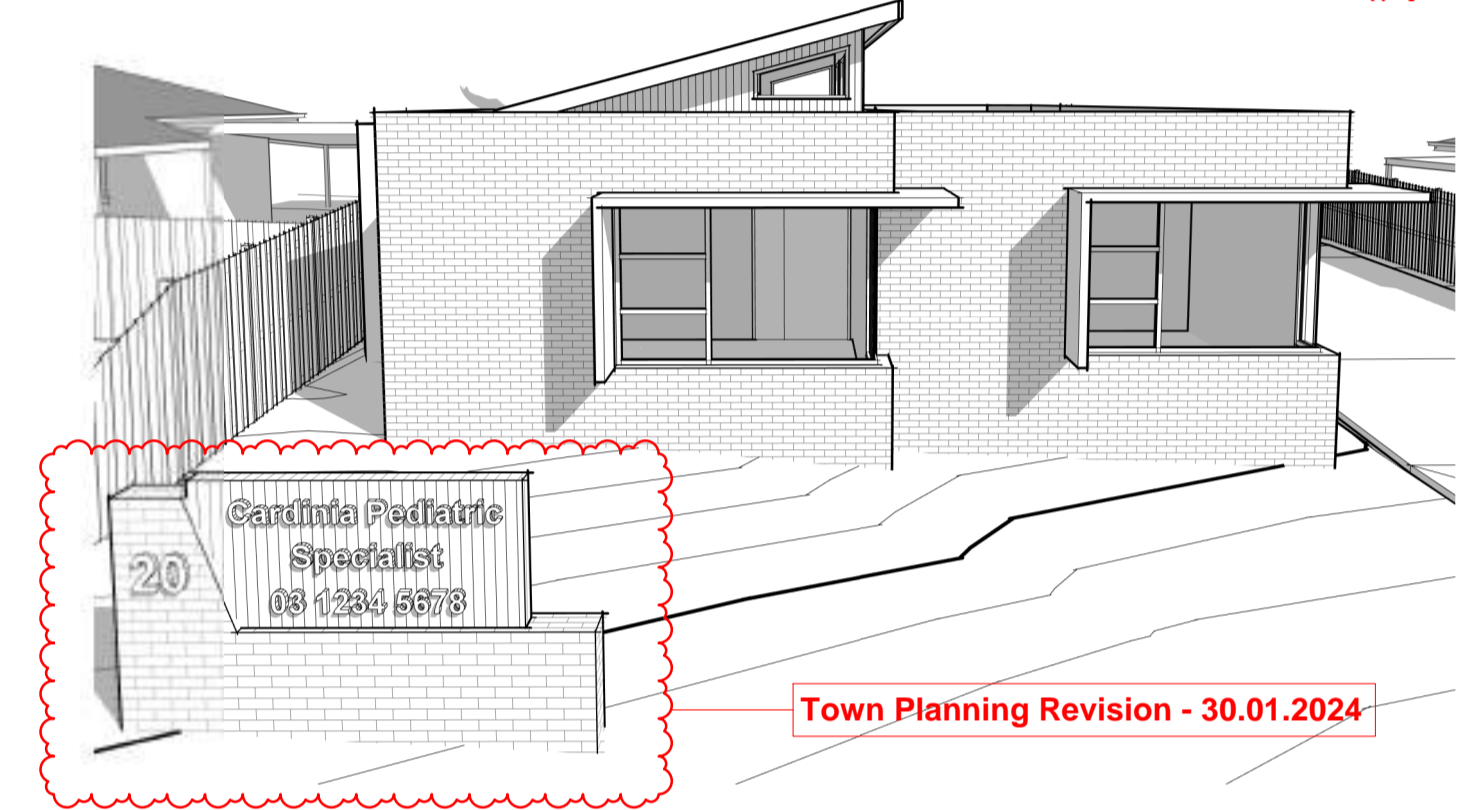
Sheet Index		
Sheet Number	Sheet Name	Rev.
000 Series - General		
A000	Cover Sheet - Commercial	B
100 Series - Site Plans		
A100	Site Context Plan	B
A101	Demolition & Site Works Plan	B
A102	Design Response Site Plan	C
A103	Shadow Diagrams	B
A104	Landscaping Plan	A
200 Series - Floor Plans		
A200	Floor Plan & Elevations	C



3D View_South West

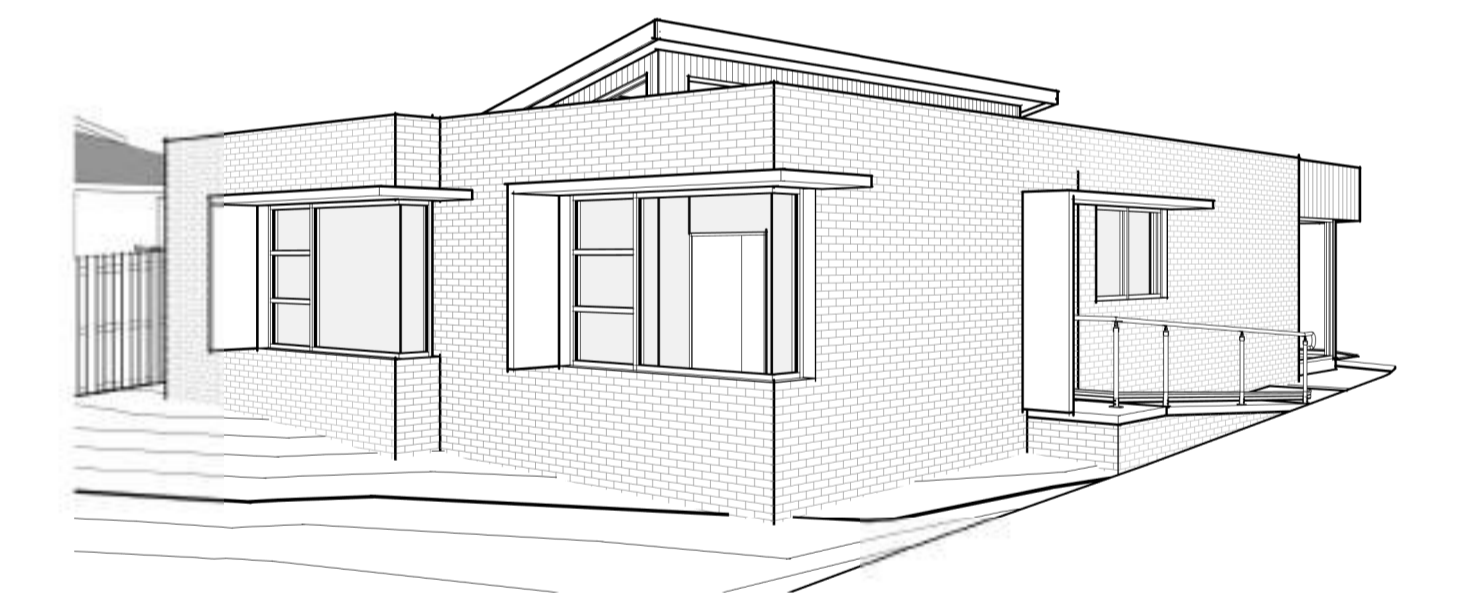
Town Planning Revision - 30.01.2024

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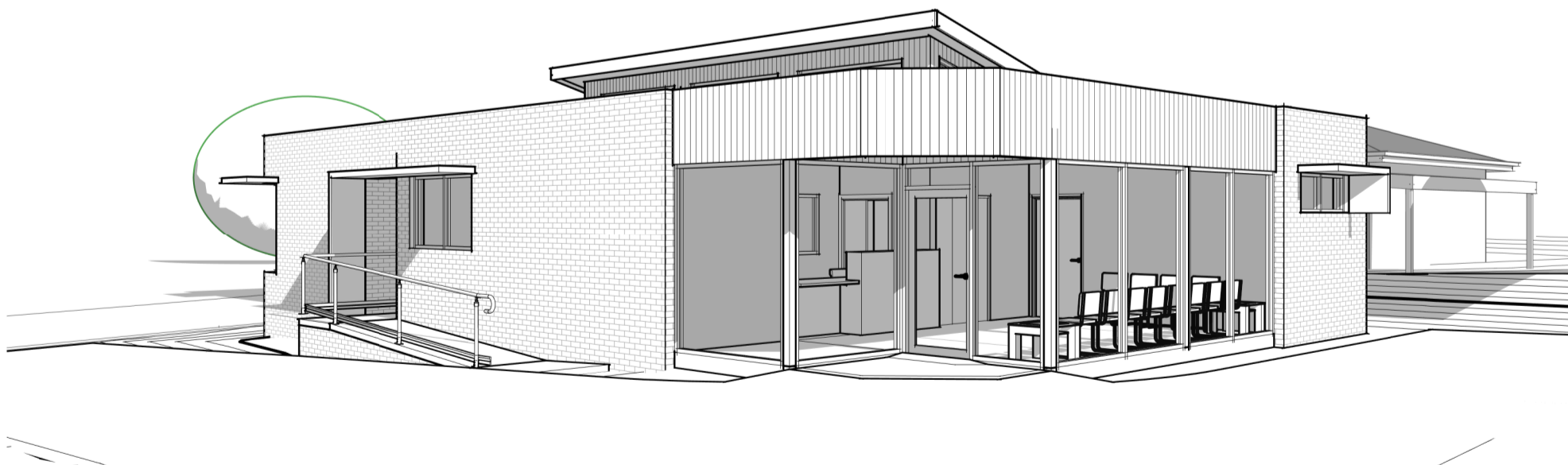


3D View_South

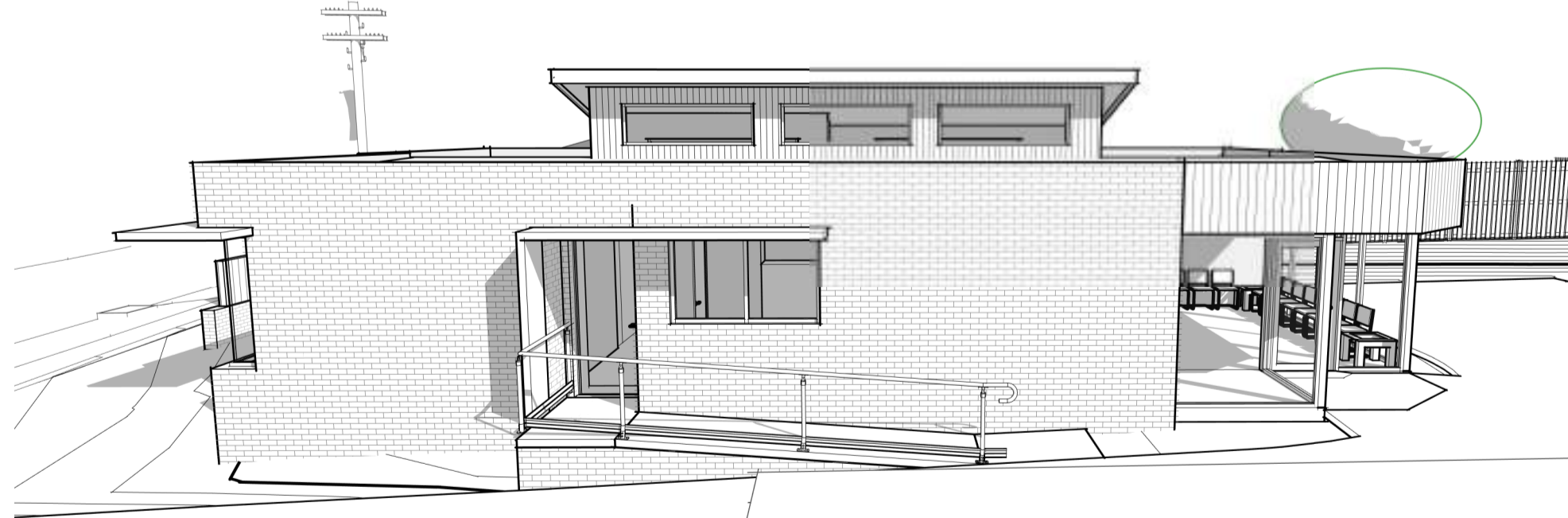
Town Planning Revision - 30.01.2024



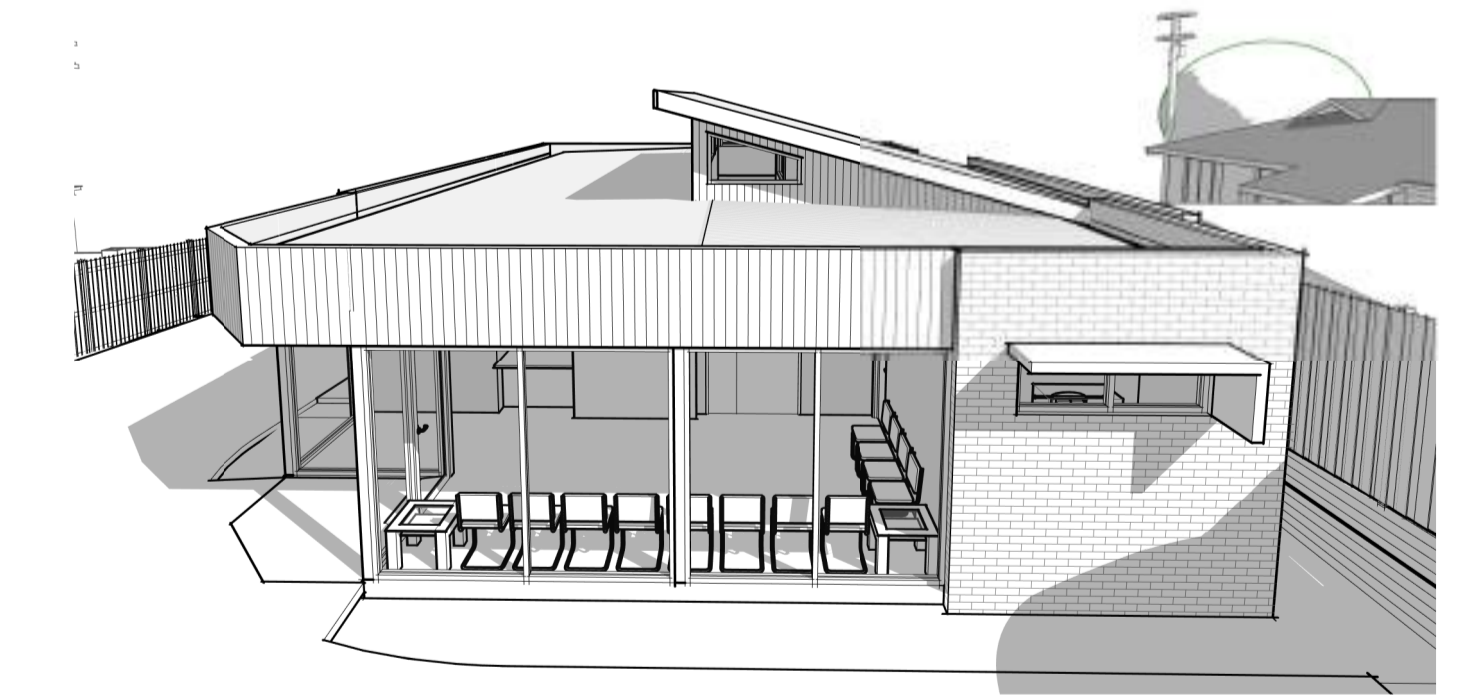
3D View_South East



3D View_North East



3D View_East Elevated



3D View_North Elevated

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Revision: B		
No.	Date	Description
1	29/11/23	Town Planning
2	30/01/24	Town Planning RP1



Title:	Cover Sheet - Commercial
Job:	Proposed Medical Centre
Name:	Harsh Sharma
Address:	20 Princes Highway, Pakenham 3810
Design:	SM Sheet Size: A1
Drawn:	SM Scale:
Checked:	BE Issue: TP1
Date:	29.11.2023 Revision: B
Dwg No:	23-033 Sheet No: A000

Proposed Paediatric Medical Centre
20 Princes Highway Pakenham

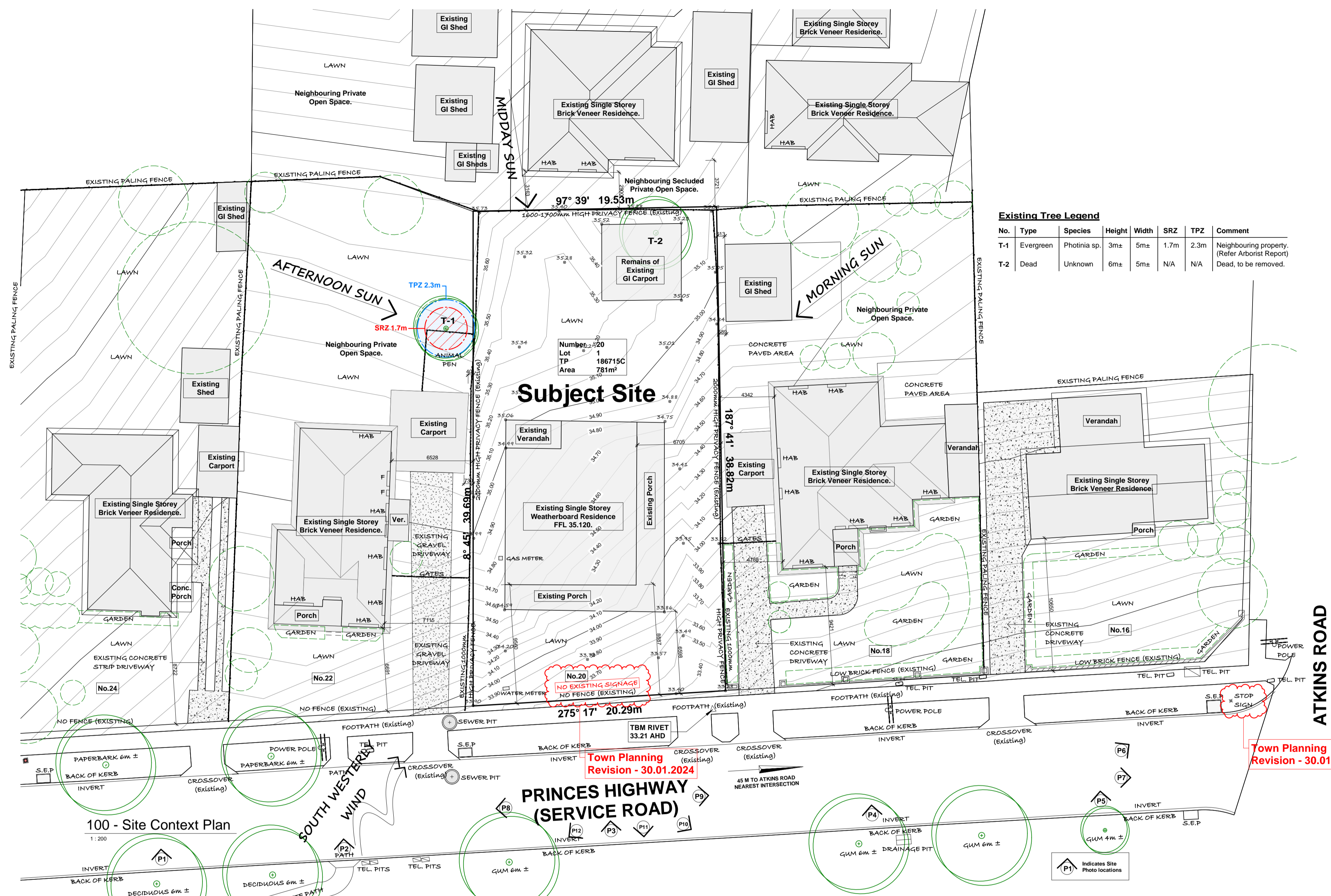
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Existing Tree Legend

No.	Type	Species	Height	Width	SRZ	TPZ	Comment
T-1	Evergreen	Photinia sp.	3m±	5m±	1.7m	2.3m	Neighbouring property. (Refer Arborist Report)
T-2	Dead	Unknown	6m±	5m±	N/A	N/A	Dead, to be removed.

100 - Site Context Plan
1:200

Town Planning Revision - 30.01.2024

Town Planning Revision - 30.01.2024

EXISTING VETERINARY CLINIC SIGNAGE (NO.10 PRINCES HWY)

Town Planning Revision - 30.01.2024

EXISTING MEDICAL CENTRE SIGNAGE (NO.8 PRINCES HWY)



Photo #01 LOOKING NORTH AT NO.24 PRINCES HIGHWAY.



Photo #02 LOOKING NORTH AT NO.22 PRINCES HIGHWAY.



Photo #03 LOOKING NORTH AT NO.20 PRINCES HIGHWAY (SUBJECT PROPERTY).



Photo #04 LOOKING NORTH AT NO.18 PRINCES HIGHWAY.



Photo #05 LOOKING NORTH AT NO.16 PRINCES HIGHWAY, CORNER ATKINS ROAD.



Photo #06 LOOKING NORTH-EAST AT NO.10 PRINCES HIGHWAY, CORNER ATKINS ROAD (VETERINARY CLINIC).



Photo #07 LOOKING EAST TOWARDS ATKINS ROAD & SERVICE ROAD INTERSECTION (CHILD CARE CENTRE AT END).



Photo #08 LOOKING WEST UP SERVICE ROAD FROM FRONT OF SUBJECT PROPERTY.



Photo #09 LOOKING EAST DOWN SERVICE ROAD FROM FRONT OF SUBJECT PROPERTY.



Photo #10 LOOKING SOUTH-EAST TOWARDS PRINCES HIGHWAY FROM FRONT OF SUBJECT PROPERTY.



Photo #11 LOOKING SOUTH TOWARDS PRINCES HIGHWAY FROM FRONT OF SUBJECT PROPERTY.



Photo #12 LOOKING SOUTH-WEST TOWARDS PRINCES HIGHWAY FROM FRONT OF SUBJECT PROPERTY.

Town Planning Revision - 30.01.2024

EXISTING STREET SIGN

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2	30/01/24	Town Planning RFI



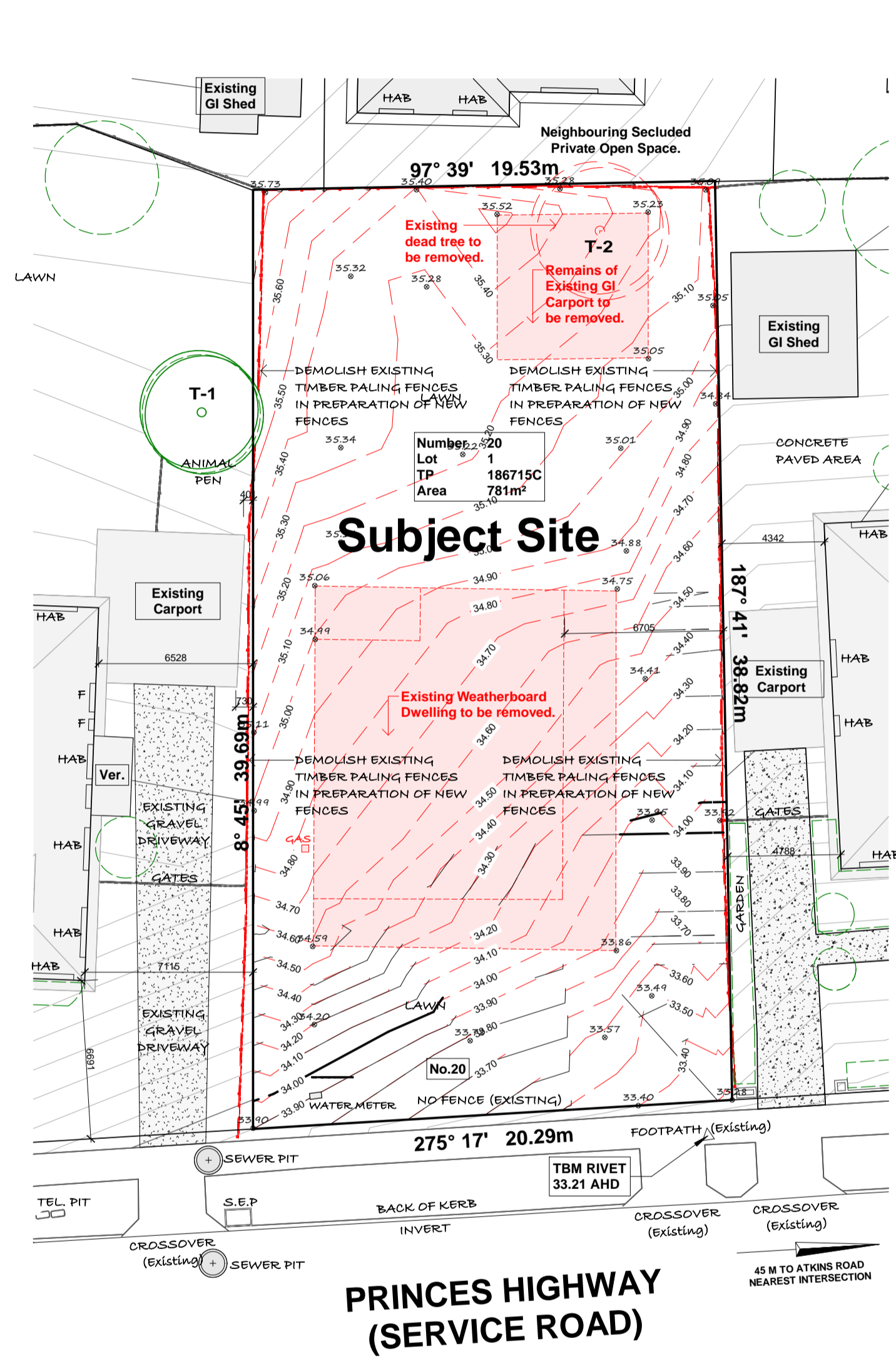
Title:	Site Context Plan
Job:	Proposed Medical Centre
Name:	Harsh Sharma
Address:	20 Princes Highway, Pakenham 3810
Design:	SM Sheet Size: A1
Drawn:	SM Scale: As indicated
Checked:	BE Issue: TP1
Date:	29.11.2023 Revision: B
Dwg No:	23-033 Sheet No: A100



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 Report any discrepancies to 3D Design Group for directions prior to ordering materials and start of building works.
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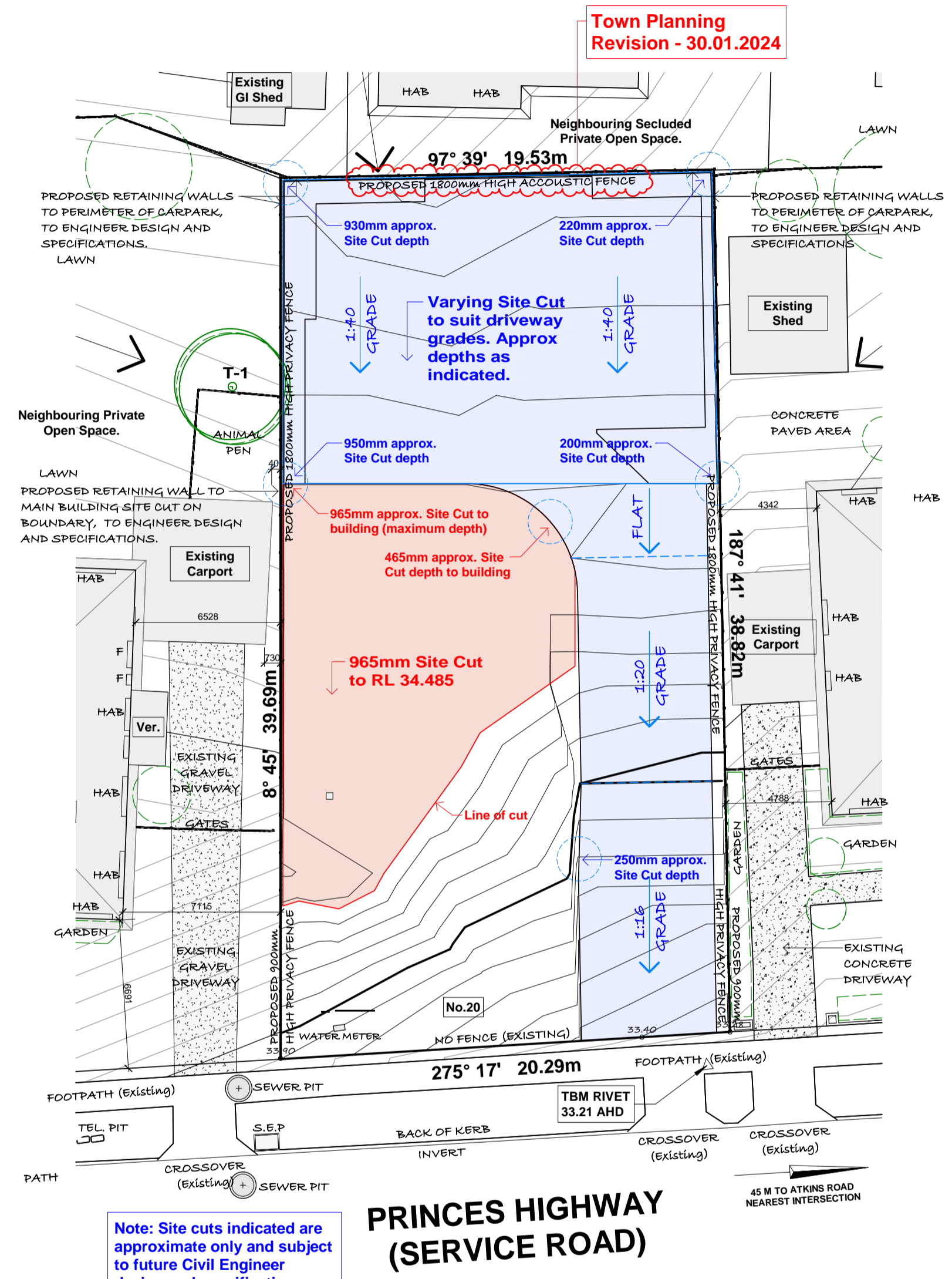
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100 - Demolition Site Plan
 1:200

Existing Tree Legend

No.	Type	Species	Height	Width	SRZ	TPZ	Comment
T-1	Evergreen	Photinia sp.	3m±	5m±	1.7m	2.3m	Neighbouring property. (Refer Arborist Report)
T-2	Dead	Unknown	6m±	5m±	N/A	N/A	Dead, to be removed.



101 - Site Works Plan
 1:200

Note: Site cuts indicated are approximate only and subject to future Civil Engineer design and specifications.

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Revision: B		
No.	Date	Description
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2	30/01/24	Town Planning RP1



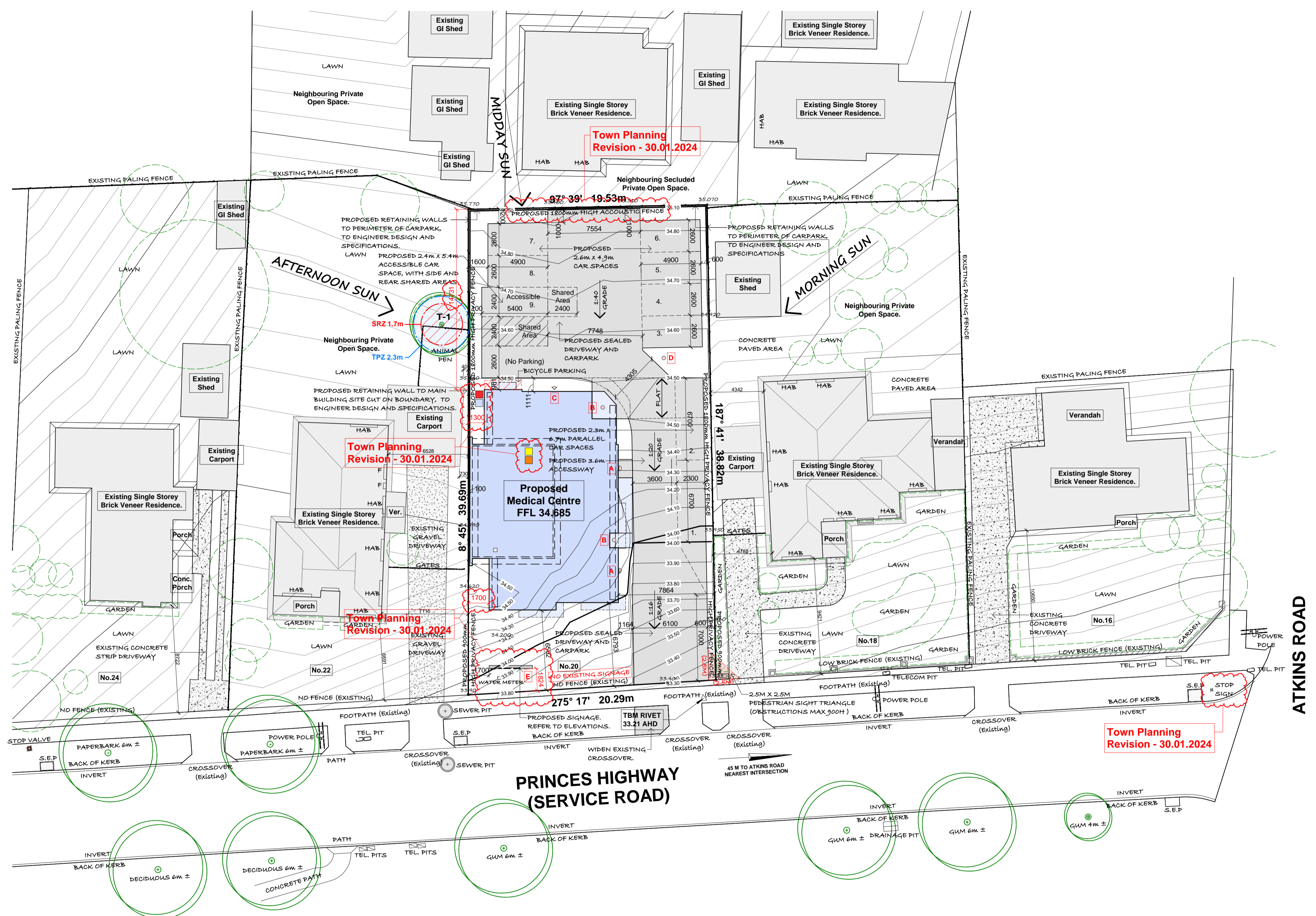
Title: Demolition & Site Works Plan	
Job: Proposed Medical Centre	
Name: Harsh Sharma	
Address: 20 Princes Highway, Pakenham 3810	
Design: SM	Sheet Size: A1
Drawn: SM	Scale: As indicated
Checked: BE	Issue: TP1
Date: 29.11.2023	Revision: B
Dwg No: 23-033	Sheet No: A101

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102 - Design Response Plan

1 : 200

Area Schedule - Site		
Name	Area	Site Coverage
Overall Building	208.21 m ²	27%
Paving Area	380.77 m ²	49%
Permeable Area	192.30 m ²	25%

Car parking requirements

5 spaces required To the first person providing health services plus,
 3 spaces required To every other person providing health services.

Car parking - Required		Car parking - Proposed	
1st Medical Practitioner	5 Spaces	1st Medical Practitioner	3 Spaces
2nd Medical Practitioner	3 Spaces	2nd Medical Practitioner	2 Spaces
3rd Medical Practitioner	3 Spaces	3rd Medical Practitioner	2 Spaces
4th Medical Practitioner	3 Spaces	4th Medical Practitioner	2 Spaces
Total Required	14 spaces	Total Proposed	9 spaces

Note: Proposing lower car parking ratios due to Paediatrician use, with generally longer appointments (1hr initial, 1/2 hr follow-up) compared to normal GP

LEGEND - WASTE BINS

- GENERAL WASTE BIN
- RECYCLING WASTE BIN
- BIO-HAZARDOUS WASTE BIN (ALL TREATMENT TECHNOLOGIES)
- BIO-HAZARDOUS WASTE BIN (INCINERATION ONLY)

SECURITY LIGHTING

- A** 2 X WALL MOUNTED LIGHTS ALONG DRIVEWAY (ON SENSOR/TIME SWITCH, DOWN LIT ONLY, SHIELDED WITH NO LIGHT SPILL)
- B** 2 X CEILING MOUNTED LIGHTS AT DOOR ENTRIES
- C** 1 X SPOTLIGHT MOUNTED ON REAR OF BUILDING (ON SENSOR/TIME SWITCH, SHIELDED WITH NO LIGHT SPILL)
- D** 1 X BOLLARD LIGHT WITHIN GARDEN
- E** SIGNAGE - NOT ILLUMINATED

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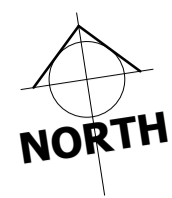
Revision: C		
No.	Date	Description
A	22.09.23	Preliminary Issue
B	29.11.23	Town Planning
C	30.01.24	Town Planning RFI



Title:	Design Response Site Plan
Job:	Proposed Medical Centre
Name:	Harsh Sharma
Address:	20 Princes Highway, Pakenham 3810
Design:	SM Sheet Size: A1
Drawn:	SM Scale: 1 : 200
Checked:	BE Issue: TPI
Date:	29.11.2023 Revision: C
Dwg No:	23-033 Sheet No: A102

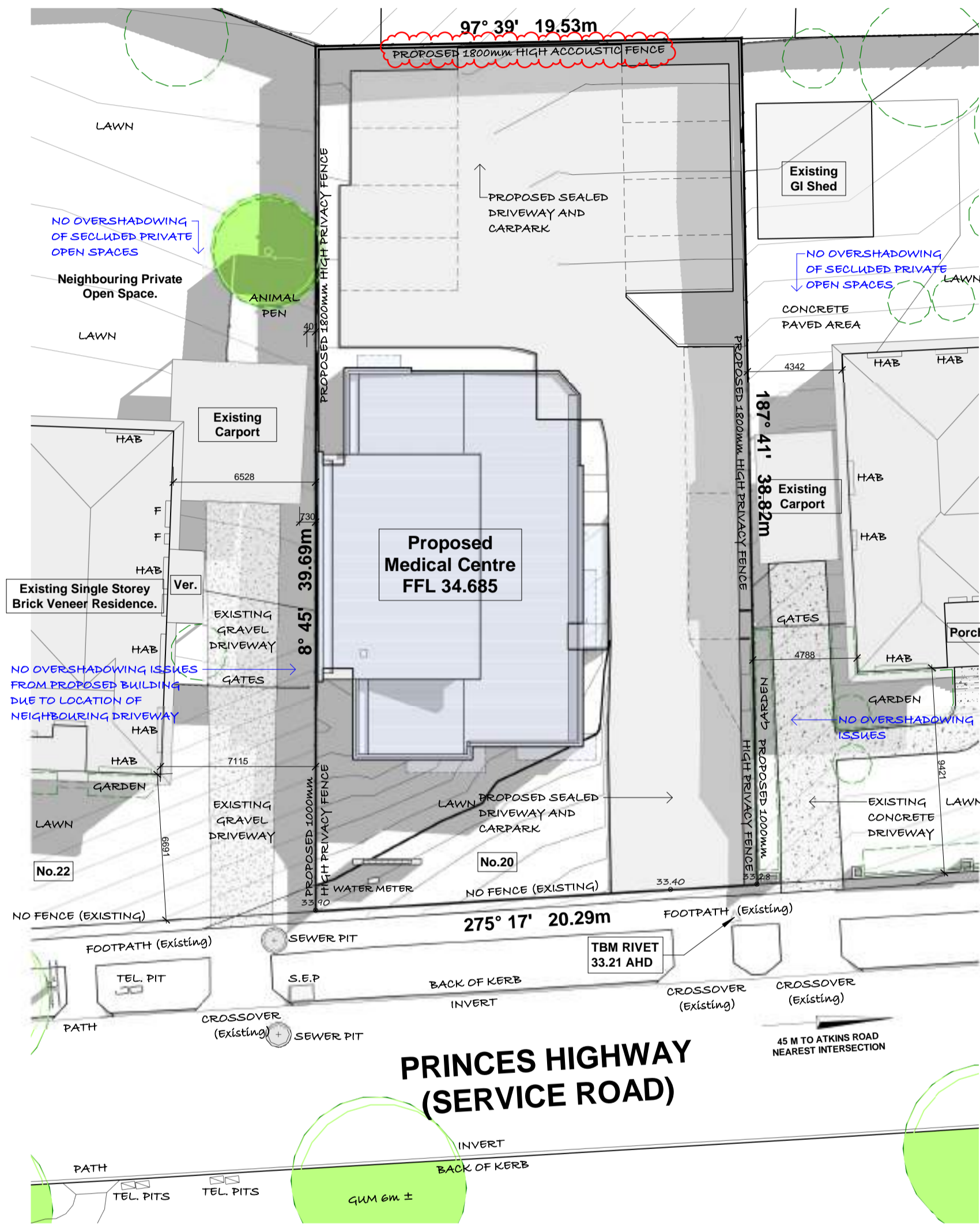
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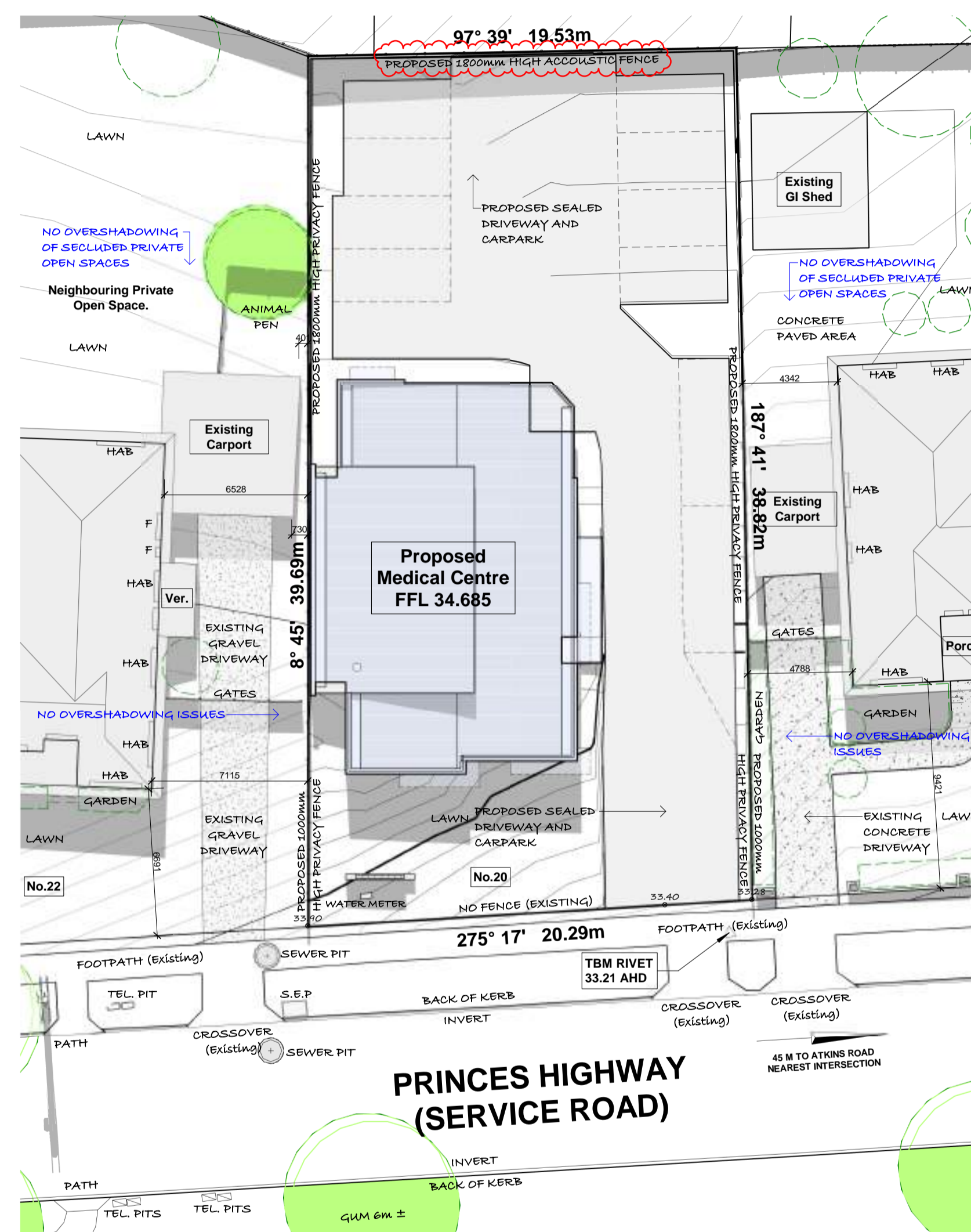


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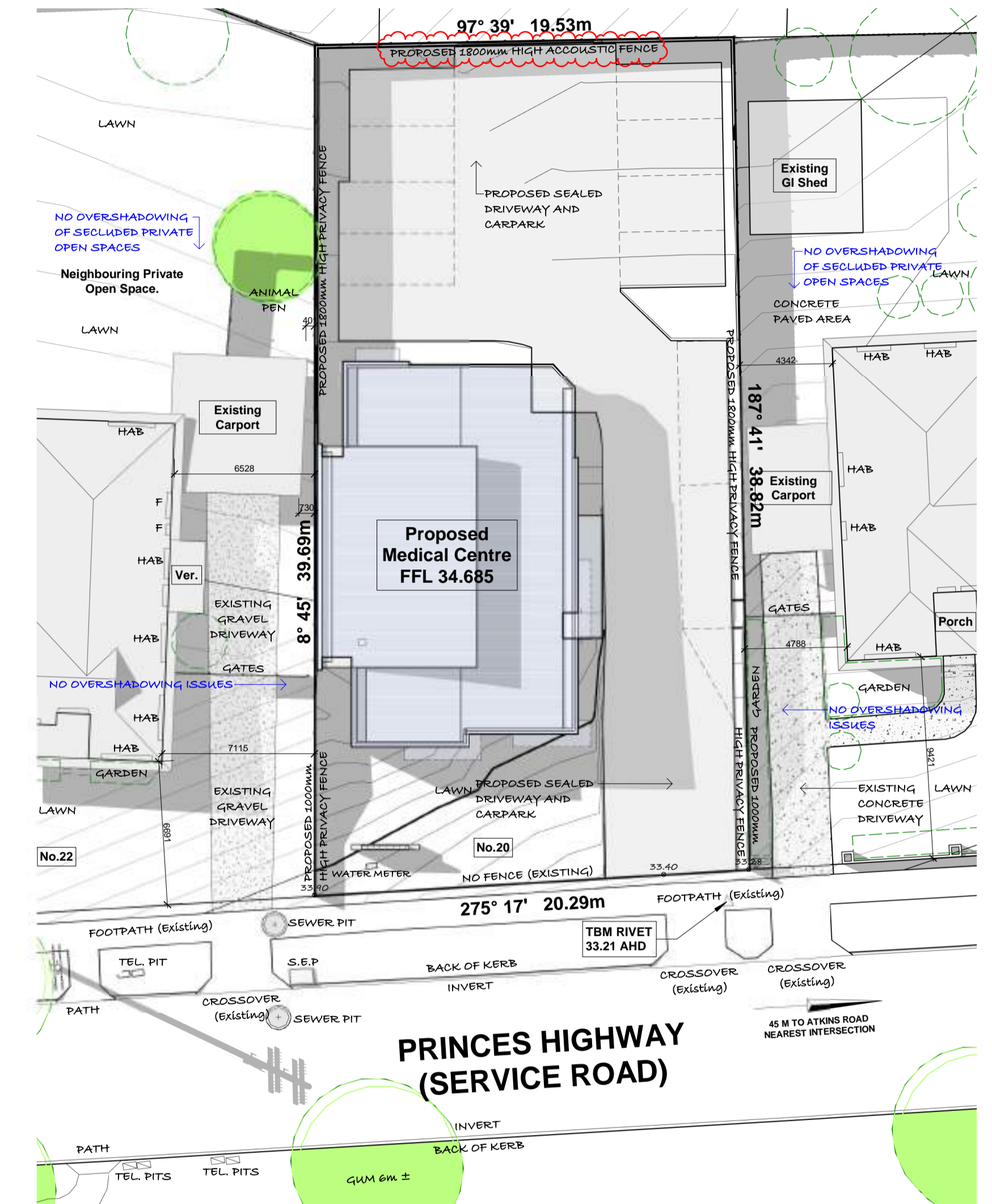
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110 - Shadow Diagram 9am
 1:200



110 - Shadow Diagram 12pm
 1:200



110 - Shadow Diagram 3pm
 1:200

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Revision: B		
No.	Date	Description
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Title:	Shadow Diagrams
Job:	Proposed Medical Centre
Name:	Harsh Sharma
Address:	20 Princes Highway, Pakenham 3810
Design:	SM Sheet Size: A1
Drawn:	SM Scale: 1:200
Checked:	BE Issue: TP1
Date:	29.11.2023 Revision: B
Dwg No:	23-033 Sheet No: A103

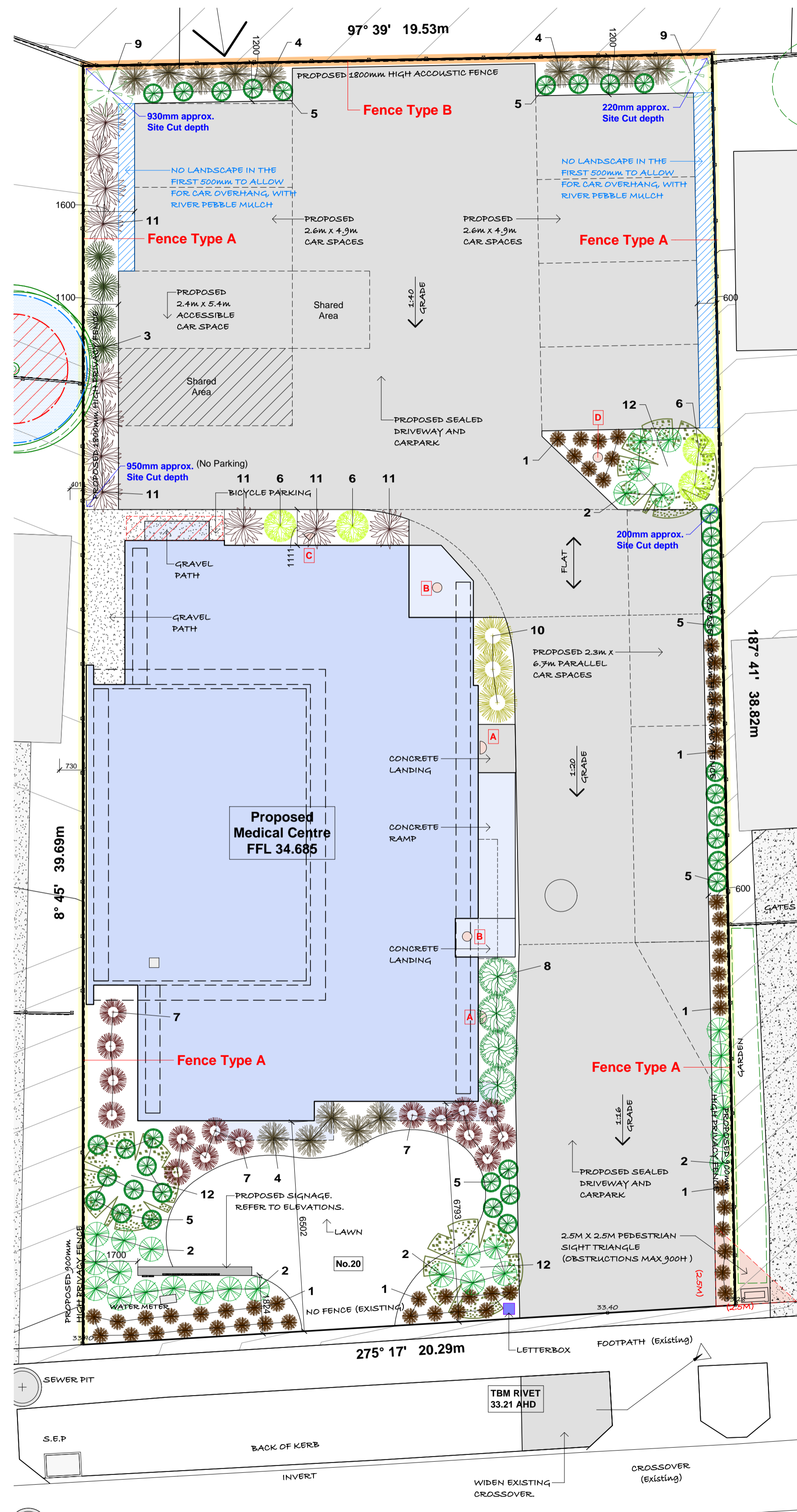


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Ground Covers, Grasses and Small Shrubs 0 - 1.0m

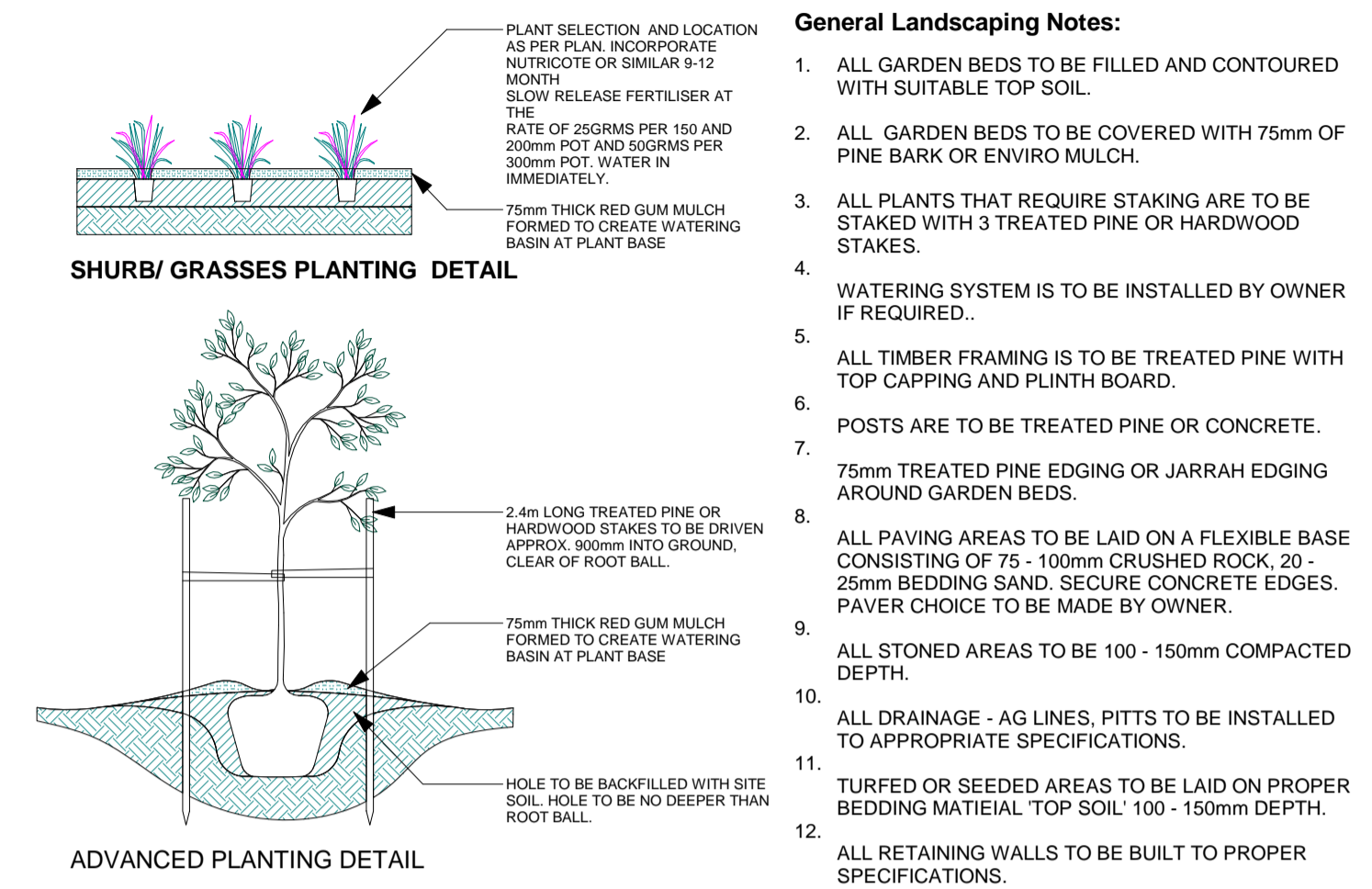
Symbol	Botanical Name	Common Name	Height & Spread
1	PHORMIUM ELFIN		0.5m x 0.5m
2	DIETES IRIDIODES	CAPE IRIS	0.75m x 0.75m
3	POA LABILLARDIERI	LARGE TUSSOCK GRASS	1.0m x 0.8m
4	PHORMIUM 'BRONZE BABY'		1.0m x 1.0m
5	ORTHROSAETHUS MULTIFLORUS	MORNING IRIS	0.6m x 0.6m
6	ACACIA COGNATA	LIMELIGHT	0.8m x 1.0m
7	ANIGOZANTHOS 'BIG RED'	BIG RED KANGAROO PAW	1.2m x 0.8m

Shrubs and Small Trees 1.0m - 3.0m

Symbol	Botanical Name	Common Name	Height & Spread
8	CALLISTEMON 'CAPTAIN COOK'	BOTTLEBRUSH	1.2m x 1.2m
9	KUNZEA BAXTERI	SCARLET KUNZEA	1.5-3m x 1.5m
10	ANIGOZANTHOS 'YELLOW GEM'	YELLOW KANGAROO PAW	1.6m x 1.2m
11	CORREA DUSKY BELLS		1.0m x 1.0m

Medium Trees 3.0m - 7.0m

Symbol	Botanical Name	Common Name	Height & Spread
12	BANKSIA MARGINATA	SILVER BANKSIA	1-10m x 1-5m



- #### General Landscaping Notes:
- ALL GARDEN BEDS TO BE FILLED AND CONTOURED WITH SUITABLE TOP SOIL.
 - ALL GARDEN BEDS TO BE COVERED WITH 75mm OF PINE BARK OR ENVIRO MULCH.
 - ALL PLANTS THAT REQUIRE STAKING ARE TO BE STAKED WITH 3 TREATED PINE OR HARDWOOD STAKES.
 - WATERING SYSTEM IS TO BE INSTALLED BY OWNER IF REQUIRED.
 - ALL TIMBER FRAMING IS TO BE TREATED PINE WITH TOP CAPPING AND PLINTH BOARD.
 - POSTS ARE TO BE TREATED PINE OR CONCRETE.
 - 75mm TREATED PINE EDGING OR JARRAH EDGING AROUND GARDEN BEDS.
 - ALL PAVING AREAS TO BE LAID ON A FLEXIBLE BASE CONSISTING OF 75 - 100mm CRUSHED ROCK, 20 - 25mm BEDDING SAND. SECURE CONCRETE EDGES. PAVER CHOICE TO BE MADE BY OWNER.
 - ALL STONED AREAS TO BE 100 - 150mm COMPACTED DEPTH.
 - ALL DRAINAGE - AG LINES, PITTS TO BE INSTALLED TO APPROPRIATE SPECIFICATIONS.
 - TURFED OR SEEDED AREAS TO BE LAID ON PROPER BEDDING MATERIAL. TOP SOIL 100 - 150mm DEPTH.
 - ALL RETAINING WALLS TO BE BUILT TO PROPER SPECIFICATIONS.

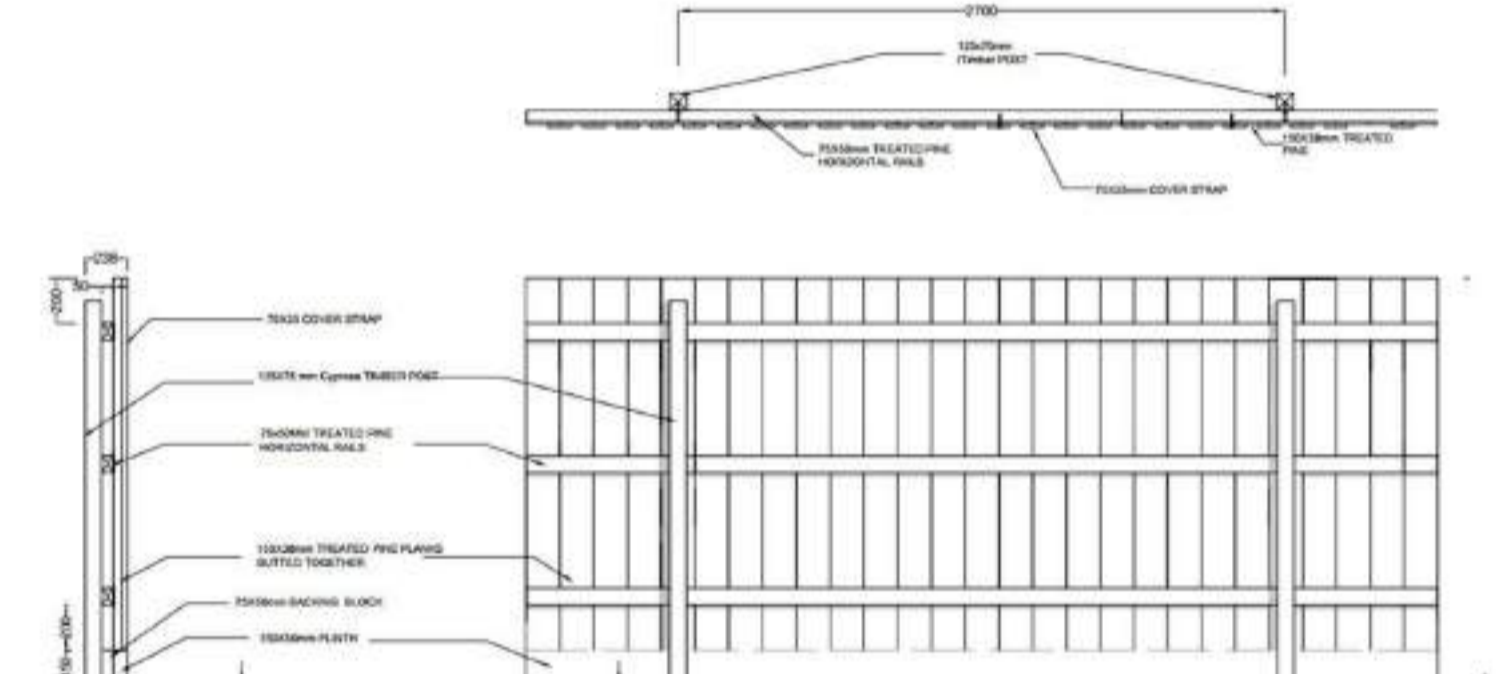
Landscaping Notes

Landscaping Legend



Fence Type A - Colorbond Fence - 1800mm high
NOT TO SCALE

COLORBOND FENCE 1.8m MINIMUM HEIGHT, CONSTRUCTED OVER PROPOSED RETAINING WALL WHERE APPLICABLE. FENCE TAPER REQUIRED BOTH SIDES AT FRONT TITLE BOUNDARY TO COMPLY WITH 2.5m X 2.5m PEDESTRIAN SIGHT TRIANGLE (OBSTRUCTIONS MAX 900mm HIGH).



Fence Type B - Accoustic Fence - 1800mm high
NOT TO SCALE

ENFIELD ACOUSTICS NOISE VIBRATION ACOUSTIC FENCE 1.8m HIGH, CONSTRUCTED OVER PROPOSED RETAINING WALL, INSTALLED STRICTLY IN ACCORDANCE WITH ENFIELD ACOUSTICS DETAILS.

SECURITY LIGHTING

- ON BUILDING**
- A** - 2 X WALL MOUNTED LIGHTS ALONG DRIVEWAY (ON SENSOR/TIME SWITCH, DOWN LIT ONLY, SHIELDED WITH NO LIGHT SPILL)
 - B** - 2 X CEILING MOUNTED LIGHTS AT DOOR ENTRIES
- CARPARK**
- C** - 1 X SPOTLIGHT MOUNTED ON REAR OF BUILDING (ON SENSOR/TIME SWITCH, SHIELDED WITH NO LIGHT SPILL)
 - D** - 1 X BOLLARD LIGHT WITHIN GARDEN
- SIGNAGE**
- E** - NOT ILLUMINATED



Sleeper retaining wall
NOT TO SCALE

SLEEPER RETAINING WALL REQUIRED IN AREA OF REAR CARPARK, VARYING IN HEIGHT FROM 200mm TO 350mm (1 SLEEPER TO 5 SLEEPERS). BOTH REAR ACOUSTIC FENCE AND SIDE COLORBOND FENCES ARE TO BE CONSTRUCTED ON TOP OF RETAINING WALL.

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Rev	Date	Description
A	30/11/24	Town Planning RFI



Title:	Landscaping Plan
Job:	Proposed Medical Centre
Name:	Harsh Sharma
Address:	20 Princes Highway, Pakenham 3810
Design:	SM Sheet Size: A1
Drawn:	SM Scale: As indicated
Checked:	BE Issue: TP1
Date:	29.11.2023 Revision: A
Dwg No:	23-033 Sheet No: A104

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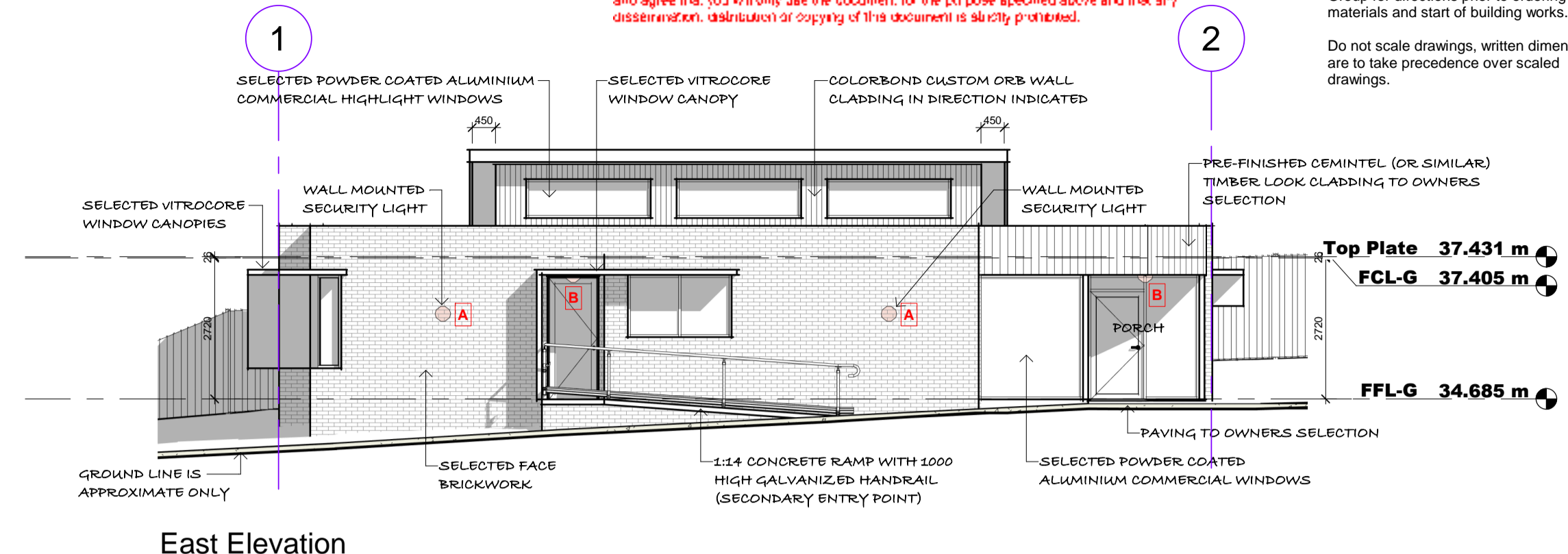
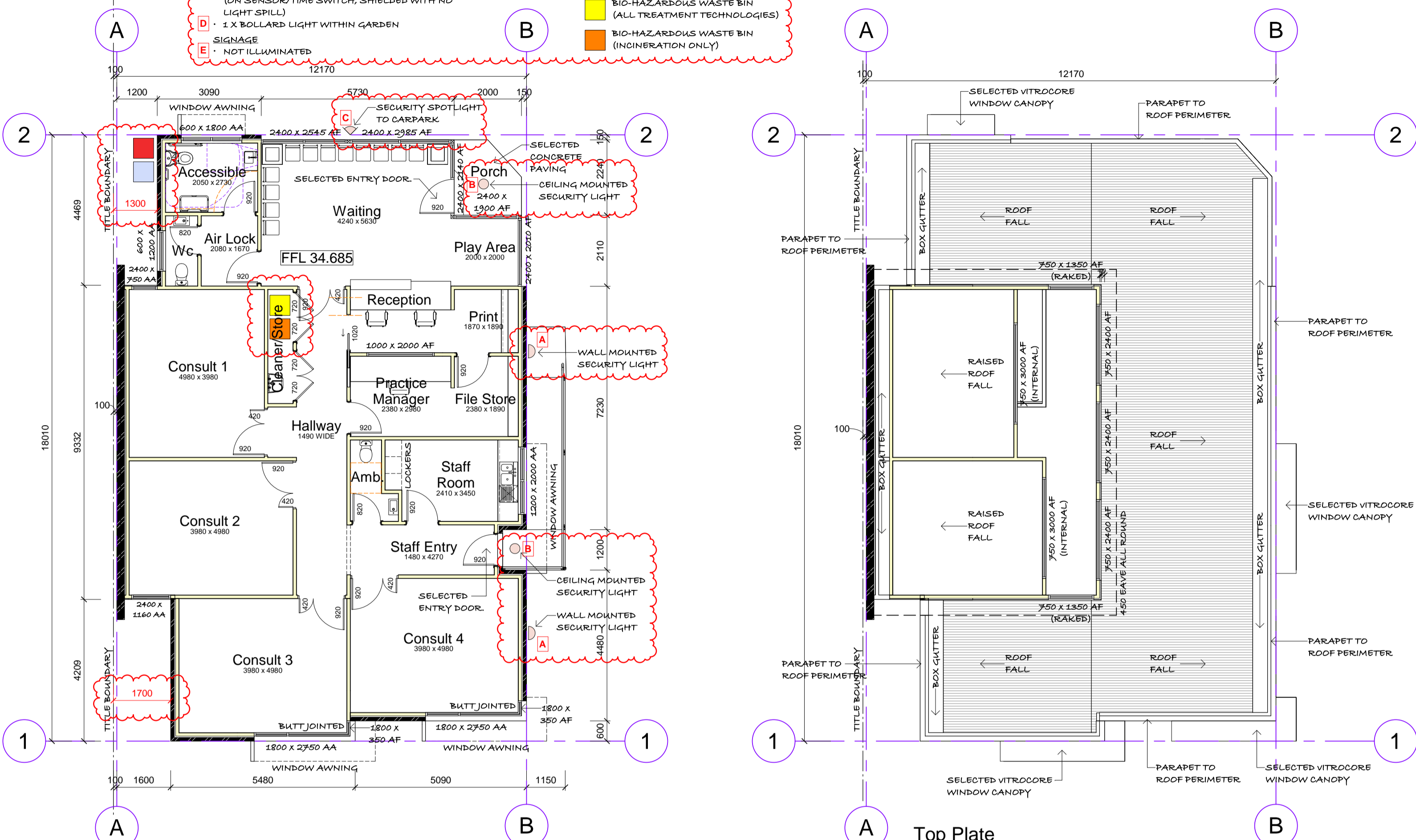


Notes:
OWNER and/or BUILDER to check and verify all dimensions, site levels, grades, roof pitches, etc prior to commencing any works.
Report any discrepancies to 3D Design Group for directions prior to ordering materials and start of building works.
Do not scale drawings, written dimensions are to take precedence over scaled drawings.

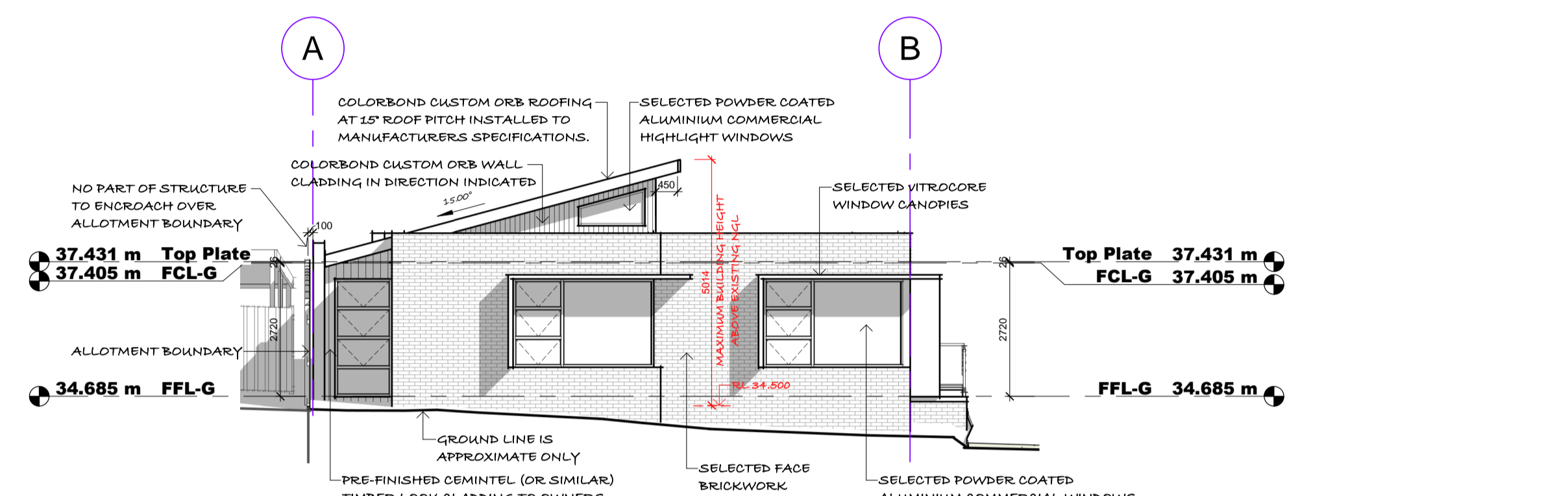
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- SECURITY LIGHTING**
- A - 2 X WALL MOUNTED LIGHTS ALONG DRIVEWAY (ON SENSOR/TIME SWITCH, DOWN LIT ONLY, SHIELDED WITH NO LIGHT SPILL)
 - B - 2 X CEILING MOUNTED LIGHTS AT DOOR ENTRIES
 - C - 1 X SPOTLIGHT MOUNTED ON REAR OF BUILDING (ON SENSOR/TIME SWITCH, SHIELDED WITH NO LIGHT SPILL)
 - D - 1 X BOLLARD LIGHT WITHIN GARDEN
 - E - SIGNAGE
 - F - NOT ILLUMINATED
- LEGEND - WASTE BINS**
- GENERAL WASTE BIN
 - RECYCLING WASTE BIN
 - BIO-HAZARDOUS WASTE BIN (ALL TREATMENT TECHNOLOGIES)
 - BIO-HAZARDOUS WASTE BIN (INCINERATION ONLY)

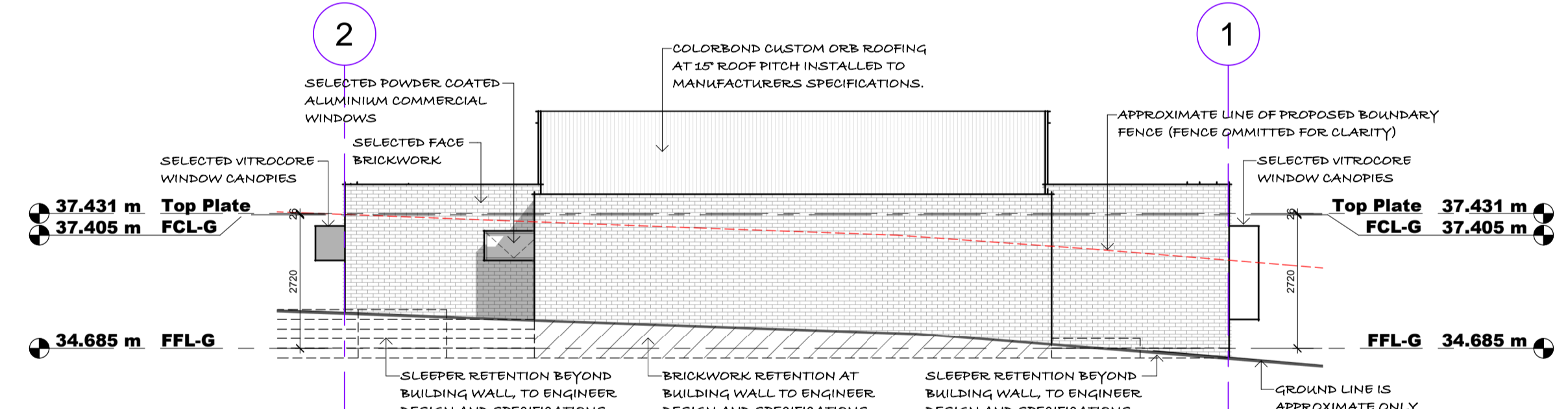
Town Planning Revision - 30.01.2024



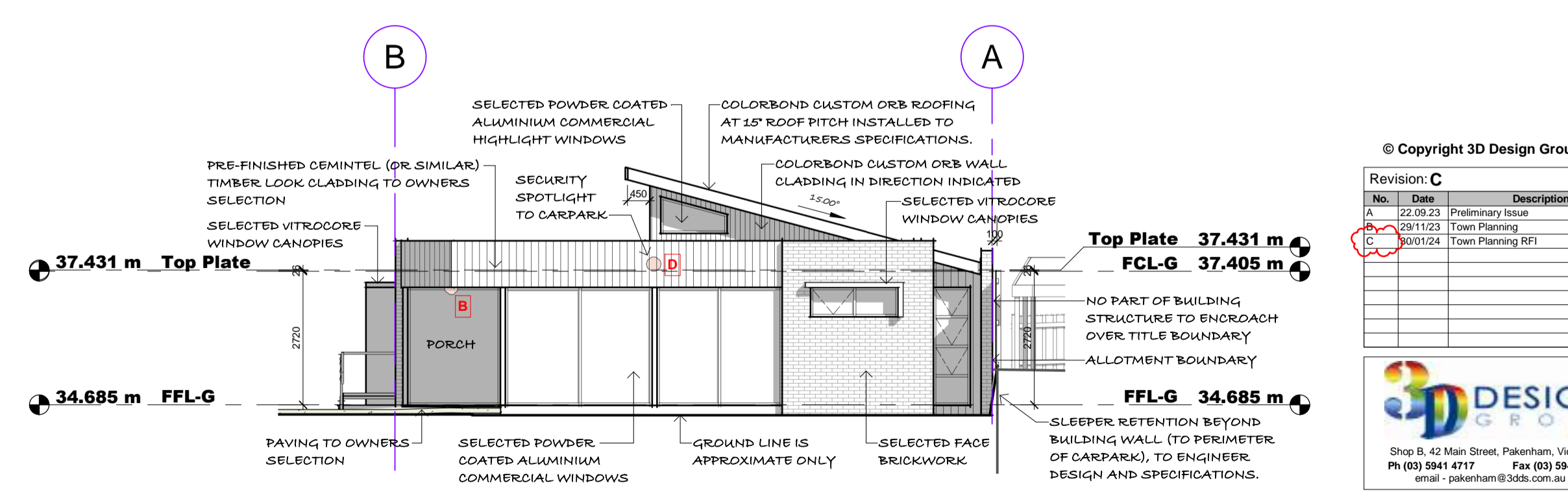
East Elevation
1:100



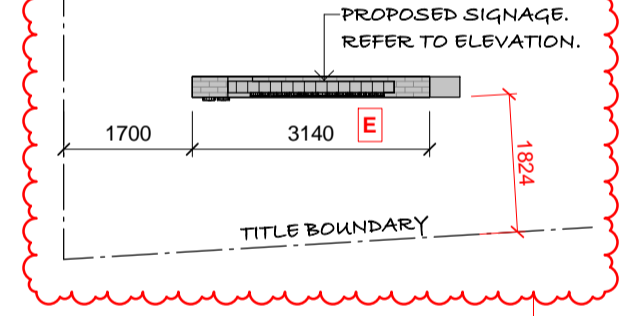
South Elevation
1:100



West Elevation
1:100

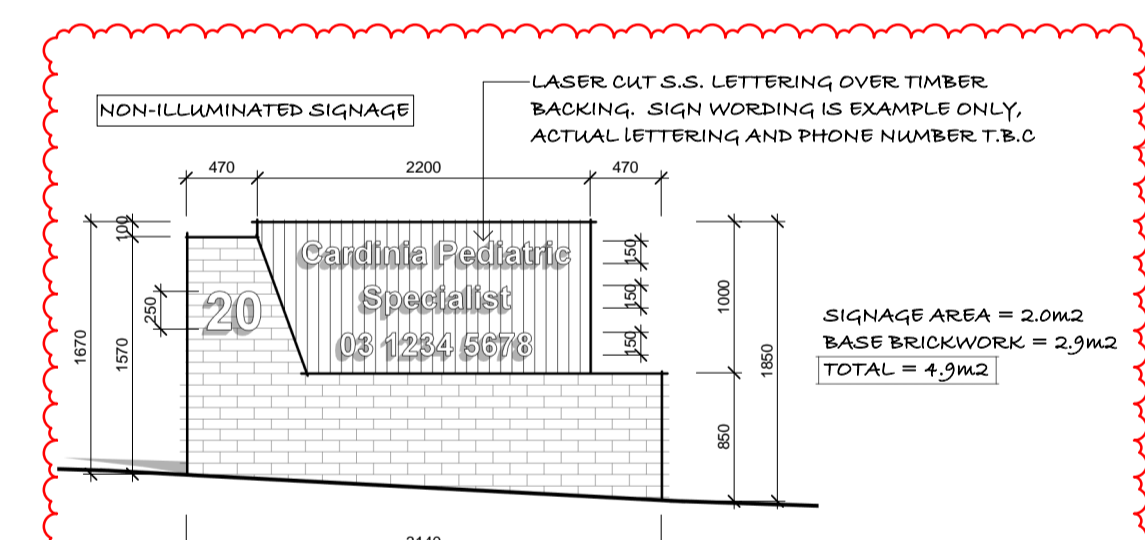


North Elevation
1:100



200 - Floor Plan - GL
1:100

Town Planning Revision - 30.01.2024



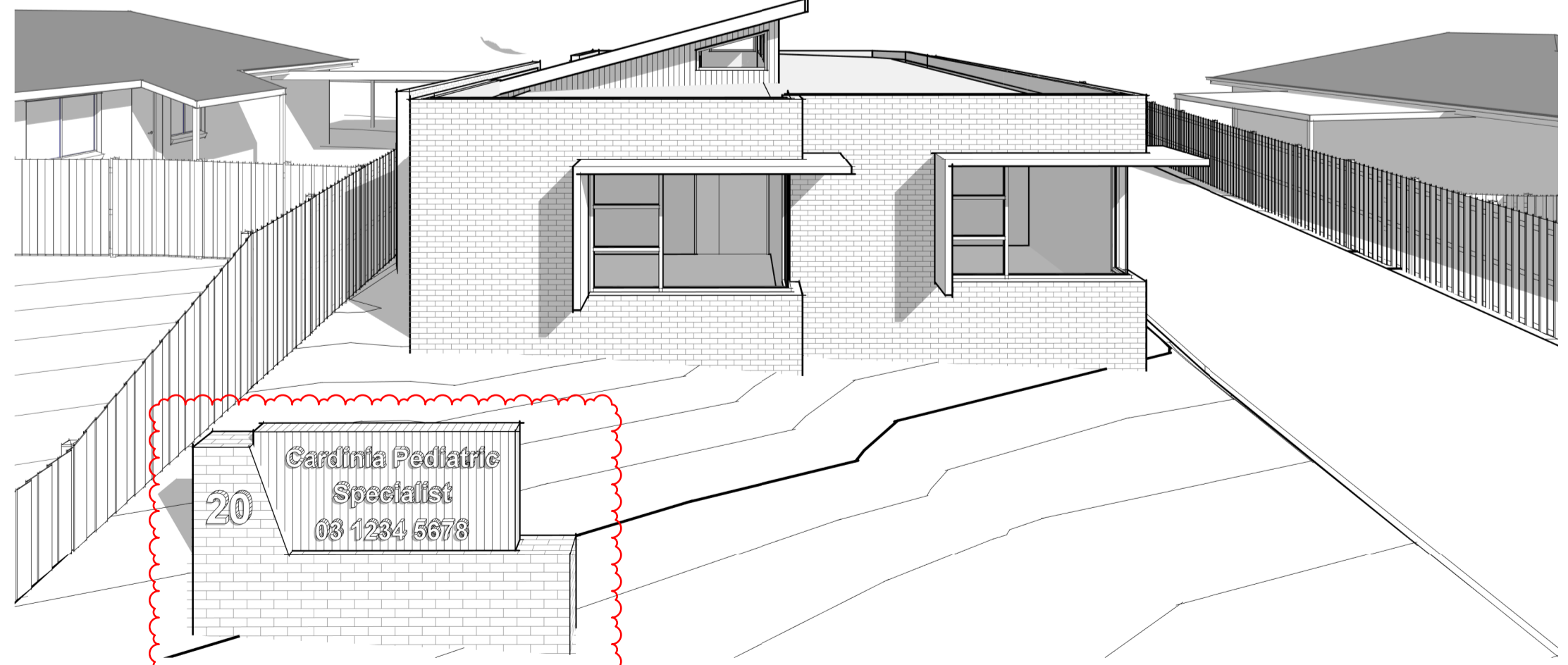
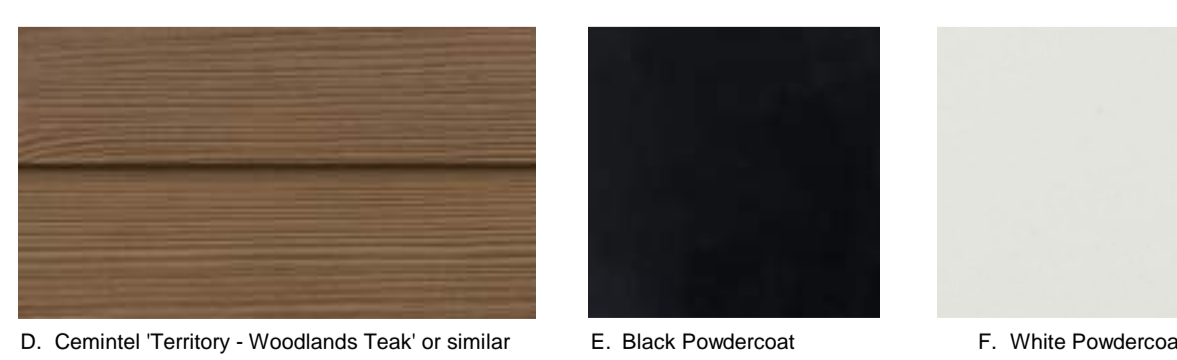
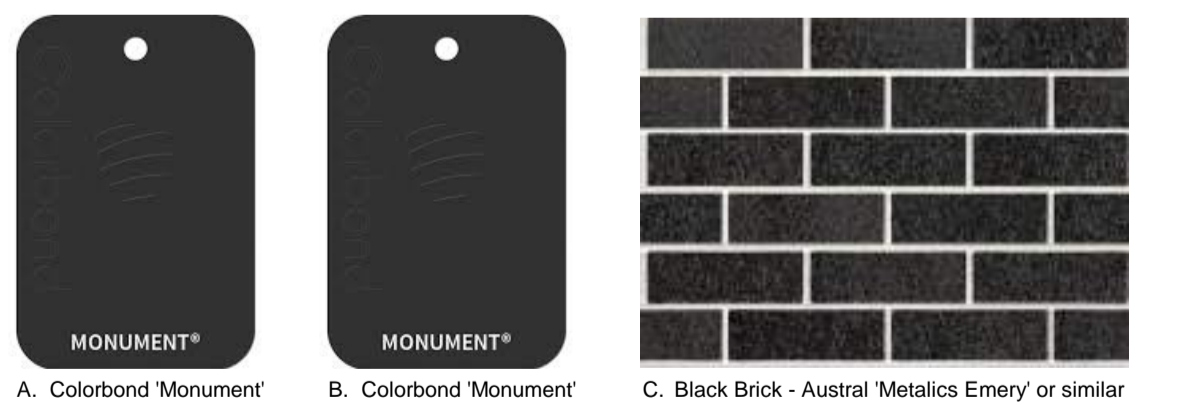
Signage Elevation
1:50

Town Planning Revision - 30.01.2024

Area Schedule - Proposed		
Name	Area	Sq
Building	197.14 m ²	21.22
Porch	3.93 m ²	0.42
Ramp	7.15 m ²	0.77
TOTAL	208.21 m²	22.41

FINISH / COLOUR SCHEDULE

No.	Material	Colour
A	Colorbond Roof	Colorbond 'Monument'
B	Colorbond Wall Cladding	Colorbond 'Monument'
C	Face Brick	Black Brick - Austral 'Metalix Emery' or similar
D	Timber Feature Cladding	Cemintel 'Territory - Woodlands Teak' or similar
E	Windows / Doors	Black Powdercoat
F	Window Canopies	White Powdercoat



3D View_South Elevated

Town Planning Revision - 30.01.2024

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Revision: C		
No.	Date	Description
A	22.09.23	Preliminary Issue
B	29.11.23	Town Planning
C	30.01.24	Town Planning RFI



Title: Floor Plan & Elevations		
Job: Proposed Medical Centre		
Name: Harsh Sharma		
Address: 20 Princes Highway, Pakenham 3810		
Design:	SM	Sheet Size: A1
Drawn:	SM	Scale: As indicated
Checked:	BE	Issue: TP1
Date:	29.11.2023	Revision: C
Dwg No:	23-033	Sheet No: A200

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TOWN PLANNING APPLICATION

Planning Assessment/Written Submission

Proposed Medical Centre 20 Princes Highway, PAKENHAM.



Owner: HCM Medical Centre Pty Ltd
October 2023

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1. Proposed Development Summary:

Applicant:	3D Design Group on behalf of the owner
Owner:	HCM Medical Centre Pty Ltd
Development Address:	20 Princes Highway, PAKENHAM 3810 Lot 1, TP 186715C
Project Description:	Proposed Commercial Development
Municipality:	Cardinia Shire Council
Town Planning Zone:	GRZ – General Residential Zone
Road Zone:	TR22 – Principal Road Network
Overlays Applicable:	DCPO - Development Contributions Plan Overlay - Schedule 1
Policies affecting development:	No incorporated documents known
Associated Documents:	Town Planning Permit Application, including: Plans by 3D Design Group, Drawing #23-033 <ul style="list-style-type: none">• Sheet A 000 – Cover Page• Sheet A 100 – Site Context• Sheet A 101 – Demolition & Site Works• Sheet A 102 – Design Response• Sheet A 103 – Shadow Diagrams• Sheet A 200 – Floor Plan & Elevations

This is not a stand-alone document and should be read in conjunction with the Town Planning Permit Application and drawings.

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2. Project Overview:

3D Design Group was employed by the Owner, Dr Harsh Sharma of HCM Medical Centre Pty Ltd, to design a Medical Centre on the subject site.

The design brief included examining and addressing the planning controls contained within the Cardinia Shire Planning Scheme as they relate to this proposal.

Currently the subject property is occupied by an existing single storey building, used as a dwelling along with associated outbuildings. The Owner intends to demolish these to facilitate the construction of the proposed Medical Centre.

The proposal is to construct a single storey building with on-ground carpark located to the rear of the site.

The Owner proposes to optimize the site potential, having researched the market, along with demographic trends and projections.

The site has one existing crossover fronting Princes Highway (service road) to the South of the site, which will be retained. The site does not currently have a concrete or gravel driveway but has a grass area that it is assumed is used as a driveway. A new concrete driveway is proposed in this location which will form part of the proposed carpark works.

The proposed building footprint represents 27.7% of the 781.28m² subject site, with the remainder of the site as driveway, on-grade carparking and landscape.

3. Site & Surrounds:

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3.1. Site

The subject property is bound by Princes Highway to the South, residential housing to the North, East and South, on Title Plan TP186715 (*Refer to Appendix A*). There are no known covenants on the title.

The site is currently occupied by a single storey weatherboard clad building, currently used as an unoccupied dwelling. The owner intends to demolish the building to facilitate the construction of the proposed Medical Centre.

The site is rectangular in shape and has an area of 781.28m².

The site has a Southern facing frontage to Princes Highway and there is existing vehicular access off the Princes Highway Service Road in the form of a single crossover. It is proposed to retain the existing crossover.

There is no nature strip trees.

The site has 2.4m of fall from the rear (north boundary) to the street (south boundary). Over the depth of the site this fall would be considered as gradual.

3.2. Surrounds

Refer to drawings #23-033 Sheet A 100: Site Context Plan for a detailed site analysis.

The immediate surrounding area is zoned GRZ (General Residential Zone). Neighbouring buildings vary, with the general area being developed in the mid to late 1900s, but with some properties being more recently re-developed. Consequently, building styles reflect this, with buildings being brick-veneer, with roofs consisting of either tile or corrugated colorbond cladding. Roof shapes are generally a combination of hips and gables, with all buildings having a porch or verandah of some description at their respective entry.

The surrounding area is characterized typically by both single and double storey detached buildings and associated outbuildings, with a number of unit developments being scattered throughout.

Gardens are generally simple, informal and established with scattered trees. Most are well maintained.

Front fencing styles and heights vary, with most properties having no front fence at all.

The general topography of the area has gradual fall from the north to south, which is typical of most of the land immediately around the subject site.

Reticulated water, sewerage, stormwater, telephone, gas and electricity are all available to the site, and it is conveniently located with close proximity to Pakenham town centre and all facilities.

4. Planning Policy Framework VPP 10

4.1. Settlement VPP 11

Planning is to anticipate and respond to the needs of existing and future communities through provision of zoned and serviced land for housing, employment, recreation and open space, commercial and community facilities and infrastructure.

Planning is to recognise the need for, and as far as practicable contribute towards:

- *Health, wellbeing and safety.*
- *Diversity of choice.*
- *Adaptation in response to changing technology.*
- *Economic viability.*
- *A high standard of urban design and amenity.*
- *Energy efficiency.*
- *Prevention of pollution to land, water and air.*
- *Protection of environmentally sensitive areas and natural resources.*
- *Accessibility.*
- *Land use and transport integration.*

Planning is to prevent environmental, human health and amenity problems created by siting incompatible land uses close together.

Planning is to facilitate sustainable development that takes full advantage of existing settlement patterns and investment in transport, utility, social, community and commercial infrastructure and services

Response:-

The project generally fits the above objectives.

4.2. Environment and Landscape Values VPP 12

Planning should help to protect the health of ecological systems and the biodiversity they support (including ecosystems, habitats, species and genetic diversity) and conserve areas with identified environmental and landscape values.

Planning must implement environmental principles for ecologically sustainable development that have been established by international and national agreements. Foremost amongst the national agreements is the Intergovernmental Agreement on the Environment, which sets out key principles for environmental policy in Australia. Other agreements include the National Strategy for Ecologically Sustainable Development, National Greenhouse Strategy, the National Water Quality Management Strategy, the National Strategy for the Conservation of Australia's Biological Diversity, the National Forest Policy Statement and National Environment Protection Measures.

Planning should protect, restore and enhance sites and features of nature conservation, biodiversity, geological or landscape value.

Response:-

The project generally fits the above objectives.

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4.3. Environmental Risks and Amenity VPP 13

Planning should strengthen the resilience and safety of communities by adopting a best practice environmental management and risk management approach.

Planning should identify, prevent and minimise the risk of harm to the environment, human health, and amenity through:

- Land use and development compatibility.*
- Effective controls to prevent or mitigate significant impacts.*
- Planning should identify and manage the potential for the environment and environmental changes to impact on the economic, environmental or social wellbeing of society.*
- Planning should ensure development and risk mitigation does not detrimentally interfere with important natural processes.*
- Planning should prepare for and respond to the impacts of climate change*

Response:-

The project generally fits the above objectives.

4.4. Natural Resource Management VPP 14

Planning is to assist in the conservation and wise use of natural resources including energy, water, land, stone and minerals to support both environmental quality and sustainable development.

Planning should ensure agricultural land is managed sustainably, while acknowledging the economic importance of agricultural production.

Response:-

The project generally fits the above objectives.

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4.5. Built Environment and Heritage VPP 15

Planning is to recognise the role of urban design, building design, heritage and energy and resource efficiency in delivering liveable and sustainable cities, towns and neighbourhoods.

Planning should ensure all land use and development appropriately responds to its surrounding landscape and character, valued built form and cultural context.

Planning should protect places and sites with significant heritage, architectural, aesthetic, scientific and cultural value.

Planning must support the establishment and maintenance of communities by delivering functional, accessible, safe and diverse physical and social environments, through the appropriate location of use and development and through high quality buildings and urban design.

Planning should promote development that is environmentally sustainable and should minimise detrimental impacts on the built and natural environment.

Planning should promote excellence in the built environment and create places that:

- *Are enjoyable, engaging and comfortable to be in.*
- *Accommodate people of all abilities, ages and cultures.*
- *Contribute positively to local character and sense of place.*
- *Reflect the particular characteristics and cultural identity of the community.*
- *Enhance the function, amenity and safety of the public realm.*

Response:-

The project generally fits the above objectives.

4.6. Housing VPP 16

Planning should provide for housing diversity, and ensure the efficient provision of supporting infrastructure.

Planning should ensure the long term sustainability of new housing, including access to services, walkability to activity centres, public transport, schools and open space.

Planning for housing should include the provision of land for affordable housing

Response:-

The project generally fits the above objectives.

4.7. Economic Development VPP 17

Planning is to provide for a strong and innovative economy, where all sectors are critical to economic prosperity. Planning is to contribute to the economic wellbeing of the state and foster economic growth by providing land, facilitating decisions and resolving land use conflicts, so that each region may build on its strengths and achieve its economic potential.

Response:-

The project generally fits the above objectives.

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4.8. Transport VPP18

Planning should ensure an integrated and sustainable transport system that provides access to social and economic opportunities, facilitates economic prosperity, contributes to environmental sustainability, coordinates reliable movements of people and goods, and is safe

Response:-

The project generally fits the above objectives.

4.9. Infrastructure VPP 19

Planning for development of social and physical infrastructure should enable it to be provided in a way that is efficient, equitable, accessible and timely. Planning is to recognise social needs by providing land for a range of accessible community resources, such as education, cultural, health and community support (mental health, aged care, disability, youth and family services) facilities. Planning should ensure that the growth and redevelopment of settlements is planned in a manner that allows for the logical and efficient provision and maintenance of infrastructure, including the setting aside of land for the construction of future transport routes. Planning should facilitate efficient use of existing infrastructure and human services. Providers of infrastructure, whether public or private bodies, are to be guided by planning policies and should assist strategic land use planning. Planning should minimise the impact of use and development on the operation of major infrastructure of national, state and regional significance, including communication networks and energy generation and distribution systems. Planning authorities should consider the use of development and infrastructure contributions in the funding of infrastructure.

Response:-

The project generally fits the above objectives.

5. Local Planning Policy Framework 20

5.1. Municipal Strategic Statement LPP 21.0

No Policy

5.2. Local Planning Policies

No Policy

Operation of the Local Planning Policy Framework

No Policy

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6. Zone 32.08

None residential Use 32-08-13

Whether the use or development is compatible with residential use.

- Whether the use generally serves local community needs.
- The scale and intensity of the use and development.
- The design, height, setback and appearance of the proposed buildings and works.
- The proposed landscaping.
- The provision of car and bicycle parking and associated accessways.
- Any proposed loading and refuse collection facilities.
- The safety, efficiency and amenity effects of traffic to be generated by the proposal

Response: _

The proposed development of the site for a medical centre conforms with the above decision guidelines

- *The medical centre forfills the need in the community for a pediatic provider.*
- *The building and associated works are small and a low intensity practice.*
- *The building has been designed to sit in the residential area but still look open and inviting as a commercial premis. The use of residential construction methods and materials aids in this endeavor.*
- *There is a landscape plan provided with native, low matinance planting.*
- *A car and bicycle parking has been provided and reviewed by O.Brian traffic*
- *We have considered the safety of others in the design concept. – the entry is located directly from the car park.*

Amenity to neighboring properties has been carefully considered.

- *There is no overlooking*
- *There is no overshadowing*
- *Noise has been considered and a report by Enfield, acoustic, noise, vibration has been supplied.*
- *External light has been considered and limits any light spill and glare to others*
- *Signage is not illuminated.*
- *The hours of operation are typical of a medical practies 7:30am to 9:30pm*
- *Traffic and carparking has been considered and supported with a traffic impact report from O'Brian Traffic Engineers.*
- *A waste management plan has been provided from O'Brian Traffic Engineers*
- *Construction Management plan has been prepared by 3D Design Group.*

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7. Overlays 40

7.1. Environmental and Landscape Overlays VPP 42

No Policy

7.2. Heritage and Built Form Overlays VPP 43

No Policy

7.3. Land Management Overlays VPP 44

No Policy

7.4. Other Overlays VPP 45

No Policy

8. Particular Provisions 50

8.1. Provisions that Apply only to a Specified Area VPP 51

No Policy

8.2. Provisions that require, Enable or Exempt a Permit VPP52

No Policy

8.3. General Requirements and Performance Standards VPP53

No Policy

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8.4. One Dwelling on a Lot VPP 54

Purpose

To implement the Municipal Planning Strategy and the Planning Policy Framework.

To achieve residential development that respects the existing neighbourhood character or which contributes to a preferred neighbourhood character.

To encourage residential development that provides reasonable standards of amenity for existing and new residents.

To encourage residential development that is responsive to the site and the neighbourhood.

Application

These provisions apply to an application to construct a building or construct or carry out works associated with one dwelling on a lot under the provisions of:

- A Neighbourhood Residential Zone, General Residential Zone, Residential Growth Zone,
- Mixed Use Zone or Township Zone.
- A Neighbourhood Character Overlay if the land is in a Neighbourhood Residential Zone,
- General Residential Zone, Residential Growth Zone, Mixed Use Zone or Township Zone.

Operation

The provisions of this clause contain:

- **Objectives.** An objective describes the desired outcome to be achieved in the completed development.

- **Standards.** A standard contains the requirements to meet the objective.

A standard should normally be met. However, if the responsible authority is satisfied that an application for an alternative design solution meets the objective, the alternative design solution may be considered.

- **Decision guidelines.** The decision guidelines set out the matters that the responsible authority must consider before deciding if an application meets the objectives.

Requirements

A development:

- Must meet all of the objectives of this clause.
- Should meet all of the standards of this clause.

If a zone or a schedule to a zone specifies a requirement of a standard different from a requirement set out in this clause, the requirement in the zone or a schedule to the zone applies.

If the land is included in a Neighbourhood Character Overlay and a schedule to the overlay specifies a requirement of a standard different from a requirement set out in this clause or a requirement in the zone or a schedule to the zone, the requirement in the schedule to the overlay applies.

If the land is included in an overlay, other than a Neighbourhood Character Overlay, and a schedule to the overlay specifies a requirement different from a requirement of a standard set out in this clause or a requirement of a standard set out in the zone or a schedule to the zone, the requirement in the overlay applies.

Response:-

This Policy is not applicable to the application

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8.5. Two or More Dwellings on a Lot VPP 55

Purpose

To implement the Municipal Planning Strategy and the Planning Policy Framework.

To achieve residential development that respects the existing neighbourhood character or which contributes to a preferred neighbourhood character.

To encourage residential development that provides reasonable standards of amenity for existing and new residents.

To encourage residential development that is responsive to the site and the neighbourhood.

Application

Provisions in this clause apply to an application to:

- Construct a dwelling if there is at least one dwelling existing on the lot,
- Construct two or more dwellings on a lot,
- Extend a dwelling if there are two or more dwellings on the lot,
- Construct or extend a dwelling on common property, or
- Construct or extend a residential building,

in the Neighbourhood Residential Zone, General Residential Zone, Residential Growth Zone, Mixed Use Zone or Township Zone.

The provisions of this clause apply to an application specified above, in the manner set out in the following table.

To construct or extend a dwelling (other than a dwelling in or forming part of an apartment development), or To construct or extend a residential building.	All of Clause 55 except Clause 55.07-1 to 55.07-15 (inclusive).
To construct or extend an apartment development, or To construct or extend a dwelling in or forming part of an apartment development.	All of Clause 55 except Clause 55.03-5, Clause 55.03-6, Clause 55.04-8, Clause 55.05-1, Clause 55.05-2 and Clause 55.05-6.

These provisions do not apply to an application to construct or extend a development of five or more storeys, excluding a basement or to construct or extend a dwelling in a development of five or more storeys, excluding a basement.

Operation

The provisions of this clause contain:

- **Objectives.** An objective describes the desired outcome to be achieved in the completed development.

- **Standards.** A standard contains the requirements to meet the objective.

A standard should normally be met. However, if the responsible authority is satisfied that an application for an alternative design solution meets the objective, the alternative design solution may be considered.

- **Decision guidelines.** The decision guidelines set out the matters that the responsible authority must consider before deciding if an application meets the objectives.

Requirements

A development:

- Must meet all of the objectives of this clause that apply to the application.
- Should meet all of the standards of this clause that apply to the application.

For all of the provisions of Clause 55 other than Clause 55.07 (Apartment developments):

- If a zone or a schedule to a zone specifies a requirement of a standard different from a requirement set out in this clause, the requirement in the zone or a schedule to the zone applies.
- If the land is included in a Neighbourhood Character Overlay and a schedule to the overlay specifies a requirement of a standard different from a requirement set out in this clause or a requirement in the zone or a schedule to the zone, the requirement in the schedule to the overlay

- applies.
- If the land is included in an overlay, other than a Neighbourhood Character Overlay, and a schedule to the overlay specifies a requirement different from a requirement of a standard set out in this clause or a requirement of a standard set out in the zone or a schedule to the zone, the requirement in the overlay applies.

The requirements of a standard set out in Clause 55.07 (Apartment developments) apply to the exclusion of any different requirement specified in a zone, a schedule to a zone, or a schedule to an overlay.

Transitional provisions

Clause 55.03-4 of this planning scheme, as in force immediately before the approval date of Amendment VC154, continues to apply to:

An application for a planning permit lodged before that date.

An application for an amendment of a permit under section 72 of the Act, if the original permit application was lodged before that date.

Response:-

This Policy is not applicable to the application

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8.6. Residential Sub-division VPP 56

Purpose

To implement the Municipal Planning Strategy and the Planning Policy Framework.

To create liveable and sustainable neighbourhoods and urban places with character and identity.

To achieve residential subdivision outcomes that appropriately respond to the site and its context for:

- Metropolitan Melbourne growth areas.
- Infill sites within established residential areas.
- Regional cities and towns.

To ensure residential subdivision design appropriately provides for:

- Policy implementation.
- Liveable and sustainable communities.
- Residential lot design.
- Urban landscape.
- Access and mobility management.
- Integrated water management.
- Site management.
- Utilities.

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Application

These provisions apply to an application to subdivide land in the Neighbourhood Residential Zone, General Residential Zone, Residential Growth Zone, Mixed Use Zone or Township Zone and any Comprehensive Development Zone or Priority Development Zone that provides for residential development.

These provisions do not apply to an application to subdivide land into lots each containing an existing dwelling or car parking space.

Operation

The provisions of this clause contain:

- **Objectives.** An objective describes the desired outcome to be achieved in the completed subdivision.
- **Standards.** A standard contains the requirements to meet the objective.

A standard should normally be met. However, if the responsible authority is satisfied that an application for an alternative design solution meets the objective, the alternative design solution may be considered.

Requirement

An application to subdivide land:

Must be accompanied by a site and context description and a design response.

Must meet all of the objectives included in the clauses specified in the zone.

Should meet all of the standards included in the clauses specified in the zone.

Certification of standards

A subdivision may be certified by a person authorised by the Minister for Planning as meeting the requirements of a standard in this clause.

A standard that is certified as met is deemed to have met the objective of that standard.

Response:-

This Policy is not applicable to the application

8.7. Apartment Development VPP 58

Purpose

To implement the Municipal Planning Strategy and the Planning Policy Framework.

To encourage apartment development that provides reasonable standards of amenity for existing and new residents.

To encourage apartment development that is responsive to the site and the surrounding area.

Application

Provisions in this clause apply to an application to construct or extend an apartment development, or to construct or extend a dwelling in or forming part of an apartment development, if:

- The apartment development is five or more storeys, excluding a basement, and is in the General Residential Zone, Residential Growth Zone, Mixed Use Zone or Township Zone, or
- The apartment development is in the Commercial 1 Zone, Commercial 3 Zone, Special Use Zone, Comprehensive Development Zone, Capital City Zone, Docklands Zone, Priority Development Zone or Activity Centre Zone.

Operation

The provisions of this clause contain:

- **Objectives.** An objective describes the desired outcome to be achieved in the completed development.

- **Standards.** A standard contains the requirements to meet the objective.

A standard should normally be met. However, if the responsible authority is satisfied that an application for an alternative design solution meets the objective, the alternative design solution may be considered.

- **Decision guidelines.** The decision guidelines set out the matters that the responsible authority must consider before deciding if an application meets the objectives.

Requirements

A development:

- Must meet all of the objectives of this clause.
- Should meet all of the standards of this clause.

If a zone or a schedule to a zone, or a schedule to an overlay specifies a requirement different from a requirement of a standard set out in Clause 58 (excluding Clause 58.04-1), the requirement in Clause 58 applies.

For Clause 58.04-1 (Building setback):

- If a zone or a schedule to a zone specifies a building setback requirement different from a requirement set out in Clause 58.04-1, the building setback requirement in the zone or a schedule to the zone applies.
- If the land is included in an overlay and a schedule to the overlay specifies a building setback requirement different from the requirement set out Clause 58.04-1 or a requirement set out in the zone or a schedule to the zone, the requirement for building setback in the overlay applies.

Response:-

This Policy is not applicable to the application

8.8. VicSmart Application Requirements VPP 59

No Policy

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9. General Provisions 60

9.1. General Exemptions VPP 62

No Policy

9.2. Existing Uses VPP 63

No Policy

9.3. General Provision for Use and Development VPP 64

No Policy

9.4. Decision Guidelines VPP 65

Because a permit can be granted does not imply that a permit should or will be granted. The responsible authority must decide whether the proposal will produce acceptable outcomes in terms of the decision guidelines of this clause.

9.4.1. Approval of an Application or Plan VPP 65.1

Before deciding on an application or approval of a plan, the responsible authority must consider, as appropriate:

- *The matters set out in section 60 of the Act.*
- *Any significant effects the environment, including the contamination of land, may have on the use or development.*
- *The Municipal Planning Strategy and the Planning Policy Framework.*
- *The purpose of the zone, overlay or other provision.*
- *Any matter required to be considered in the zone, overlay or other provision.*
- *The orderly planning of the area.*
- *The effect on the environment, human health and amenity of the area.*
- *The proximity of the land to any public land.*
- *Factors likely to cause or contribute to land degradation, salinity or reduce water quality.*
- *Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site.*
- *The extent and character of native vegetation and the likelihood of its destruction.*
- *Whether native vegetation is to be or can be protected, planted or allowed to regenerate.*
- *The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard.*
- *The adequacy of loading and unloading facilities and any associated amenity, traffic flow and road safety impacts.*

This clause does not apply to a VicSmart application.

Response:-

This Policy is not applicable to the application

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9.4.2. Approval of an application to Sub-divide Land VPP 65.02

Before deciding on an application to subdivide land, the responsible authority must also consider, as appropriate:

- The suitability of the land for subdivision.
- The existing use and possible future development of the land and nearby land.
- The availability of subdivided land in the locality, and the need for the creation of further lots.
- The effect of development on the use or development of other land which has a common means of drainage.
- The subdivision pattern having regard to the physical characteristics of the land including existing vegetation.
- The density of the proposed development.
- The area and dimensions of each lot in the subdivision.
- The layout of roads having regard to their function and relationship to existing roads.
- The movement of pedestrians and vehicles throughout the subdivision and the ease of access to all lots.
- The provision and location of reserves for public open space and other community facilities.
- The staging of the subdivision.
- The design and siting of buildings having regard to safety and the risk of spread of fire.
- The provision of off-street parking.
- The provision and location of common property.
- The functions of any body corporate.
- The availability and provision of utility services, including water, sewerage, drainage, electricity and gas.
- If the land is not sewered and no provision has been made for the land to be sewered, the capacity of the land to treat and retain all sewage and sullage within the boundaries of each lot.
- Whether, in relation to subdivision plans, native vegetation can be protected through subdivision and siting of open space areas.

This clause does not apply to a VicSmart application.

Response:-

[This Policy is not applicable to the application](#)

9.5. Referral and Notice Provisions VPP 66

Scope

These provisions set out the kinds of applications which must be referred under section 55 of the Act or for which notice must be given under section 52(1)(c) of the Act. The provisions do not apply to the seeking of advice about an application or where a responsible authority may choose to give notice under another sub-section of section 52(1) of the Act.

These provisions also specify when a plan must be referred under section 8(1)(a) of the Subdivision Act 1988.

Referrals

Applications of the kind listed in Clauses 66.01, 66.02, 66.03 and 66.04 must be referred to the person or body specified as a referral authority in accordance with section 55 of the Act.

Any requirement for referral under this or another clause does not apply if:

- In the opinion of the responsible authority, the proposal satisfies requirements or conditions previously agreed in writing between the responsible authority and the referral authority, or the referral authority has considered the proposal for which the application is made within the past three months and has stated in writing that it does not object to the granting of the permit for the proposal; or

- The application is for the use or development of land for extractive industry or mining and a copy of a work plan or variation to an approved work plan accompanying the application was given to the referral authority (other than the Head, Transport for Victoria) under section 77TE of the Mineral Resources (Sustainable Development) Act 1990.

Notice

Notice of an application of the kind listed in Clauses 66.05 and 66.06 must be given in accordance with section 52(1)(c) of the Act to the person or body specified as a person or body to be notified. Any requirement for notice under this or another clause does not apply if, in the opinion of the responsible authority, the proposal satisfies requirements or conditions previously agreed in writing between the responsible authority and the person or body to be notified.

Response:-

We are aware the application will be subject to council referrals and advertising requirements.

9.6. Applications Under Section 96 of the Act VPP 67

This clause applies to an application for a permit which, except for the provisions of this clause, would be made to the Minister in accordance with Section 96 of the Act

Response:-

Not applicable to this application

10. Operational Provisions 70

10.1. Operation of this Planning Scheme VPP 71

No Policy

10.2. Administration and Enforcement of the Scheme VPP 72

No Policy

10.3. Meaning of Terms VPP 73

A term used in this planning scheme has its ordinary meaning unless that term is defined:

- *In this planning scheme; or*
- *In the Planning and Environment Act 1987 or the Interpretation of Legislation Act 1984, in which case the term has the meaning given to it in those Acts unless it is defined differently in this scheme*

10.4. Strategic Implementation VPP 74

No Policy


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11. Planning Report.

Please see the following planning property report for the subject site.

The site is located in a GRZ General Residential Zone, has a DCPO Development Contributions Plan Overlay and is subject to Aboriginal Cultural Heritage Sensitivity. The site is serviced by a TR22 Principal Road Network.



Environment, Land, Water and Planning

PLANNING PROPERTY REPORT

From www.planning.vic.gov.au at 24 October 2023 11:51 AM

PROPERTY DETAILS

Address: **20 PRINCES HIGHWAY PAKENHAM 3810**

Lot and Plan Number: **Lot 1 TP186715**

Standard Parcel Identifier (SPI): **1\TP186715**

Local Government Area (Council): **CARDINIA** www.cardinia.vic.gov.au

Council Property Number: **370111600**

Planning Scheme: **Cardinia** [Planning Scheme - Cardinia](#)

Directory Reference: **Melway 317 E7**

STATE ELECTORATES

Legislative Council: **EASTERN VICTORIA**

Legislative Assembly: **PAKENHAM**

UTILITIES

Rural Water Corporation: **Southern Rural Water**

Melbourne Water Retailer: **South East Water**

Melbourne Water: **Inside drainage boundary**

Power Distributor: **AUSNET**


OTHER

Registered Aboriginal Party: **Bunurong Land Council Aboriginal Corporation**

[View location in VicPlan](#)

Planning Zones

[GENERAL RESIDENTIAL ZONE \(GRZ\)](#)
[GENERAL RESIDENTIAL ZONE - SCHEDULE 1 \(GRZ1\)](#)



GRZ - General Residential

PPRZ - Public Park and Recreation

TR22 - Principal Road Network

Note: labels for zones may appear outside the actual zone - please compare the labels with the legend.

11.1. General Residential Zone

Shown on the planning scheme map as **GRZ** with a number (if shown).

Purpose

To implement the Municipal Planning Strategy and the Planning Policy Framework.
 To encourage development that respects the neighbourhood character of the area.
 To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.
 To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

Objectives

A schedule to this zone may contain objectives to be achieved for the area

Table of uses
Section 1 - Permit not required

Use	Condition
Automated collection point	Must meet the requirements of Clause 52.13-3 and 52.13-5. The gross floor area of all buildings must not exceed 50 square metres.
Bed and breakfast	No more than 10 persons may be accommodated away from their normal place of residence. At least 1 car parking space must be provided for each 2 persons able to be accommodated away from their normal place of residence.
Community care accommodation	Must meet the requirements of Clause 52.22-2.
Dependent person's unit	Must be the only dependent person's unit on the lot.
Domestic animal husbandry (other than Domestic animal boarding)	Must be no more than 2 animals.
Dwelling (other than Bed and breakfast) Home based business Informal outdoor recreation	
Medical centre	The gross floor area of all buildings must not exceed 250 square metres. Must not require a permit under Clause 52.06-3. The site must adjoin, or have access to, a road in a Transport

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Zone 2 or a Transport Zone 3.	
Place of worship	The gross floor area of all buildings must not exceed 250 square metres. The site must adjoin, or have access to, a road in a Transport Zone 2 or a Transport Zone 3.
Racing dog husbandry	Must be no more than 2 animals.
Railway	
Residential aged care facility	
Rooming house	Must meet the requirements of Clause 52.23-2.
Tramway	
Any use listed in Clause 62.01	Must meet the requirements of Clause 62.01.

Response:-

A Medical Centre is a section 1 use and a planning permit is not required for a building under 250m². The proposed building is 208.21m²

The Medical Centre is connected to a transport zone 2 – complies with the section 1 requirements

The associated car park is a section 2 use and is a trigger for a town planning permit.

The proposed car park has been designed and referred to O'Brian Traffic Engineers for turning diagrams and a traffic impact assessment.

The client is seeking a reduction in parking spaces – required 14 spaces to 9 spaces. The medical centre is for a pediatrician with an appointment of a minimum 30min or 2 per hour for each practitioner. For the project to be viable it needs to support four (4) Practitioners.

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11.2. Schedule to the Zone

Objectives

None specified.

Clause 54 and Clause 55 requirements

	Standard	Requirement
Minimum Street Setback	A3 and B6	None Specified
Site Coverage	A5 and B8	None Specified
Permeability	A6 and B9	None Specified
Landscape	B13	None Specified
Side and rear setbacks	A10 and B17	None Specified
Walls on Boundaries	A11 and B18	None Specified
Private Open Space	A17 and B28	None Specified
Front Fence Height	A20 and B32	None Specified

Maximum building height requirement

None specified.

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Application requirements

None specified.

Decision guidelines

None specified.

Response:-

The schedule to the zone is not applicable.

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12. Overlays

12.1. Development Contributions Plan Overlay (DCPO)



Shown on the planning scheme map as **DCPO** with a number.

Purpose

To implement the Municipal Planning Strategy and the Planning Policy Framework.

To identify areas which require the preparation of a development contributions plan for the purpose of levying contributions for the provision of works, services and facilities before development can commence.

Development contributions plan

A permit must not be granted to subdivide land, construct a building or construct or carry out works until a development contributions plan has been incorporated into this scheme.

This does not apply to the construction of a building, the construction or carrying out of works or a subdivision specifically excluded by a schedule to this overlay.

A permit granted must:

- Be consistent with the provisions of the relevant development contributions plan.
- Include any conditions required to give effect to any contributions or levies imposed, conditions or requirements set out in the relevant schedule to this overlay.

Preparation of a development contributions plan

The development contributions plan may consist of plans or other documents and may, with the agreement of the planning authority, be prepared and implemented in stages.

The development contributions plan must:

- Specify the area to which the plan applies.
- Set out the works, services and facilities to be funded through the plan, including the staging of the provision of those works, services and facilities.
- Relate the need for the works, services or facilities to the proposed development of land in the area.
- Specify the estimated costs of each of the works, services and facilities.
- Specify the proportion of the total estimated costs of the works, services and facilities which is to be funded by a development infrastructure levy or community infrastructure levy or both.
- Specify the land in the area and the types of development in respect of which a levy is payable and the method for determining the levy payable in respect of any development of land.
- Provide for the procedures for the collection of a development infrastructure levy in respect to

any development for which a permit is not required.

The development contributions plan may:

- *Exempt certain land or certain types of development from payment of a development infrastructure levy or community infrastructure levy or both.*
- *Provide for different rates or amounts of levy to be payable in respect of different types of development of land or different parts of the area.*

Response:-

The developer is aware a development contribution may apply to this application.

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12.2. Development Contributions Plan Overlay schedule (DCPO1)

Area covered by this development contributions plan

This development contributions plan applies to all land identified on the map to the Pakenham Township Development Contributions Plan, September 1997.

Summary of costs

Facility	Total cost: \$	Time of provision	Actual cost contribution attributable to development \$	Proportion of cost attributable to development %
Distributor roads	17,898,250	Refer to Development Contributions Plan	16,516,780	93
Traffic management works	3,222,600	Refer to Development Contributions Plan	1,646,890	51
Streetscape & environment	940,500	Refer to Development Contributions Plan	516,285	55
Parks	1,235,000	Refer to Development Contributions Plan	1,123,275	91
Active open space	2,898,000	Refer to Development Contributions Plan	1,396,080	48
Community activity centres	3,388,000	Refer to Development Contributions Plan	3,085,530	91
Drainage	-	-	-	-
Other	-	-	-	-
TOTAL	29,268,350	Refer to Development Contributions Plan	24,985,750	85

Response:-

The developer is aware a development contribution may apply to this application.

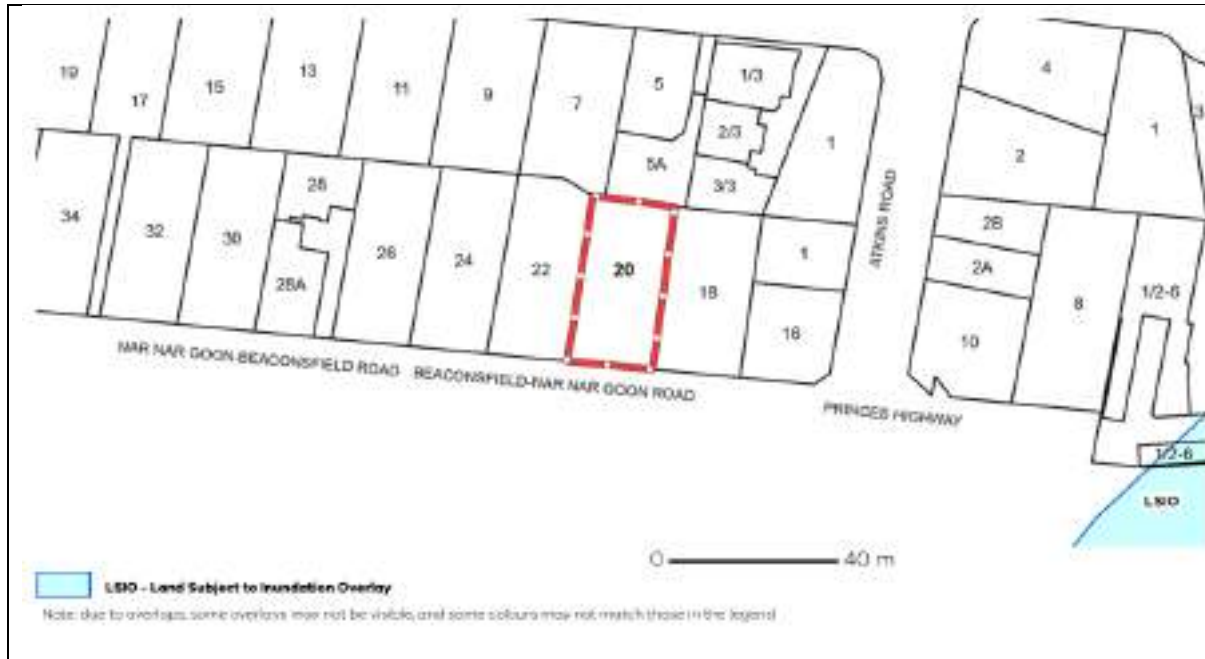
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12.3. Other Overlays Nearby

Other Overlays in the vicinity not directly affecting this land

- Land Subject to Inundation Overlay (LSIO)



Response:-

We recognize the nearby overlays and none have a direct bearing on the proposed development.

12.4. Areas of Aboriginal Cultural Heritage Sensitivity

Areas of Aboriginal Cultural Heritage Sensitivity

All or part of this property is on 'area of cultural heritage sensitivity'.

'Areas of cultural heritage sensitivity' are defined under the Aboriginal Heritage Regulations 2018, and include registered Aboriginal cultural heritage places and land form types that are generally regarded as more likely to contain Aboriginal cultural heritage.

Under the Aboriginal Heritage Regulations 2018, 'areas of cultural heritage sensitivity' are one part of a two part trigger which requires a 'cultural heritage management plan' be prepared where a listed 'high impact activity' is proposed.

If a significant land use change is proposed (for example, a subdivision into 3 or more lots), a cultural heritage management plan may be triggered. One of two dwellings, works ancillary to a dwelling, services to a dwelling, alteration of buildings and minor works are examples of works exempt from this requirement.

Under the Aboriginal Heritage Act 2006, where a cultural heritage management plan is required, planning permits, licenses and work authorities cannot be issued unless the cultural heritage management plan has been approved for the activity.

For further information about whether a Cultural Heritage Management Plan is required go to: <http://www.dhs.vic.gov.au/about-us/our-services/>

More information, including links to both the Aboriginal Heritage Act 2006 and the Aboriginal Heritage Regulations 2018, can also be found here - <https://www.aboriginal.vic.gov.au/aboriginal-heritage-legislation/>

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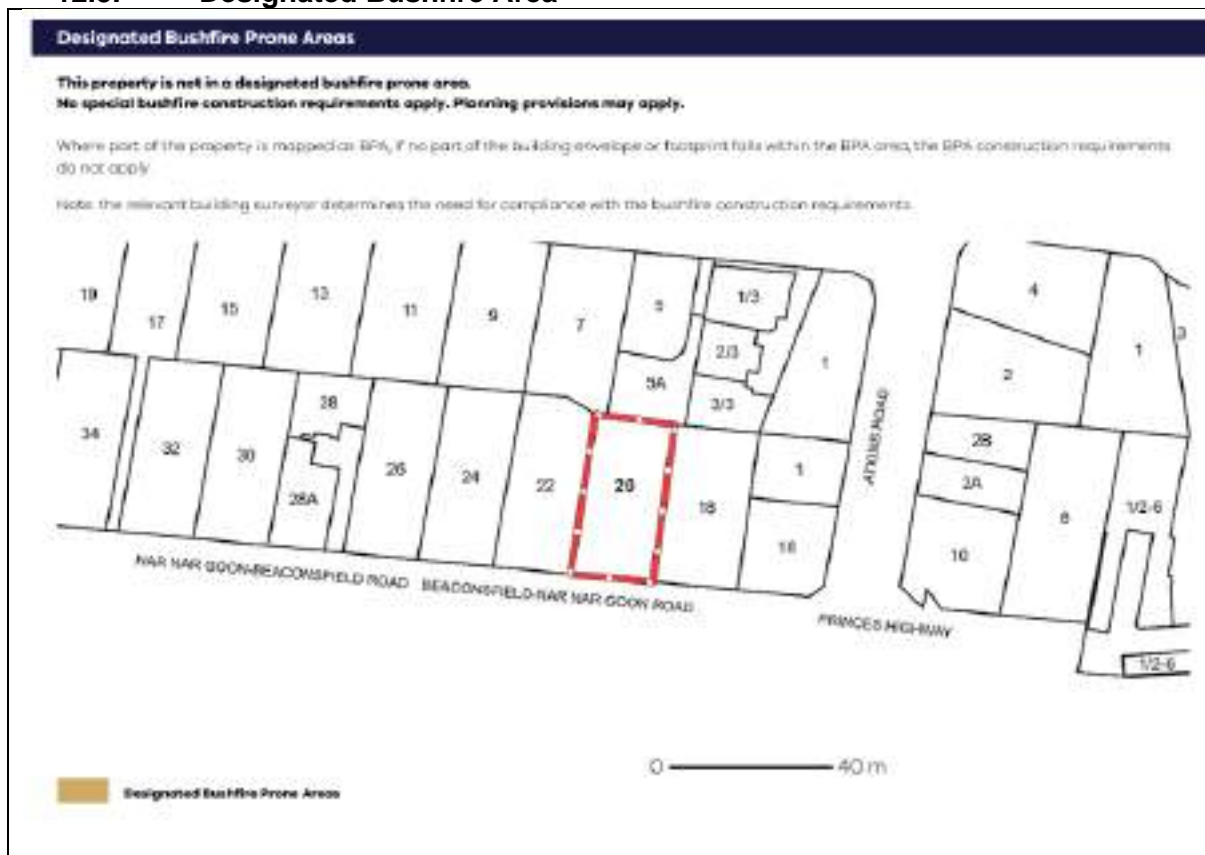
Aboriginal Cultural Heritage

Response:-

3D Design Group has engaged Tardis Archaeology Heritage Advisors to provide a Cultural Heritage Statement addressing the proposed design and this site. – No CHMP is required from their advice and report.

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12.5. Designated Bushfire Area



Response:-

The site is not in a designated bushfire prone area.

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13. Appendices

13.1. Appendix A - Copy of Title and Plans of Subdivision



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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958 Page 1 of 1

VOLUME 10904 FOLIO 988

Security no : 124110002939R
Produced 24/10/2023 02:01 PM

LAND DESCRIPTION

Lot 1 on Title Plan 186715C.
PARENT TITLE Volume 09087 Folio 617
Created by instrument AD926586E 10/10/2005

REGISTERED PROPRIETOR



MORTGAGE AX336415Y 09/10/2023
COMMONWEALTH BANK OF AUSTRALIA

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE TP186715C FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
AX336413D (R)	DISCHARGE OF MORTGAGE	Registered	09/10/2023
AX336414B (R)	TRANSFER	Registered	09/10/2023
AX336415Y (R)	MORTGAGE	Registered	09/10/2023

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 20 PRINCES HIGHWAY PAKENHAM VIC 3810

ADMINISTRATIVE NOTICES

NIL

eCT Control 15940N COMMONWEALTH BANK OF AUSTRALIA
Effective from 09/10/2023

DOCUMENT END

TITLE PLAN	EDITION 1	TP 186715C						
<p>Location of Land</p> <p>Parish: NAR-NAR-GOON Township: Section: Crown Allotment: Crown Portion: 10 (PT)</p> <p>Last Plan Reference: LP6883 Derived From: VOL 9087 FOL 817 Depth Limitation: NIL</p>	<p style="text-align: center;">Notations</p> <p>ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN</p>							
<p>Description of Land / Easement Information</p>		<p>THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT</p> <p>COMPILED: 14/10/1999 VERIFIED: BE</p>						
<table border="1" style="margin: auto;"> <tr> <th colspan="2">TABLE OF PARCEL IDENTIFIERS</th> </tr> <tr> <td colspan="2">WARNING: Where multiple parcels are referred to or shown on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1992</td> </tr> <tr> <td colspan="2">PARCEL 1 = LOT 5 (PT) ON LP6883</td> </tr> </table>			TABLE OF PARCEL IDENTIFIERS		WARNING: Where multiple parcels are referred to or shown on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1992		PARCEL 1 = LOT 5 (PT) ON LP6883	
TABLE OF PARCEL IDENTIFIERS								
WARNING: Where multiple parcels are referred to or shown on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1992								
PARCEL 1 = LOT 5 (PT) ON LP6883								
<p>LENGTHS ARE IN METRES</p>	<p>Metres = 0.3048 x Feet Metres = 0.201168 x Links</p>	<p>Sheet 1 of 1 sheets</p>						

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1st February 2024



Application No: T230596
Property No: 3701111600
Address: L1 TP186715 V10904 F988, 20 Princes Highway, Pakenham VIC 3810
Proposal: Buildings and works associated with the construction of a Medical Centre, advertising signage and a reduction in car parking

I refer to the above planning permit application, and more specifically your request for further information dated 22nd December 2023. Please find attached a detailed response to this request.

If you have any further queries regarding this matter, please do not hesitate to call me on 5941 4717.

We thank you for your cooperation on this matter.



Further Information Required:	
Further Information Required	Response
<p>1. Outstanding Fees Council's records show an outstanding amount for payment of application fees for \$2,122.65.</p>	<p>Additional application fees paid 30/01/24 – Please refer to attached receipt number 4314591</p>
<p>2. Cultural Heritage Management Plan Council has reviewed the Heritage Statement by Tardis Archaeology Pty Ltd heritage advisors dated 9 November 2023 and is not persuaded that significant ground disturbance has occurred, for the reasons outlined in the preliminary comments below. An approved cultural heritage management plan is required.</p>	<p>Please refer to the updated heritage statement provided by Tardis Archaeology dated 30th January 2024. The updated report provides the inclusion of a geotechnical report which indicates that the activity area has been subject to significant ground disturbance with the presence of fill within the boreholes.</p>
<p>3. Planning submission Update the Planning Assessment to address the following application requirement pursuant to clause 32.08 General Residential Zone:</p> <ul style="list-style-type: none"> The likely effects, if any, on adjoining land, including noise levels, traffic, the hours of delivery and dispatch of goods and materials, hours of operation and light spill, solar access, and glare. 	<p>The Written Report has been updated to respond to the likely effect on adjoining landowners</p> <ul style="list-style-type: none"> Acoustic Report prepared by Enfield Acoustics Hours of operation – 7:30 am to 9:30 PM No dispatch of Goods and materials Lighting has been added to the drawings and has considered light spill and glare. Solar access has been considered and shadow diagrams prepared.
<p>4. Plans Please provide an updated set of plans to show:</p> <ul style="list-style-type: none"> Setbacks to property boundaries A landscaping plan Plans for the proposed signage that address the application requirements of clause 52.05-6 Signs: <u>Site context</u> <ul style="list-style-type: none"> The location of the proposed sign on the site or building and distance from property boundaries. The location and size of existing signage on the site including details of any signs to be retained or removed The location and form of existing signage on abutting properties and in the locality The location of closest traffic control signs Identification of any view lines or vistas that could be affected by the proposed sign 	<p>Please refer to amended Architectural Drawings prepared by 3D Design Group Issue Rev D dated 30th January 2024.</p> <ul style="list-style-type: none"> Additional dimensions to title boundaries were added to the drawings – refer Sheet A102 A landscape plan has been included in the drawing set – refer Sheet A104 Signage – refer Sheet A200 <ul style="list-style-type: none"> Additional dimensions have been included on the signage drawings No existing signage on site No Signage on the abutting properties Traffic control signage at the end of the service road – clarified on drawings No view lines are impacted by the proposed sign, as it is located inside the property and low in height.

<p><u>Sign details</u></p> <ul style="list-style-type: none"> ○ The location, dimensions, height above ground level and extent of projection of the proposed sign ○ The height, width, depth of the total sign structure including method of support and any associated structures such as safety devices and service platforms ○ Details of associated on-site works ○ Details of any form of illumination, including details of baffles and the times at which the sign would be illuminated ○ The colour, lettering style and materials of the proposed sign ○ The size of the display (total display area, including all sides of a multi-sided sign) ○ The location of any logo box and proportion of display area occupied by such a logo box ○ For animated or electronic signs, a report addressing the decision guidelines at Clause 52.05-8 relating to road safety ○ Any landscaping details 	<p><u>Sign Details</u></p> <ul style="list-style-type: none"> ○ Location, size, and height dimensions have been included on the drawings – refer Sheet A200 ○ The sign is low, with a brickwork base on a concrete pad footing, with a central frame that is clad to match the proposed building. – this structure will be designed by a structural engineer at the time we document the construction of the building. ○ Associated works are:- <ul style="list-style-type: none"> ➢ Pad footing by concreter when the slab is being constructed ➢ Base brickwork by bricklayer when walls are being constructed ➢ Central wall by a carpenter during construction. ○ Colors and materials added to the drawing ○ The display area has been indicated on the elevation of the sign. ○ No Logo Box proposed ○ No illumination or animation proposed
<p>5. <u>Acoustic assessment</u> Provide an Acoustic Assessment prepared by a suitably qualified person which outlines the likely noise generation from the use and its likely impacts on the surrounding residential uses, as well as measures proposed to mitigate any adverse impacts, including impacts from vehicle noise (including car door slams) and waste vehicles entering the site</p> <p>Any measures proposed to mitigate noise impacts recommended by the report, must then be implemented on the plans (i.e. acoustic fencing).</p>	<p>Please refer to Acoustic Report prepared by Enfield Acoustic ref V1731-01-P dated 22nd January 2024. To assist in mitigation noise impacts from the carpark the report recommends an acoustic fence be provided at the rear of the property only at a minimum of 1.8m high (above retaining wall level) – refer to Architectural Drawings Sheet A104.</p>
<p>6. <u>Waste management plan</u> Provide a Waste Management Plan prepared by a suitably qualified person which outlines how waste will be stored, managed and collected from site within resulting in detrimental offsite amenity impacts to the surrounding residential area.</p>	<p>Please refer to Waste Management Plan prepared by O'Brien Traffic dated 19th January 2024.</p> <p>The report provides: 2 external bins for General Waste and Recycling 2 internal bins for medical use</p>

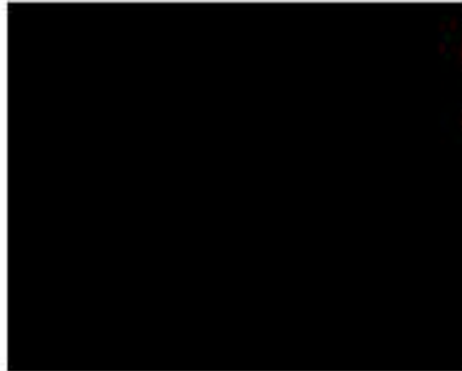
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<p>7. <u>Construction impact assessment</u> Provide a Construction Impact Assessment by a suitably qualified person which assesses any impacts from cut and fill, particularly near property boundaries, on neighbouring properties.</p>	<p>Please refer to Construction Management Plan prepared by 3D Design Group dated 30th January 2024.</p>
<p>Preliminary Assessment Comments</p>	
<p>8. <u>Amendment to proposal</u> Pursuant to clause 32.08 General Residential Zone, a permit is required for use of land for a Medical Centre where a permit is required under Clause 52.06-3 (reduce the number of car parking spaces required under clause 52.06-5).</p> <p>Pursuant to Clause 52.29-2 Land Adjacent to the Principal Road Network, a permit is required to create or alter access to a road in a Transport Zone</p> <p>Submit a Section 50A form to amend the proposal to include the above permit requirements.</p>	<p>Please refer to the attached 'Application to amend a current planning application' form section 50A.</p>
<p>9. <u>Aboriginal Heritage Regulations 2018 – Significant Ground Disturbance</u> Buildings and works for specified uses (office) is a high impact activity and the area to be developed is in an area of cultural heritage sensitivity. A cultural heritage management plan is required, as defined in section 7 of the <u>Aboriginal Heritage Regulations 2018</u>.</p> <p>Council refers to regulation 5 which defines 'significant ground disturbance' as: <i>Disturbance of –</i></p> <ol style="list-style-type: none"> a) <i>The topsoil or surface rock layer of the ground; or</i> b) <i>A waterway –</i> <i>By machinery in the course of grading, excavating, digging, dredging or deep ripping, but does not include ploughing other than deep ripping.</i> <p>The Heritage Statement relies on aerial imagery from 2002 and google streetview imagery from 2023 showing a residential house, shed and concrete driveway, along with Dial Before You Dig results showing Telstra and NBN cable plan.</p>	<p>Please refer to the updated heritage statement provided by Tardis Archaeology dated 30th January 2024. The updated report provides the inclusion of a geotechnical report which indicates that the activity area has been subject to significant ground disturbance with the presence of fill within the boreholes.</p>

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<p>The Heritage Statement does not provide any evidence that the topsoil or surface rock layer of the ground has been disturbed by machinery in the course of grading, excavating, digging, dredging or deep ripping across the whole site. Construction of houses and sheds are not included in the definition of significant ground disturbance. The concrete driveway is limited to the nature strip area, outside the property boundary. The location of the Telstra and NBN cable occur in one linear area in the front of the property only, of which the disturbance would compromise a very small percentage of the total land area.</p> <p>Where part of the land has not been subject to significant ground disturbance and remains in an area of cultural heritage sensitivity, a Cultural Heritage Management Plan is required for the proposed activity.</p> <p>Where the responsible authority is not persuaded by the applicant there has been significant ground disturbance, the default position under the <i>Aboriginal Heritage Act 2006</i> and <i>Aboriginal Heritage Regulations 2018</i> is that a Cultural Heritage Management Plan is required.</p>	
<p>10. <u>Preliminary Aboriginal Heritage Test (PAHT)</u> Should the applicant disagree with Council's conclusions above regarding the requirement for a cultural heritage management plan, the preparation and submission of a voluntary <u>Preliminary Aboriginal Heritage Test (PAHT)</u> may be appropriate.</p> <p>The Secretary to the Department of Premier and Cabinet will certify whether a CHMP is required for a proposed activity.</p>	<p>Please refer to the updated heritage statement provided by Tardis Archaeology dated 30th January 2024. The updated report provides the inclusion of a geotechnical report which indicates that the activity area has been subject to significant ground disturbance with the presence of fill within the boreholes.</p>
<p>11. <u>Statutory Authorisation</u> Pursuant to <u>section 52(1)</u> of the Aboriginal Heritage Act 2006, if a Cultural Heritage Management Plan is required, the responsible authority cannot grant a planning permit until a CHMP has been approved.</p>	<p>Please refer to the updated heritage statement provided by Tardis Archaeology dated 30th January 2024. The updated report provides the inclusion of a geotechnical report which indicates that the activity area has been subject to significant ground disturbance with the presence of fill within the boreholes.</p>

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Consulting P/L

Unit Dandenong 3767



For

3D Design Group

Site location

20 Princes Highway, Pakenham

Report type

Preliminary Arboricultural Assessment

Prepared by



Tuesday, 28 November 2023

Ref: 7667 231128 PAR 3D Princes Pakenham 20 Hwy

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1. Summary

This report was commissioned by 3D Design Group to assess the condition of one trees on or immediately adjacent to 20 Princes Highway, Pakenham and to evaluate their suitability for retention on the site in light of a proposed development on this site.

2. Document control

File reference	File type	Modifications	Date
7667 231121	PAR	Original document(Preliminary Arborist Report for one tree)	23/11/2023
7667 231128	PAR	Amended document (Preliminary Arborist Report for one tree)	28/11/2023

3. Introduction

This report was commissioned by 3D Design Group to assess the condition of one trees on or immediately adjacent to 20 Princes Highway, Pakenham and to evaluate their suitability for retention on the site in light of a proposed development on this site.

This report is a preliminary assessment and is primarily designed to aid and facilitate the decision making process regarding the retention or removal of trees on the site.

Specifically the report addresses the following issues:

- The health and structural condition of the trees.
- The suitability of these trees for retention on the site in light of a proposed development.
- Recommendations for the protection of those trees that are listed as being retained.

The site was inspected by Shane Simons of this office on 18th of November 2023.

4. Documents provided

No documents were provided for this report.

5. Scope

In this report all of the significant vegetation on the site and within four metres of the property boundaries is assessed where it is considered likely that this vegetation may be affected by development on the target site.

Significant vegetation is broadly defined as being trees larger than 5 metres in height and/or with a DBH (Diameter at Breast Height) of greater than 15cm.

6. Site context

This site is located within a GRZ zone within the City of Cardinia.

7. Notes

1. The column label “**ID**” is used in all the tables throughout this report. This refers to the tree identification number and to the tree numbering found on the “Site plan”. This number is the same as the “**Tree ID**” found in the “Tree data” section of the report.

8. Site plan



9. Tree data summary

This table contains a summary of data pertaining to all trees shown and numbered on the enclosed feature and levels survey.

Underlined and italicised species names have not been assessed. Generally these trees are <5m tall, not found or stumps. The construction impact values are blank for these records.

1. **Retention value:** The retention value of the tree to the site.
 - a. Tree number and species name are **Bold** for High and Very high values trees.
2. **Location:** Whether the tree is located on the site or adjacent to the site.
 - a. **Site:** the tree is located on the site.
 - b. **Off site:** the tree is located on land adjoining the site.
 - i. Trees in this category should generally be preserved without significant impact.
3. **SRZ:** Structural Root Zone (Defines the radius of the trees supporting root system).
4. **TPZ:** Tree Protection Zone (Defines the soil volume required by the tree to maintain long term physiological function).
5. **ULE:** Useful Life Expectancy (Estimate of the time that the tree will provide useful amenity to the site).

ID:	Genus / Species:	Retention Value:	Location:	SRZ:	TPZ:	ULE:
1	Photinia sp.	Low	Off site	1.7	2.3	15 - 30

Total number of tree/s referred to in this report(Total): 1

10. Adjoining property

The following trees are recommended for retention because of their location on adjoining property or on the nature strip. Unless these trees constitute a significant hazard to this property they are recommended for retention irrespective of their health or structure.

ID	Genus / species	Common name	ULE	Origin	Ret value
1	Photinia sp.	Chinese Hawthorn	15 - 30	Exotic	Low
Number of tree/s in this section (Total): 1					

No trees on adjoining properties were assessed at this site.

11. Species origin

The origin of the tree species found on the site is set out below.

ID	Genus / species	Health	Structure	ULE	Form	Ret value
<i>The following 1 trees are of Exotic origin</i>						
1	Photinia sp.	Good	Fair	15 - 30	Fair	Low
There are 1 trees in this section (total).						

12. Appendix 1 - Tree data

Note: Where **Retention value** = "Remove" only the arboricultural attributes of the tree (i.e. health, structure and condition) are considered. Other factors that may affect the decision to retain or remove the tree are not considered.

➤ The following information should be read in conjunction with the "Explanation of Terms" and the 'Glossary / Notes' sections found later in this report.

Structural/Root Zone (SRZ) (m):	Standards Australia, 2009, AS 4970	Total Number of trees:	1
Tree Protection Zone (TPZ) (m):	Standards Australia, 2009, AS 4970		
Modified Tree Protection Zone (mTPZ):	TPZ modification to protect canopy as required		

Tree ID:	1		
Genus / species:	<i>Photinia</i> sp.		
Evergreen:	Chinese Hawthorn		
Height (m):	3	Structure:	Fair
Width (m):	5	Health:	Good
DBH (cm):	19 Estimated	Maturity:	Mature
Origin:	Exotic	ULE (years):	15 - 30
Form:	Fair		
Retention value:	Low		
Removal / retention reason:	Adjoining property.		
Amenity value:	Low		
Works Required:	Works priority:	N/A	
N/A.			
SRZ (m):	1.7	TPZ (m):	2.3
		mTPZ:	- TPZ



13. Appendix 2 - Tree protection guidelines

Trees that are to be preserved on this site should be treated in the following manner:

1. A site specific Tree Protection Report should be commissioned prior to the commencement of construction to guide construction activity around any retained trees on or adjacent to the site.
2. Clearly marked as being retained on the site to avoid confusion during the tree removal phase.
3. The stumps of removed trees should be ground out rather than pulled to avoid injury to adjacent trees.
4. Construction specifications should include the plan location of those trees that are to be retained.
5. Penalties should be included in the construction specifications for damage to trees that are to be retained.
6. The trees to be retained should be enclosed with a 1.8 metre high chain link fence supported on steel posts driven 0.6 metres into the ground.
 - 6.1. Tree protection fencing should be established as shown.
 - 6.1.1. If tree protection fencing is not detailed in the report it should enclose, at a minimum, the entire **Structural Root Zone** and as much of the **Tree Protection Zone** as possible.
 - 6.2. Access should be provided by a single gate that should be kept locked at all times except when required for tree inspection or maintenance.
 - 6.3. Tree protection fencing should be installed following the removal of trees and prior to any other works being commenced.
 - 6.4. The area inside the fence should be mulched to a depth of 0.15 metres with general arboricultural wood chip mulch or similar.
7. Where construction clearance is required and areas of the Root Protection Zone cannot be fenced the ground in these areas should be protected from compaction with **Ground Protection**.
 - 7.1. **Ground Protection** can consist of any constructed platform that prevents point loads on the soil within the Root Protection Zone. These could include:
 - 7.1.1. Industrial pallets joined together to form a platform.
 - 7.1.2. 12 mm plywood joined together to form a platform.
 - 7.1.3. Planks of timber joined together to form a platform.
 - 7.2. **Ground Protection** should be constructed with sufficient strength to allow it to survive the entire construction process.
 - 7.3. **Ground Protection** should be installed following the removal of trees and prior to any other works being commenced.

8. Excavation within the **Structural Root Zone** should be avoided unless absolutely necessary.
 - 8.1. Any excavation within the **Structural Root Zone** should be performed by hand.
 - 8.2. Any excavation within or tunnelling under the **Structural Root Zone** should be supervised by a qualified arborist.
 - 8.3. Any roots encountered from the retained trees should be pruned carefully and cleanly, preferably back to a branch root.
 - 8.4. Before any roots are pruned the effect of such pruning on the health and structural stability of the tree should be evaluated by a qualified arborist.
9. Excavation within the **Tree Protection Zone** should be avoided where possible.
 - 9.1. Any excavation within the **Tree Protection Zone** should be performed carefully to minimise root injury.
 - 9.2. Any roots encountered from the retained trees should be pruned carefully and cleanly, preferably back to a branch root.
 - 9.3. Before any excavation occurs the effect of such excavation on the health and structural stability of the tree should be evaluated by a qualified arborist.
10. Concrete and other washout or waste disposal areas should be kept well away from trees to be retained.
11. Where automatic irrigation systems are installed the amount of irrigation that is applied should be checked against the requirements of the existing trees on the site.
12. Any pruning works that are required to facilitate construction should be performed by a qualified arborist.
13. Where it is not possible to comply with these recommendations alternative arrangements should be decided with a qualified arborist.

Adapted from Harris, Clark and Matheny (1999).

14. Appendix 3 - References

- Harris, R.W., Clark, J.R. & Matheny, N.P. 2004, *Arboriculture: Integrated management of landscape trees, shrubs and vines*, 4th edn., Prentice Hall, New Jersey, USA.
- Mattheck, C., Bethge, K. & Weber, K., 2015, *The body language of trees*, Karlsruhe Institute of Technology – Campus North, KS Druck GmbH, Germany.
- Muyt, A., 2001, *Bush invaders of South East Australia, a guide to the identification and control of environmental weeds found in South East Australia*, R.G. & F.J. Richardson, Meredith, Victoria, Australia.
- Society for Growing Australian Plants Maroondah, 1991, *Flora of Melbourne, a guide to the indigenous plants of the greater Melbourne area*, Society for Growing Australian Plants, Maroondah.
- Shire of Yarra Ranges 2004(?), *Environmental Weeds within the Shire of Yarra Ranges*, On line document, Shire of Yarra Ranges, Lilydale.
- Standards Australia, 2009, *AS 4970 - 2009 Protection of trees on development sites*, Standards Australia, Sydney.

15. Appendix 4 - AS 4970 -2009

This report generally conforms to *AS 4970 – 2009 Protection of Trees on Development Sites* except in the following areas.

1. AS 4970 notes that the project arborist should verify the accuracy of feature survey for the subject site.
 - a. This is generally not feasible and the feature survey is taken as being an accurate representation of the features of the site.
 - b. However if trees are found on the site that are not represented in the feature survey then these trees will be added to the report plans based on a visual estimation of their location.
 - i. Accordingly the location of these trees may not be sufficiently accurate for the purposes of the report.
 - ii. The location of these trees should be verified by a qualified surveyor where appropriate.
2. *AS 4970-2009 Protection of Trees on Development Sites* makes no differentiation between the Tree Protection Zone (TPZ) derived from the trees DBH and the modified TPZ derived from the trees canopy where it extends past the DBH derived TPZ. As the two forms of TPZ are independent a differentiation between the two forms of TPZ needs to be made. In this report:
 - a. “TPZ” refers to the DBH derived Tree Protection Zone (12 x DBH) and “mTPZ” pertains to the TPZ where it is modified to account for a canopy that extends beyond the DBH derived TPZ.
 - b. The modified Tree Protection Zone (mTPZ) for all trees is taken as being identical to the Tree Protection Zone (TPZ) except where the canopy of the tree extends beyond the TPZ. Where this is the case the TPZ is shown on the site plans and any tree canopy impacts are addressed as required within the report. Otherwise the mTPZ is recorded within this report as “= TPZ”.

16. Appendix 5 - Explanation of terms

The assessment of Health, Structure, Condition, U.L.E. (Useful Life Expectancy), Origin, Maturity, Form and Retention Value are based on the following definitions. In the case of health and structure these definitions encompass only the more common indicators for these assessments. Other indicators not included in these definitions may lead to the ascribing of a particular health or structure category.

16.1. Origin

The notation of “Origin” is based on the following categories.

➤ Category	Description
➤ Melbourne	Native to the greater Melbourne metropolitan area as defined by Flora of Melbourne (S. G. A. P. M., 1991).
➤ Victorian	Native to Victoria but not the greater Melbourne Metropolitan area.
➤ Australian	Native to Australia but not Victoria.
➤ Exotic	Not native to Australia.

16.2. Maturity

The notation of “Maturity” is based on the following categories.

➤ Category	Description
➤ Immature	Less than 20% of the life expectancy for that tree.
➤ Mature	20 – 80% of the life expectancy for that tree.
➤ Over mature	> 80% of the life expectancy for that tree.

16.3. Works required

The works required listed in this report are of a general nature only and should be reviewed following the completion of any works on the site.

Where a tree is recommended for removal (Retention recommendation) it is not listed in the Works required section of the report.

16.4. Priority

The priority accorded particular works is based on a projected increased site usage following the completion of a development on the site. The priority is of a general nature only and should be reviewed following the completion of any works on the site.

“Priority” is based on the following categories.

<u>Category</u>	<u>Description</u>
➤ N/A.	Works are only required to improve tree health and could be performed at any time.
➤ Very low	Works should be performed within five years.
➤ Low	Works should be performed within three years.
➤ Moderate	Works should be performed within 18 months.
➤ High	Works should be performed within 6 months.
➤ Urgent	Works should be performed immediately.

16.5. Retention value (RV)

The Retention value ascribed to each tree in this report is not definitive and should be used as a guide only. Many factors influence the comparative value of a tree and a number of these factors are outside the scope of arboricultural assessment. These factors cannot therefore be addressed in a single rating system.

Retention value is comprised of two parts. These are the Amenity Value of the tree rated as Very Low to Very high and the Useful Life Expectancy (ULE) of the tree.

The Amenity Value of the tree relates to the contribution of the tree to the aesthetic amenity of the area. The primary determinants of amenity value are tree health, size and form.

This value is then modified by the ULE of the tree with short ULE values reducing the RV of the tree and long ULE values increasing the RV of the tree.

Trees that are listed on a register of heritage or significant trees are not accommodated within this rating system as these values are often independent from the arboricultural attributes of the tree. Heritage and significant trees may be ascribed a very low retention value despite their listing on any register. Where a tree is known to have a heritage or significant register listing it will be noted in the report.

RV is assessed on each tree as a single entity. The value of a group of trees is not considered in this context and each tree within the group is assessed as an individual.

Amenity value is based on the following categories and is ascribed an Amenity Value (AVV) ranging from 2 - 10.

<u>Category</u>	<u>Example</u>	<u>AVV</u>
➤ Very high	Generally a very large tree that exhibits excellent health and/or form or a tree that is listed on a heritage or significant tree register.	10
➤ High	Generally a large tree that exhibits good health and/or form.	8
➤ Medium	Generally a medium tree that exhibits good health and/or form. May be a large tree that exhibits fair health and/or form.	6
➤ Low	Generally a small tree that exhibits good health and/or form. May be a large or medium tree that exhibits fair or poor health and/or form.	4
➤ Very low	Generally a small tree that exhibits poor health and/or form. May be a large or medium tree that exhibits poor, or worse, health and/or form.	2

U.L.E. is based on the following categories each of which have a modifier (ULEM) ranging from 0 – 1.6.

<u>Category</u>	<u>Example</u>	<u>ULEM</u>
➤ 0	The tree is dead or almost dead or constitutes an immediate and unacceptable hazard.	0
➤ 0 – 5	The tree is unlikely to provide useful amenity for longer than 5 years. The tree is in serious decline, poses an unacceptable hazard and/or requires a level of maintenance disproportionate with its' value.	4
➤ 5 – 15	The tree is unlikely to provide useful amenity for longer than 15 years. The tree may be in serious decline, a very short lived species, present a moderately elevated hazard and/or may require a high level of maintenance.	7
➤ 15 – 25	The tree is unlikely to provide useful amenity for longer than 25 years. The tree may be in moderate decline, a short lived species, present a slightly elevated hazard and/or require a moderate level of maintenance.	10

➤ **25 – 50** The tree is likely to provide useful amenity for up to 50 years. 11

The tree may be in fair to good condition, have a moderate life-span, present a low to moderate level of hazard and/or require moderate levels of maintenance.

➤ **> 50** The tree is likely to provide useful amenity for greater than 50 years. 12

The tree may be in good to excellent condition, a long lived species, present a low level of hazard and/or require a low level of maintenance.

RV is then derived from the multiplication of AVV by ULEM and the resulting score is categorised as Very low to Very high.

<u>Category</u>	<u>Example</u>	<u>RV value</u>
➤ Very high	Every effort should be made to preserve trees in this category	96 - 120
➤ High	These trees should be retained if at all possible	72 - 95
➤ Moderate	These trees should be retained if they do not overly constrain development on the site.	48 - 71
➤ Low	These trees should not create a material constraint on development of the site. These trees should be removed where they conflict with development of the site.	24 - 47
➤ Very low	Generally a small tree that exhibits poor health and/or form. May be a large or medium tree that exhibits poor, or worse, health and/or form. These trees should generally be removed.	1 – 23
➤ Remove.	These trees are not suitable for retention within the site and are recommended to be removed.	

16.6. Health

Pertains to the health and growth potential of the tree.

The notation of "Health" is based on the following categories.

<u>Category</u>	<u>Example</u>
➤ Good	Crown full, with good foliage density. Foliage is entire with average colour, minimal or no pathogen damage. Above average growth indicators such as extension growth, leaf size and canopy density. Little or no canopy die-back. Generally no dead wood on the perimeter of the canopy. Good wound wood development. Tree exhibits above average health and no works are required.
➤ Fair	Tree may have more than 30% dead wood, or may have minor canopy dieback. Foliage density may be slightly below average for the species. Foliage colour may be slightly lower than average and some discolouration may be present. Typical growth indicators, e.g. extension growth, leaf size, canopy density for species in location. Average wound wood development. The tree exhibits below average health and remedial works may be employed to improve health.
➤ Poor	Tree may have more than 30% dead wood and canopy die back may be present. Leaves may be discoloured and/or distorted, often small, and excessive epicormic growth may be present. Pathogens and/or stress agents may be present that could lead, or are leading to, the decline of tree. Poor wound wood development. The tree exhibits low health and remedial works or removal may be required.
➤ Very poor	The tree has more than 30% dead wood. Extensive canopy die back is present. Canopy is very sparse. Pathogens and/or stress agents are present that are leading to the decline of the tree. Very poor wound wood development. The tree exhibits very low health and remedial works or removal are required.
➤ Dead	Tree is dead and generally should be removed.

16.7. Structure

Pertains to the physical structure of the tree including the main scaffold branches and roots. Structure includes those attributes that may influence the probability of major trunk, root or limb failure.

The notation of “Structure” is based on the following categories.

<u>Category</u>	<u>Example</u>
➤ Good	<p>The tree has a well-defined and balanced crown. Branch unions appear to be strong with no defects evident in the trunk or the branches. The tree is unlikely to suffer trunk or branch failure under normal conditions.</p> <p>The tree is considered a good example of the species with a well-developed form.</p>
➤ Fair	<p>The tree has some minor problems in the structure of the crown. The crown may be slightly out of balance and some branch unions may exhibit minor structural faults or have the potential to create faults. If the tree is single trunked, this may be on a slight lean or be exhibiting minor defects.</p> <p>These defects are not likely to result in catastrophic trunk or branch failure although some branch failure may occur under normal conditions.</p>
➤ Poor	<p>The tree has significant problems in the structure of the scaffold limbs or trunk. It may be lop-sided or have few branches on one side or have large gaps in the crown. Large branches may be rubbing or crossing over. Branch unions may be poor, and faults at the point of attachment or along the branches may be evident. The tree may have a substantial lean. The tree may have suffered significant root damage. The tree may have some degree of basal or trunk damage.</p> <p>These defects may predispose the tree to major trunk or branch failure.</p>
➤ Very poor	<p>The tree has some very significant problems in the structure of the crown. It may be lop-sided or have few branches on one side or have large gaps in the crown. Branches may be rubbing or crossing over and causing damage to each other. Branch unions may be poor, and faults at the point of attachment or along the branches may be evident. The tree may have a substantial lean. The tree may have suffered major root damage. The tree may have extensive basal or trunk damage.</p> <p>These defects are likely to predispose the tree to trunk or scaffold limb failure.</p>

16.8. U.L.E. (Useful Life Expectancy)

U.L.E. pertains to the span of time that the tree might reasonably be expected to provide useful amenity value with an acceptable level of safety at an acceptable cost. Depending on the situation, available financial resources and other factors, two identical trees may be accorded different longevity ratings.

The notation of U.L.E. is based on the following categories.

<u>Category</u>	<u>Example</u>
➤ 0	<p>The tree is dead or almost dead or constitutes an immediate and unacceptable hazard.</p> <p>The tree should generally be removed unless other considerations require its' retention.</p>
➤ 0 – 5	<p>The tree is unlikely to provide useful amenity for longer than 5 years.</p> <p>The tree is in serious decline, poses an unacceptable hazard and/or requires a level of maintenance disproportionate with its' value.</p> <p>The tree should generally be removed unless other considerations require its' retention.</p>
➤ 5 – 15	<p>The tree is unlikely to provide useful amenity for longer than 15 years.</p> <p>The tree may be in serious decline, be a very short lived species, present a moderately elevated hazard and/or requires a high level of maintenance.</p> <p>The tree could be retained or removed depending on the situation.</p>
➤ 15 – 25	<p>The tree is unlikely to provide useful amenity for longer than 25 years.</p> <p>The tree may be in moderate decline, be a short lived species, present a slightly elevated hazard and/or requires a moderate level of maintenance.</p> <p>The tree should generally be retained unless other factors dictate its' removal.</p>
➤ 25 – 50	<p>The tree is likely to provide useful amenity for up to 50 years.</p> <p>The tree may be in fair to good condition, have a moderate life-span, present a low to moderate level of hazard and/or requires a moderate level of maintenance.</p> <p>The tree should generally be retained unless other factors dictate its' removal.</p>
➤ > 50	<p>The tree is likely to provide useful amenity for greater than 50 years.</p> <p>The tree may be in good to excellent condition, a long lived species, present a low level of hazard and/or requires a low level of maintenance.</p> <p>The tree should generally be retained unless other factors dictate its' removal.</p>

16.9. Form

The notation of “Form” pertains to the aesthetic qualities of the trees live canopy. Generally good form is indicative of a symmetrical, well-balanced canopy although this is dependent on the particular species. Some species naturally develop an asymmetric canopy and in this case a highly irregular canopy might be described as good.

The form of a tree is considered assuming that the tree stands in isolation from any surrounding trees. This may mean that a group of trees that, as a group, exhibit good form may be described as individuals as having poor form.

The notation of “Form” is based on the following categories.

<u>Category</u>	<u>Example</u>
➤ Very good	An outstanding specimen of that species. Generally a very evenly balanced and symmetrical canopy with no deformation. If the development of that species is naturally irregular then an outstanding specimen of that species.
➤ Good	A good specimen of that species. Generally a well balanced and symmetrical canopy with minor deformation. If the development of that species is naturally irregular then a good specimen of that species.
➤ Fair	An average specimen of that species. Generally a balanced canopy with some minor to moderate asymmetry. If the development of that species is naturally irregular then an average specimen of that species.
➤ Poor	A below average specimen of that species. Generally a moderate to high degree of asymmetry. If the development of that species is naturally irregular then a poor specimen of that species.
➤ Very poor	A very poor specimen of that species. Generally a high to extreme degree of asymmetry. If the development of that species is naturally irregular then a very poor specimen of that species.

17. Glossary / notes

Tree Protection Zone (TPZ)

Is based on AS 4970-2009 (Protection of trees on development sites) and defines the soil volume that is likely to be required to encompass enough of the trees absorbing root system to ensure the long term survival of the tree. The radius specified as the TPZ is an estimate of the minimum distance that excavation or other activities that might result in root damage should occur to the tree to avoid negative impacts on the health and longevity of the tree. AS 4970 states that a 10% intrusion into the TPZ may occur without further assessment or analysis.

Structural Root Zone (SRZ)

Is based on AS 4970-2009 (Protection of trees on development sites) and defines the likely spread of the trees scaffold root system. These roots are the primary anchoring roots for the tree and damage to these roots may render the tree liable to uprooting.

SRZ is based on measurement of the trunk above the root flare (AS 4970) However in this report SRZ is based on the measured or estimated DBH and there should be taken as an estimate only. Additional measurement may be required if construction near the SRZ is expected to occur.

Modified Tree Protection Zone (mTPZ)

Is based on the TPZ and includes any requirement to protect the above ground parts of the tree that project beyond the TPZ. However generally the mTPZ will be equal to the TPZ. mTPZ extension beyond the TPZ to protect the tree canopy will be shown on the site plan but will not be reflected in the TPZ radius measurements quoted in this report.

DBH (Diameter at Breast Height)

Is the diameter of the tree at approximately 1.4 meters above ground level. Where a trunk is divided at or near 1.4 meters above ground the DBH is generally measured at the narrowest point of the trunk between ground level and 1.4 meters. Alternatively, where a higher level of accuracy is required with multi stemmed trees, DBH is derived from the combined cross sectional area of all trunks. The DBH of all accessible trees is measured unless otherwise stated in the Tree Data section of the report. The DBH of trees is measured where access can be gained to the property, otherwise it is estimated.

Measured

Indicates whether the DBH has been measured or estimated. DBH may be estimated for small low retention value multi stem trees or trees that are inaccessible.

Retained?

Indicates whether the tree is to be removed or retained. This is generally derived from the site plans provided but the removal or retention of trees might be communicated by other means.

Recommendation reason	Pertains to the reason that removal or retention of the tree is recommended. Apart from trees on adjoining properties or road reserves a reason for retention is usually not given. In this case N/A is used.
Height & width	Tree height is generally measured for moderate, high and very high value trees and is measured with an Impulse Laser infrared range finder. The height of low and very low value trees is usually estimated and the width of all tree canopies is estimated unless otherwise stated.
Genus / species	The identification of trees is based on accessible visual characteristics and given that key identifying features are often not available the accuracy of identification is not guaranteed. Where the species of any tree is not known, sp. is used.

18. Practice Note VCAT 2 — Expert Evidence

Name & address of consultant

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18.1. Name & company

Jason Burland for Greenwood Consulting.

18.2. Qualifications & experience

Jason Burland has the following qualifications and experience:

- Diploma of Arboriculture (AHC50520).
- QTRA (Quantified Tree Risk Assessment) Certified
- 16 years industry experience
 - 3 years as a Chipper/EWP/Climber contractor. Experience with transplanting and relocation of mature trees.
 - 10 years' experience pruning and managing ELC (Electrical Line Clearance) for local governments across Victoria.
 - 3 years as an Inspection Arborist within local government.

Area of expertise

Jason Burland provides specialist technical advice in the field of arboriculture. This includes the provision of technical expertise relating to problem diagnosis, management programs, tree appraisal and valuation and the relationship between trees and the built environment.

Expertise to report

Jason Burland has, by training, education, experience and research, considerable knowledge relating to the care, maintenance and management of trees in a wide variety of contexts.

Significant areas of operation and expertise include the provision of tree and built structure conflict reports, hazard assessment, tree condition appraisal and broad scale tree inventories.

Considerable effort is expended in research to remain current with the latest advances in all areas relating to tree care.

Declaration

"I have made all the inquiries that I believe are desirable and appropriate and that no matters of significance which I regard as relevant have to my knowledge been withheld from the Tribunal."

19. Assumptions & limiting conditions

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 - 9.1. The information in this report covers only those items which were examined and reflects the condition of those items at the time of the inspection.
 - 9.2. Our inspection is limited to visual examination of accessible components without dissection, excavation or probing. There is no warranty or guarantee, express or implied, that even if they were not present during our inspection, problems or defects in plants or property examined may not arise in the future.
10. This agreement supersedes all prior discussions and representations between Greenwood Consulting and the client on the subject, and is the entire agreement and understanding between us.

Yours sincerely,


Jason Burland

Dip. Arb.

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TRAFFIC IMPACT ASSESSMENT

PROPOSED MEDICAL CENTRE DEVELOPMENT

20 PRINCES HIGHWAY, PAKENHAM

23 NOVEMBER 2023

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20 PRINCES HIGHWAY, PAKENHAM

CLIENT: HCM AUS PTY LTD.

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VERSION	DATE	ISSUE	PREPARED BY	REVIEWED BY
24885draftrep	22 Nov 2023	Draft	Dara Vann	Matt Harridge
24885rep	23 Nov 2023	Final	Dara Vann	Matt Harridge

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1 INTRODUCTION

O'Brien Traffic has been engaged by HCM AUS Pty Ltd. to undertake a traffic impact assessment of a proposed Medical Centre development at 20 Princes Highway, Pakenham.

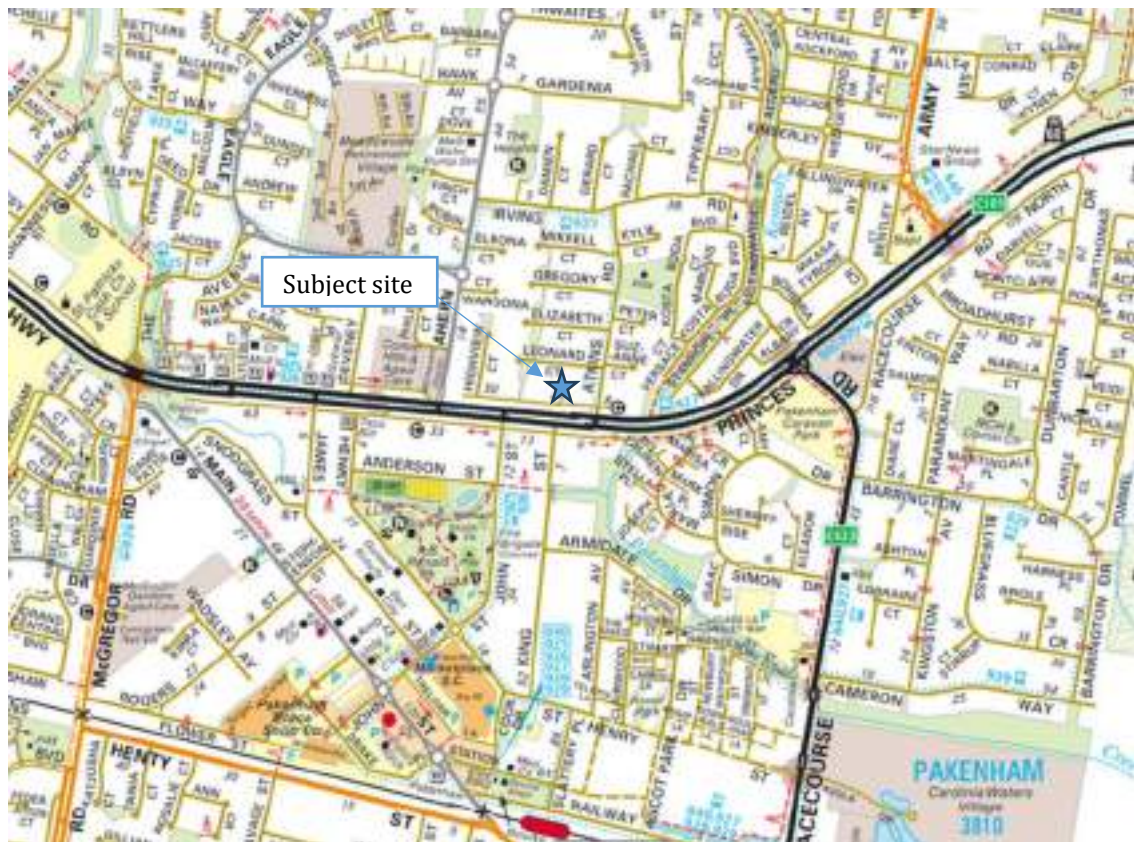
In the course of preparing this report:

- Plans and relevant documentation have been examined;
- The subject site and surrounding area have been inspected; and
- The traffic and parking implications of the proposal have been assessed.

2 EXISTING CONDITIONS

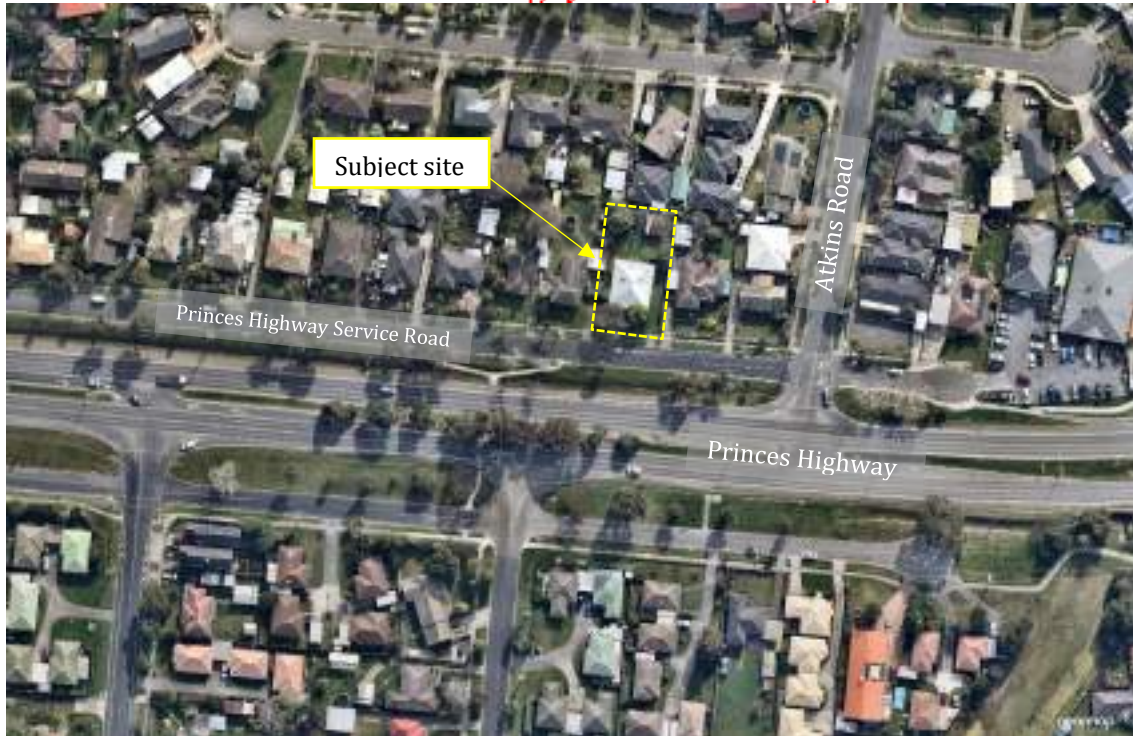
2.1 LOCATION AND LAND USE

The subject site is located on the northern side of Princes Highway service road. The location of the subject site and surrounding area is shown in **Figure 1**. A recent aerial photograph is shown in **Figure 2**.



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FIGURE 1: LOCATION OF SUBJECT SITE



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FIGURE 2: AERIAL PHOTO OF SUBJECT SITE

The site, which is zoned General Residential Zone, is rectangular in shape with a frontage of 20 metres to Princes Highway Service Road comprising an area of approximately 780 square metres. The site is currently occupied by a dwelling, and an associated shed at the rear.

Vehicle access is provided via a 3 metre wide crossover to the service road.

The subject site frontage is shown in **Figure 3**.



FIGURE 3: SUBJECT SITE FRONTAGE

2.2 SURROUNDING LAND USE

The subject site is surrounded by residential uses. To the east of the subject site, at the end of the service road is an early learning centre/kindergarten and a vet.



SOURCE: VICPLAN

FIGURE 4: ZONING MAP

2.3 ROAD NETWORK

Princes Highway Service Road is a local access road, under the management of Cardinia Shire Council. It runs in an east- west orientation and provides a carriageway width of 6.8m allowing for two-way traffic. Unrestricted on-street kerbside parking is provided on both sides of the road and the default urban speed limit of 50km/hr applies.

Views of Princes Highway Service Road is shown in **Figure 5** and **Figure 6**



FIGURE 5: VIEW OF PRINCES HIGHWAY SERVICE ROAD FACING WEST



FIGURE 6: VIEW OF PRINCES HIGHWAY SERVICE ROAD FACING EAST

2.4 EXISTING TRAFFIC VOLUMES

A review of the Department of Transport and Planning's (DOTP) traffic volume database for 2020 indicated that the Princes Highway (main road) between Racecourse Road and McGregor Road carries an annual average daily traffic volume of 9,200 vehicles (east bound) and 9,400 vehicles (west bound).

No traffic volume data is available for the service road adjacent to the subject site but it is anticipated to carry less than 1,000 vehicles per day.

2.5 CASUALTY CRASH HISTORY

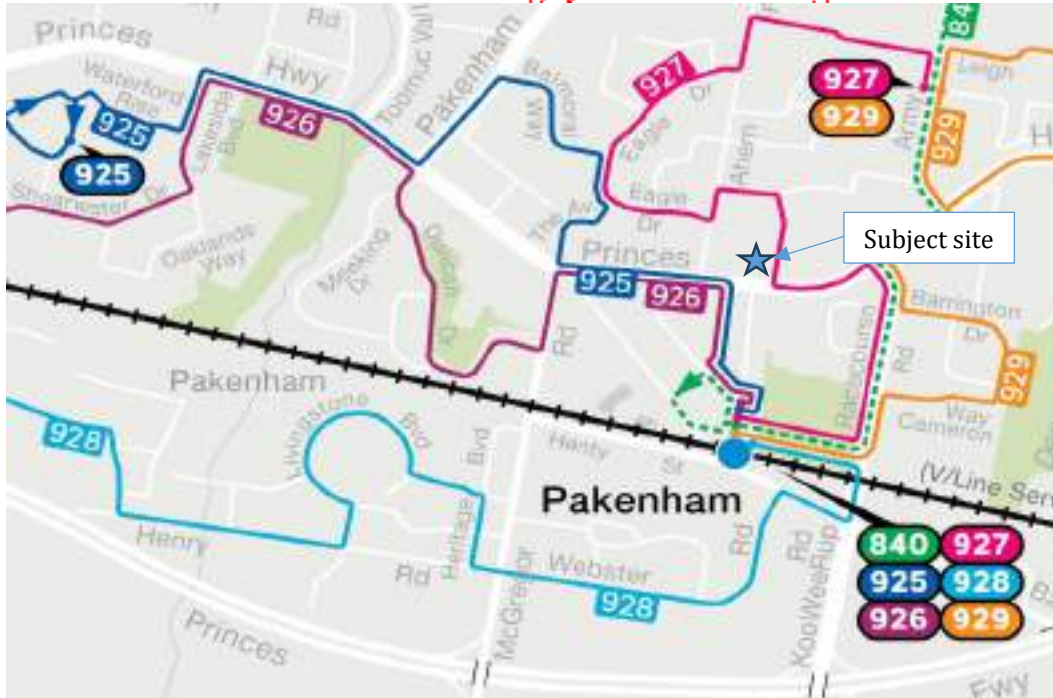
A review of the Department of Transport and Planning (DOTP) casualty crash database was undertaken to determine the casualty crash history in the vicinity of the subject site for the last 5 years of available data, until October 2020. There are no crashes recorded in the vicinity of the subject site during this period.

2.6 SUSTAINABLE TRANSPORT

2.6.1 Public Transport

The public transport services in the vicinity of the subject site are shown in **Figure 7**. The nearest bus stop is located approximately 270m west of the subject site. This bus stop is serviced by bus route 926 (Pakenham Station - Fountain Gate Shopping Centre via Lakeside & Beaconsfield) and bus route 925 (Pakenham Station - Lakeside via The Avenue).

Pakenham railway station is located 1.9km south of the subject site.



SOURCE: PUBLIC TRANSPORT VICTORIA (PTV) WEBSITE

FIGURE 7: PUBLIC TRANSPORT SERVICES

2.6.2 Bicycle Network

The bicycle network plan extracted from the Pakenham Structure Plan 2017 is shown in **Figure 8**. The plan indicates a regional cycle route to be provided along Princes Highway and connections to the local cycle route and recreational cycle route in the vicinity of the subject site.



SOURCE: PAKENHAM STRUCTURE PLAN 2017

FIGURE 8: BICYCLE NETWORK

2.7 AVAILABILITY OF PARKING IN THE LOCALITY

O’Brien Traffic prepared an inventory of on-street parking along the Princes Highway Service Road within 100m walking distance of the subject site (excluding spaces along residential frontages) as shown in **Figure 9** , This revealed a total of 18 unrestricted kerbside car parking spaces.



FIGURE 9: ON-STREET CAR PARKING INVENTORY

O’Brien Traffic has reviewed historical aerial photography (via NearMap) on various days from 2022 to 2023 between 10:00 am to 2:00 pm, to determine the on-street car parking demand. It is expected that this period would typically align with the peak car parking demands generated by the proposed medical centre.

The car parking demand results are provided in **Table 1**.

DATE	CAR PARKING OCCUPANCY	AVAILABLE SPACES (WITHIN 100M)
Wednesday, 9 August 2023 (11:00 AM)	0	18
Wednesday, 26 April 2023 (10:22 AM)	0	18
Wednesday, 15 February 2023 (10:52 AM)	0	18
Saturday, 10 December 2022 (11:29 AM)	0	18
Tuesday, 20 September 2022 (1:13 PM)	0	18
Wednesday, 20 July 2022 (1:06 PM)	0	18
Monday, 25 April 2022 (12:14 PM)	0	18

TABLE 1: ON-STREET CAR PARKING OCCUPANCY

Additionally, O'Brien Traffic completed a spot car parking survey on Thursday 9 November 2023 at 2:00 pm which confirmed very low on-street car parking demand, where all the 18 spaces were vacant.

3 THE PROPOSAL

It is proposed to demolish the existing dwelling on-site and construct a single-storey building comprising an area of 197.14m² which will be used as a Medical Centre.

The proposed Medical Centre will be operated by four (4) pediatricians at any one time.

A total of 9 car parking spaces including 1 disabled space are proposed on-site.

A bicycle parking area is proposed at the rear of the building near the building entrance providing 2 bicycle parking spaces.

It is proposed to widen the existing crossover providing a 5.5m wide crossover to Princes Highway Service Road.

4 CAR PARKING

4.1 PLANNING SCHEME CAR PARKING REQUIREMENT

Parking policy and requirements applicable to the proposed development are specified in Clause 52.06 of the Planning Scheme.

The purpose of Clause 52.06 is:

- To ensure that car parking is provided in accordance with the Municipal Planning Strategy and the Planning Policy Framework.
- To ensure the provision of an appropriate number of car parking spaces having regard to the demand likely to be generated, the activities on the land and the nature of the locality.
- To support sustainable transport alternatives to the motor car.
- To promote the efficient use of car parking spaces through the consolidation of car parking facilities.
- To ensure that car parking does not adversely affect the amenity of the locality.
- To ensure that the design and location of car parking is of a high standard, creates a safe environment for users and enables easy and efficient use.

The Planning Scheme parking requirement for the proposal is shown in **Table 2**.

USE	SIZE	PLANNING SCHEME PARKING RATE	CAR PARKING REQUIREMENT
Medical Centre	4 Practitioners	5 to the first-person providing health services plus 3 to every other person providing health services;	5 spaces + 9 spaces
TOTAL			14 SPACES

TABLE 2: PLANNING SCHEME CAR PARKING REQUIREMENT

On this basis, the proposed Medical Centre development has a Planning Scheme car parking requirement of 14 spaces. As 9 spaces are proposed on-site, the proposal therefore requires a car parking reduction of 5 spaces. Clause 52.06 of the Planning Scheme allows for a car parking reduction where it can be justified.

4.2 CAR PARKING DEMAND ASSESSMENT

Before a requirement for car parking is reduced, Clause 52.06-7 of the Planning Scheme requires a Car Parking Demand Assessment, which must assess the parking demand *likely* to be generated by the proposed use.

The Car Parking Demand Assessment must address a number of specified matters to the satisfaction of the responsible authority. These are discussed as follows.

CRITERIA	RESPONSE
<i>The likelihood of multi-purpose trips within the locality which are likely to be combined with a trip to the land in connection with the proposed use</i>	The subject site is located in a General Residential Zone and surrounded by residential properties; it is therefore unlikely that multi-purpose trips will occur.
<i>The variation of car parking demand likely to be generated by the proposed use over time</i>	Car parking demand is likely to be relatively consistent across the operating hours of the clinic (i.e. typical business hours).
<i>The short-stay and long-stay car parking demand likely to be generated by the proposed use</i>	Staff would typically generate long-stay car parking demand, while patients would generate short-stay demand.
<i>The availability of public transport in the locality of the land</i>	As discussed in Section 2.6.1 , the subject site has good access to public transport.
<i>The convenience of pedestrian and cyclist access to the land</i>	As discussed in Section 2.6.2 , the bicycle network is expected to be upgraded as indicated in the <i>Pakenham Structure Plan 2017</i> . Most roads in the vicinity of the subject site provide footpaths on both sides, facilitating convenient access to the land for pedestrians.

CRITERIA	RESPONSE
<i>The provision of bicycle parking and end of trip facilities for cyclists in the locality of the land</i>	A bicycle parking area is proposed on-site, providing 2 bicycle spaces near the rear entrance of the building.
<i>The anticipated car ownership rates of likely or proposed visitors to or occupants of the land</i>	It is expected that the majority of staff and visitors to the land would own a car, however this does not necessarily mean that they would use it to access the proposed development.
<i>Any empirical assessment or case study</i>	<p>O'Brien Traffic has previously carried out parking surveys of medical centres including the survey that informed the current Planning Scheme parking rate.</p> <p>The parking demand associated with Specialists is lower than General Practitioners. Our survey data indicates a peak parking demand rate of 4 spaces for the first specialist plus 2.5 spaces per additional specialist (rounded down).</p> <p>On this basis, the proposed development with 4 specialists would have a peak parking demand of 11 spaces.</p>

TABLE 3: CAR PARKING DEMAND ASSESSMENT

The Car Parking Demand Assessment indicates that a peak car parking demand of up to **11 spaces** is envisaged for the proposed development.

4.3 ADEQUACY OF PARKING SUPPLY

Clause 52.06-7 of the Planning Scheme states that before granting a permit to reduce the number of spaces, the responsible authority must consider a number of issues which include:

CRITERIA	RESPONSE
<i>The Car Parking Demand Assessment</i>	<p>The Car Parking Demand Assessment indicates that a peak car parking demand of up to 11 spaces is envisaged for the proposed development.</p> <p>Given 9 spaces would be provided on-site, up to 2 vehicles may park in the surrounding area during peak periods (i.e. when the centre is fully booked).</p>

CRITERIA	RESPONSE
<p>The availability of alternative car parking in the locality of the land, including:</p> <ul style="list-style-type: none"> • Efficiencies gained from the consolidation of shared car parking spaces • Public car parks intended to serve the land. • On street parking in non residential zones. • Streets in residential zones specifically managed for non-residential parking 	<p>As noted in Section 2.7, at least 18 vacant unrestricted parking spaces are available within 100m of the subject site. All of these spaces do not front residential properties.</p> <p>Based on the current availability of on-street parking described above, the excess parking demand of 2 spaces could be readily absorbed by on-street spaces in close proximity of the subject site.</p>
<p>Access to or provision of alternative transport modes to and from the land</p>	<p>The subject site has good access to the existing public transport network and bicycle infrastructure, as discussed in Section 2.6.</p>

TABLE 4: ADEQUACY OF CAR PARKING SUPPLY

Based on the above considerations, a reduction of 5 car parking spaces (in relation to the Planning Scheme parking requirement) is justified in this case.

5 CAR PARK ACCESS & LAYOUT

The following comments are made in relation to the proposed car park access and layout:

- The proposed crossover to Princes Highway Service Road provides for two-way movement;
- A 6.1m x 7m passing area is provided at the entrance in accordance with Design Standard 1 of Clause 52.06-9 of the Planning Scheme;
- All of the 90 degree car parking spaces proposed are 2.6m wide x 4.9m long accessed by a 6.5m wide aisle exceeding the requirements of Design Standard 2 of Clause 52.06-9 of the Planning Scheme;
- A 1m aisle extension provided for the dead-end spaces in accordance with the requirements of Australian Standard AS2890.1:2004. Swept path analysis provided in **Appendix A** confirms convenient access to the end spaces;
- The proposed parallel spaces are 2.3m wide and 6.7m long accessed from a 3.6m wide aisle in accordance with Design Standard 2 of Clause 52.06-9 of the Planning Scheme. Swept path analysis provided in **Appendix A** confirms convenient access to the parallel spaces;
- Pedestrian sight triangles are provided at the site entrance in accordance with Clause 52.06-9 of the Planning Scheme.

6 BICYCLE FACILITIES

Bicycle parking requirements applicable to the proposed development are specified in Clause 52.34 of the Planning Scheme.

The bicycle parking requirement is shown in **Table 1**.

USE	SIZE	PLANNING SCHEME BICYCLE PARKING RATE		BICYCLE PARKING REQUIREMENT	
		EMPLOYEE / RESIDENT	CUSTOMER / VISITOR	EMPLOYEE / RESIDENT	CUSTOMER / VISITOR
Medical Centre	4 practitioners	1 to each 8 practitioners	1 to each 4 practitioners	1 space	1 space

TABLE 1: PLANNING SCHEME BICYCLE PARKING REQUIREMENT

As two bicycle spaces proposed on-site, the proposal satisfies the Planning Scheme bicycle parking requirement.

7 LOADING

Clause 65.01 of the Planning Scheme states that before deciding on an application, the responsible authority must consider the adequacy of loading and unloading facilities and any associated amenity, traffic flow and road safety impacts.

It is anticipated that for a development of this size and use, deliveries would typically be undertaken by a B99/van delivery vehicle. Deliveries are proposed to occur within the on-site carpark outside of peak periods.

Waste collection for non-medical waste and medical waste would be undertaken by a private contractor on-site. The waste collection vehicle would enter the site via the proposed crossover and utilise the shared area of the DDA space. It is proposed that a fold down / retractable bollard be provided for the shared area to facilitate access for the 6.4m vehicle. The swept path analysis for a 6.4m waste vehicle is indicated in **Appendix A**.

The proposed loading arrangements are therefore considered adequate to accommodate the loading needs of the proposed development.

8 TRAFFIC GENERATION, DISTRIBUTION & IMPACT

Case study data has shown that medical centres generate a peak of 8 vehicle trips for general practitioners and 4 vehicle trips per hour for specialists. Given that the proposed development will be utilised by four (4) paediatricians (i.e. specialists), the traffic generation for the proposed development is shown in **Table 2**.

USE	SIZE	TRAFFIC GENERATION RATE	TRIPS GENERATED
Medical Centre	4 specialists	4 trips per hour per practitioner	16 trips per hour (50% inbound, 50% outbound)
TOTAL			PEAK: 16 TRIPS

TABLE 2:TRIP GENERATION ESTIMATE

It is anticipated that the addition of up to 16 trips in any hour (8 to the site and 8 away from the site) distributed over the surrounding road network, would be well within the capacity of the surrounding roads. The traffic generated would have no foreseeable adverse impact on the current safety and operation of Princes Highway Service Road or the surrounding road network.

9 CONCLUSION

Based on the considerations outlined above, it is concluded that:

- The proposal has a Planning Scheme car parking requirement of 14 spaces;
- A Car Parking Demand Assessment indicates that the proposal will generate up to 11 parking spaces;
- As a total of 9 car parking spaces are proposed on site, the shortfall of two parking spaces could be readily accommodated within on-street parking in close proximity of the site;
- The proposed car parking access and layout meets relevant Planning Scheme and Australian Standard requirements;
- The proposed bicycle parking satisfies the Planning Scheme bicycle parking requirement;
- Loading and waste collection arrangements are considered satisfactory for a development of this size and use; and
- The anticipated addition of up to 16 vehicle movements in any hour would have no foreseeable adverse impact on the current safety and operation of the Princes Highway Service Road or the surrounding road network.

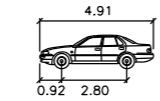
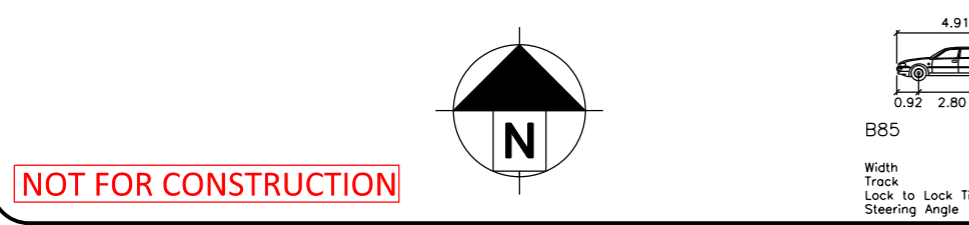
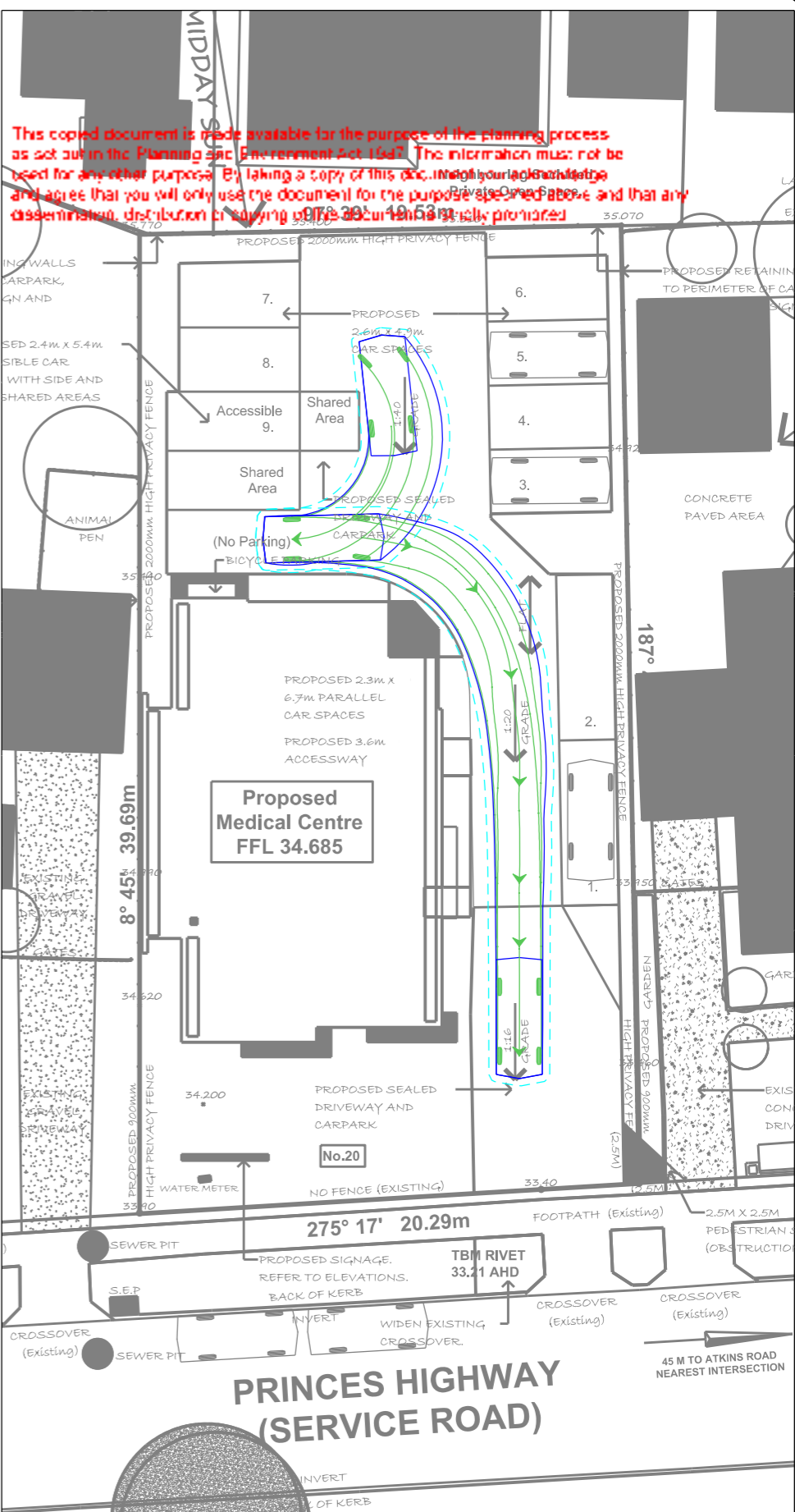
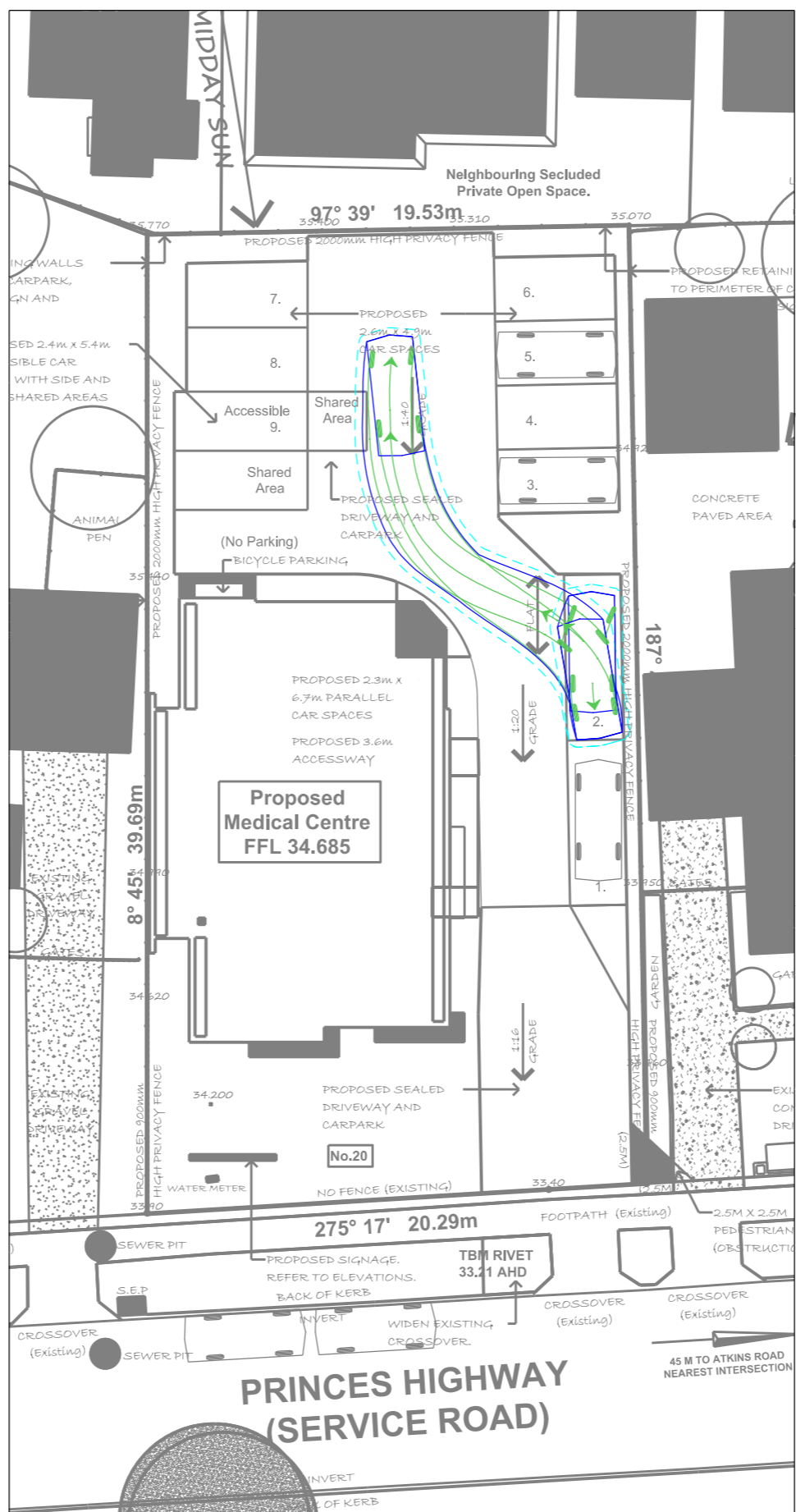
On this basis, there are no traffic or parking related grounds to prevent the proposed medical centre development from being approved.

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APPENDIX A

SWEPT PATH DIAGRAM

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B85 ENTRY/EXIT
 20 Princes Highway, Pakenham
 1:250 @ A3 17/11/23
 DWG NO: 24885002

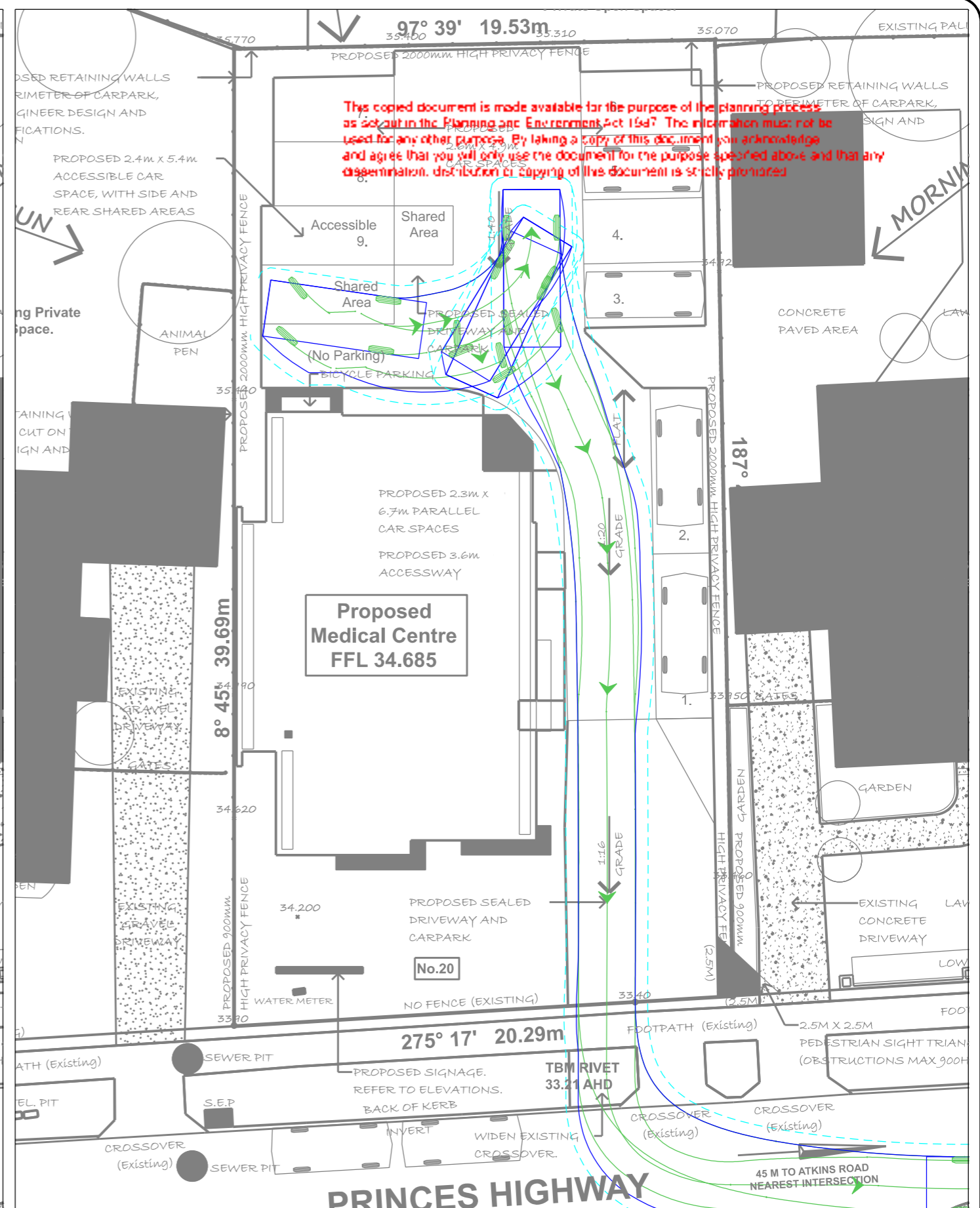
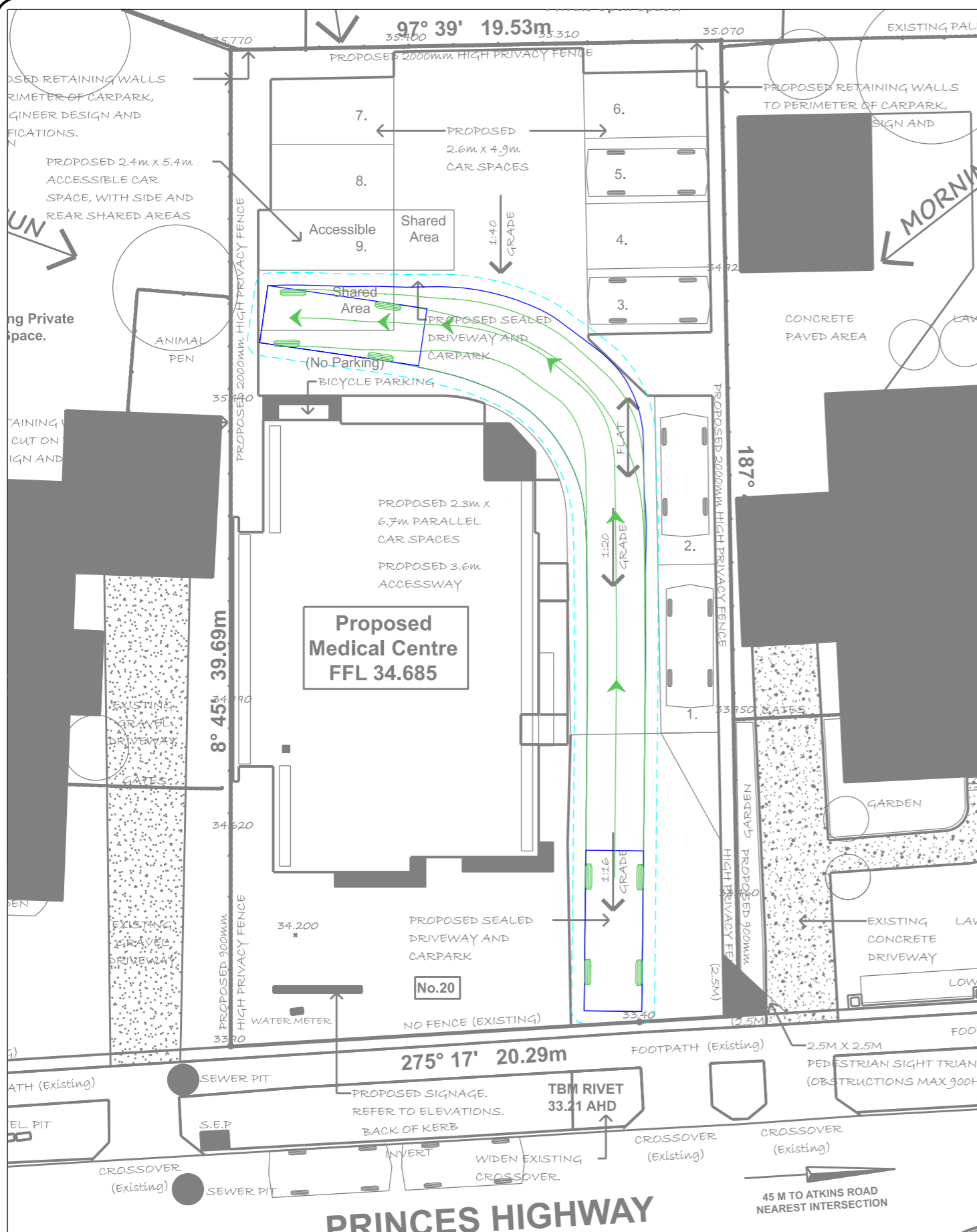
KEY	
	CENTRE LINE OF FRONT WHEELS
	WHEEL PATH
	VEHICLE BODY
	VEHICLE CLEARANCE LINE (300mm FROM VEHICLE BODY)

OBT O'BRIEN TRAFFIC

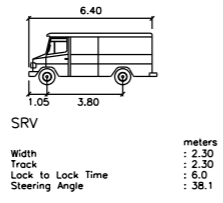
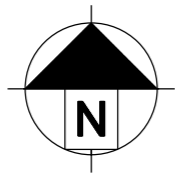
- Traffic Planning
- Traffic Engineering
- Transport Planning
- Road Safety

SUITE 2.03, 789 TOORAK ROAD
 HAWTHORN EAST, VIC, 3123
 P: +613 9804 3610
 W: obrientraffic.com

NOT FOR CONSTRUCTION



NOT FOR CONSTRUCTION



**6.4m SRV
ENTRY/EXIT**
20 Princes Highway, Pakenham
1:200 @ A3 17/11/23
DWG NO: 24885002

KEY	
	CENTRE LINE OF FRONT WHEELS
	WHEEL PATH
	VEHICLE BODY
	VEHICLE CLEARANCE LINE (500mm FROM VEHICLE BODY)

• Traffic Planning • Transport Planning
• Traffic Engineering • Road Safety

SUITE 2.03, 789 TOORAK ROAD
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WASTE MANAGEMENT PLAN

PROPOSED MEDICAL CENTRE DEVELOPMENT

20 PRINCES HIGHWAY, PAKENHAM

19 JANUARY 2024

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20 PRINCES HIGHWAY, PAKENHAM

CLIENT: HCM AUS Pty Ltd

OBT JOB NUMBER: 24885



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Hawthorn East, Victoria 3123

T: 61 3 9804 3610

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ABN 55 007 006 037

VERSION	DATE	ISSUE	PREPARED BY	REVIEWED BY
24885WMP	19 January 2024	Final	James Ramm	Matt Harridge

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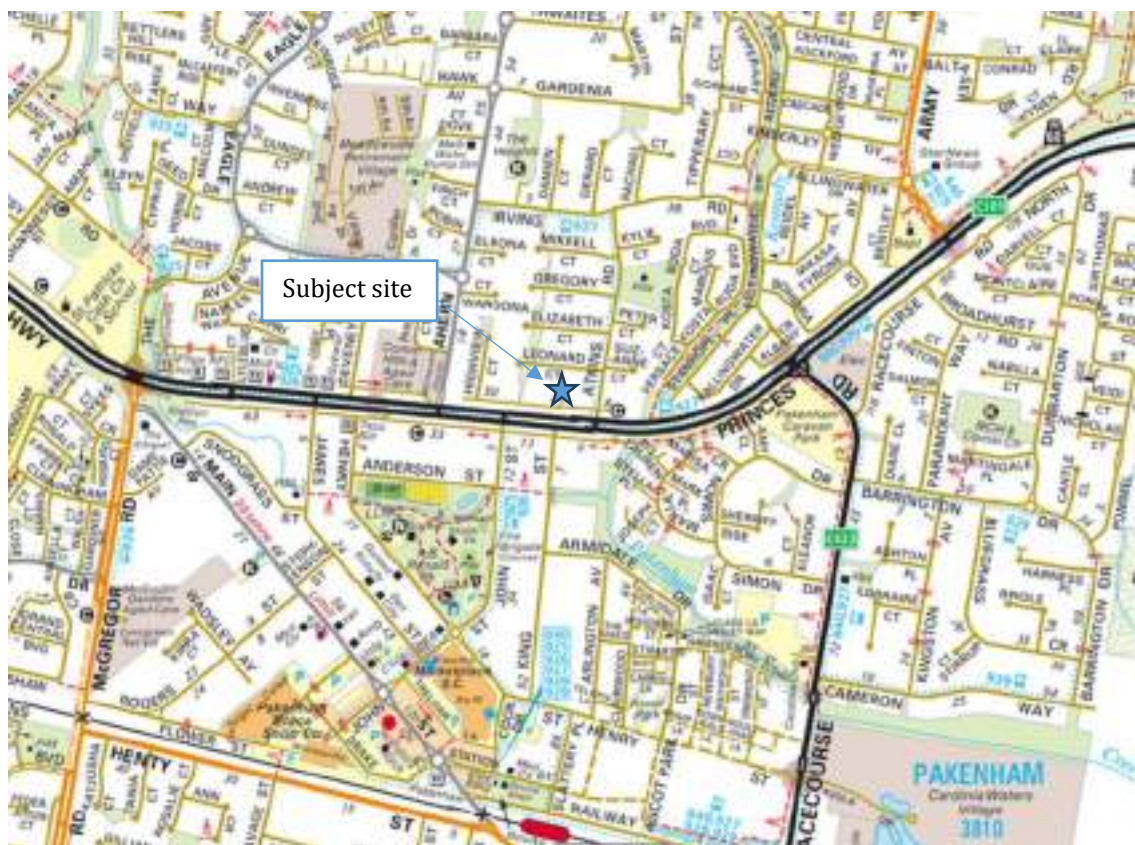
1 INTRODUCTION

O'Brien Traffic has been engaged by HCM AUS Pty Ltd to prepare a Waste Management Plan for a proposed medical centre development at 20 Princes Highway, Pakenham.

In the course of preparing this Plan, plans and relevant documentation have been examined, including the Cardinia Shire waste management plan guidelines.

2 EXISTING CONDITIONS

The subject site is located on the northern side of the Princes Highway service road. The location of the subject site and surrounding area is shown in **Figure 1**.



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FIGURE 1: LOCATION OF SUBJECT SITE

3 THE PROPOSAL

It is proposed to demolish the existing dwelling on the subject site and construct a single-storey building comprising an area of 208m² which will be used as a specialist medical centre (podiatrist). It is proposed to widen the existing crossover providing a 5.5m wide crossover to Princes Highway Service Road.

4 WASTE STREAMS

Staff may sort waste on-site into the following streams:

- General Waste;
- Commingled Recycling;
- Hard Waste;
- Biohazardous Waste; and
- Cytotoxic Waste.

4.1 GENERAL WASTE

The medical centre shall be provided with lined bins for the temporary holding of general non-biohazardous waste. Staff would then tie the plastic bags and place them in the marked bin in the bin storage area within the bin storage area shown in **Appendix A**.

4.2 COMMINGLED RECYCLING

The medical centre shall be provided with unlined bins for the temporary holding of commingled recycling, including paper and cardboard. Staff would empty these bins into the marked bin in the bin storage area. Any large cardboard shall be broken down by staff and disposed of in the marked bin in the bin storage area shown in **Appendix A**.

4.3 HARD WASTE

The Practice Manager will be responsible for arranging a private contractor to collect hard waste that is generated by the medical centre.

4.4 BIOHAZARDOUS WASTE

All non-cytotoxic biohazardous waste must be segregated into:

- items that must be incinerated, which must be contained in a yellow container with an orange lid. This includes human tissue and pharmaceutical waste;
- items that can be treated by incineration and/or other technologies, which must be contained in a yellow container with a yellow lid. This includes most general clinical waste;
- all sharps must be stored in an appropriate container that meets Australian Standard requirements.

A full breakdown of treatment processes for each type of medical waste is provided in the Environmental Protection Agency (EPA)'s *Clinical and Related Waste – Operational Guidance*.

Small, individual waste receptacles shall be provided in each consulting office where such waste would be generated. Staff will empty these receptacles into the main bin for each waste stream as required. Bins would be stored in the internal storage room as shown in **Appendix A**.

Sharps shall be stored within a suitable container in each relevant consulting office (as

required) and not moved until collection.

4.5 CYTOTOXIC WASTE

Cytotoxic waste is extremely hazardous and consists of items that are capable of impairing, injuring or killing cells, generally resulting in toxic and/or allergic reactions. All cytotoxic waste, including contaminated sharps, must be segregated from the general biohazardous waste streams and contained in a purple container for specialist collection and disposal.

Small, individual waste receptacles shall be provided in each relevant consulting office (as required) for storage of cytotoxic waste until collection.

5 WASTE GENERATION

The anticipated waste generation for the proposed development is shown below in **Table 1**. Waste generation figures are based off 5-day operation of the medical centre.

SIZE	AREA	L/DAY/100M ²			WASTE/WEEK		
		GENERAL WASTE	RECYCLING	MEDICAL WASTE	GENERAL WASTE	RECYCLING	MEDICAL WASTE
Medical centre	208m ²	10L	10L	15L	104L	104L	156L
					104L	104L	156L

WASTE FIGURES BASED ON A 5 DAY WORKING WEEK

TABLE 1: WASTE GENERATION ASSESSMENT – MEDICAL CENTRE

Note these values are estimates only and shall be adjusted by the Practice Manager as required.

6 BIN REQUIREMENTS

6.1 BIN QUANTITY, SIZE, COLLECTION FREQUENCY AND COLOUR

The bin quantity, size and collection frequency are shown in **Table 2** below.

Cytotoxic waste and sharps shall be collected on an as-needed basis.

WASTE STREAM	TOTAL WASTE /WEEK	BIN SIZE	BIN QUANTITY	CAPACITY / WEEK	COLLECTION FREQUENCY
General Waste	104L	120L	1 bin	120L	Weekly
Recycling	104L	120L	1 bin	120L	Weekly

WASTE STREAM	TOTAL WASTE /WEEK	BIN SIZE	BIN QUANTITY	CAPACITY / WEEK	COLLECTION FREQUENCY
Biohazardous Waste (incineration only)	156L	120L	1 bin	120L	Weekly
Biohazardous Waste (sharps)		2-10L ¹	1 bin for each relevant consulting office	-	As required
Biohazardous Waste (all treatment technologies)		120L	1 bin	120L	Weekly
Cytotoxic Waste		~12.5L ²	1 bin for each relevant consulting office	-	As required

1. EXACT SIZE IS DEPENDANT ON BIN PROVIDER.
2. EXACT SIZE IS DEPENDANT ON BIN PROVIDER. 12.5L MINIMUM CONTAINER SIZE.

TABLE 2: BIN QUANTITY, SIZE AND COLLECTION FREQUENCY

The standard approximate dimensions and colours of bins are provided in Table 3.

WASTE STREAM	BIN SIZE	WIDTH (M)	DEPTH (M)	HEIGHT (M)	COLOUR	
					LID	BODY
General Waste	120L	0.94m	0.56m	0.485m	Red	Dark green
Recycling	120L	0.94m	0.56m	0.485m	Yellow	Dark green
Biohazardous Waste (incineration only)	120L	0.94m	0.56m	0.485m	Yellow	Orange
Biohazardous Waste (sharps)	2-10L ¹	-			Red	Yellow
Biohazardous Waste (all treatment technologies)	120L	0.94m	0.56m	0.485m	Yellow	Yellow
Cytotoxic Waste	~12.5L ²	-			Purple	Purple

1. EXACT SIZE IS DEPENDANT ON BIN PROVIDER.
2. EXACT SIZE IS DEPENDANT ON BIN PROVIDER. 12.5L MINIMUM CONTAINER SIZE.

TABLE 3: STANDARD BIN SPECIFICATIONS (AS PER SUSTAINABILITY VICTORIA GUIDELINES)

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6.2 BIN STORAGE

6.2.1 Bin Storage Area

The required areas for the bins are indicated in **Table 4**.

WASTE STREAM	AREA REQUIRED (EXCL. CIRCULATION)
General Waste	1 * 0.27m ²
Recycling	1 * 0.27m ²
Biohazardous Waste (incineration only)	1 * 0.27m ²
Biohazardous Waste (sharps)	Tabletop
Biohazardous Waste (all treatment technologies)	1 * 0.27m ²
Cytotoxic Waste	Tabletop
TOTAL	1.28M²

TABLE 4: REQUIRED WASTE STORAGE AREA

General waste and recycling bins shall be stored in the bin storage area as shown in the plans in **Appendix A**. Sufficient area is provided to store the required bins.

Biohazardous waste bins shall be stored within the internal store as shown in the plans in **Appendix A**. The doors to this store shall be made securable to ensure only authorised personnel can access the biohazardous waste.

Sharps and cytotoxic waste bins shall be provided in each relevant consulting office, where required.

6.2.2 Washing, Stormwater Pollution Prevention & Vermin Prevention

An appropriately graded and drained wash down area within the bin store shall be provided for non-medical waste bins. Non-medical waste bins are to be washed regularly by the waste contractor. Alternatively, a bin washing company can be engaged to perform this service. Medical waste bins are to be cleaned by a suitably qualified contractor on a regular basis.

The waste contractor is required to clean-up any spills that might occur when collecting bins.

Bin lids shall be kept closed when not in use to prevent vermin.

6.2.3 Noise Management

Waste collection by private contractors shall be as per Council's local laws and EPA guidelines.

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6.3 SIGNAGE

Non-medical bins will be clearly marked and signed with standard signage approved. Examples of typical signage recommended by Sustainability Victoria are illustrated in Figure 2



FIGURE 2: NON-MEDICAL WASTE SIGNAGE

Medical bins shall be clearly marked and signed in accordance with EPA’s *Clinical and Related Waste – Operational Guidance* as illustrated in Figure 3.



FIGURE 3: MEDICAL WASTE SIGNAGE

Sharps bins shall be clearly marked and signed with standard signage approved. A typical example is illustrated in Figure 4.



FIGURE 4: BIOHAZARDOUS WASTE SHARP SIGNAGE

6.4 COMMUNICATIONS STRATEGY

The Practice Manager is responsible for educating all medical centre employees on waste management processes, including providing information around the medical centre relating to what waste should be placed in each bin.

7 WASTE COLLECTION ARRANGEMENTS

7.1 NON-MEDICAL WASTE

Bins will be collected on a weekly basis for general waste and recycling by the engaged private waste contractor.

On collection days the non-medical waste trucks (up to 6.4m in length) will access the site via the 5.5m wide crossover to Princes Highway Service Road. The waste contractor will collect general and recycling bins from the bin storage area shown in **Appendix A**, utilising the accessway and DDA shared area to turn around and exit the site in a forward direction. As indicated in the traffic report prepared by O'Brien Traffic (dated 23 November 2023), a retractable bollard would be utilised within the DDA shared area to allow this movement to occur.

Swept path analysis for a 6.4m Small Rigid Vehicle (SRV) is provided in **Appendix B**. The schematics for a suitable waste collection vehicle, a *WasteWise Mini*, are provided in **Appendix C**.

7.2 MEDICAL WASTE

A permit is required for vehicles used to transport prescribed (clinical and related) waste. This permit specifies particular conditions that must be met by collectors.

The engaged medical waste contractor must clearly mark bins with the details of the collection company to avoid confusion with other private waste contractors.

Collection for biohazardous medical waste would be conducted once a week by a permitted transporter.

On collection days the medical waste vehicle will access the site via the 5.5m wide crossover to Princes Highway Service Road. The transporter shall collect relevant bins from inside the building and transfer them to the waste collection vehicle. Once emptied, the contractor will then return the bins to their storage locations. The waste vehicle (likely to be small van) will utilise the accessway and DDA shared area to turn around and exit the site in a forward direction as per the collection method for non-medical waste outlined in **Section 7.1**.

A similar process would be conducted for the collection of sharps and cytotoxic waste, on an as-needed basis as determined by the Practice Manager.

8 COUNCIL INFORMATION

Cardinia Shire Council Ph: 1300 787 624

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APPENDIX A

BIN LAYOUT PLAN

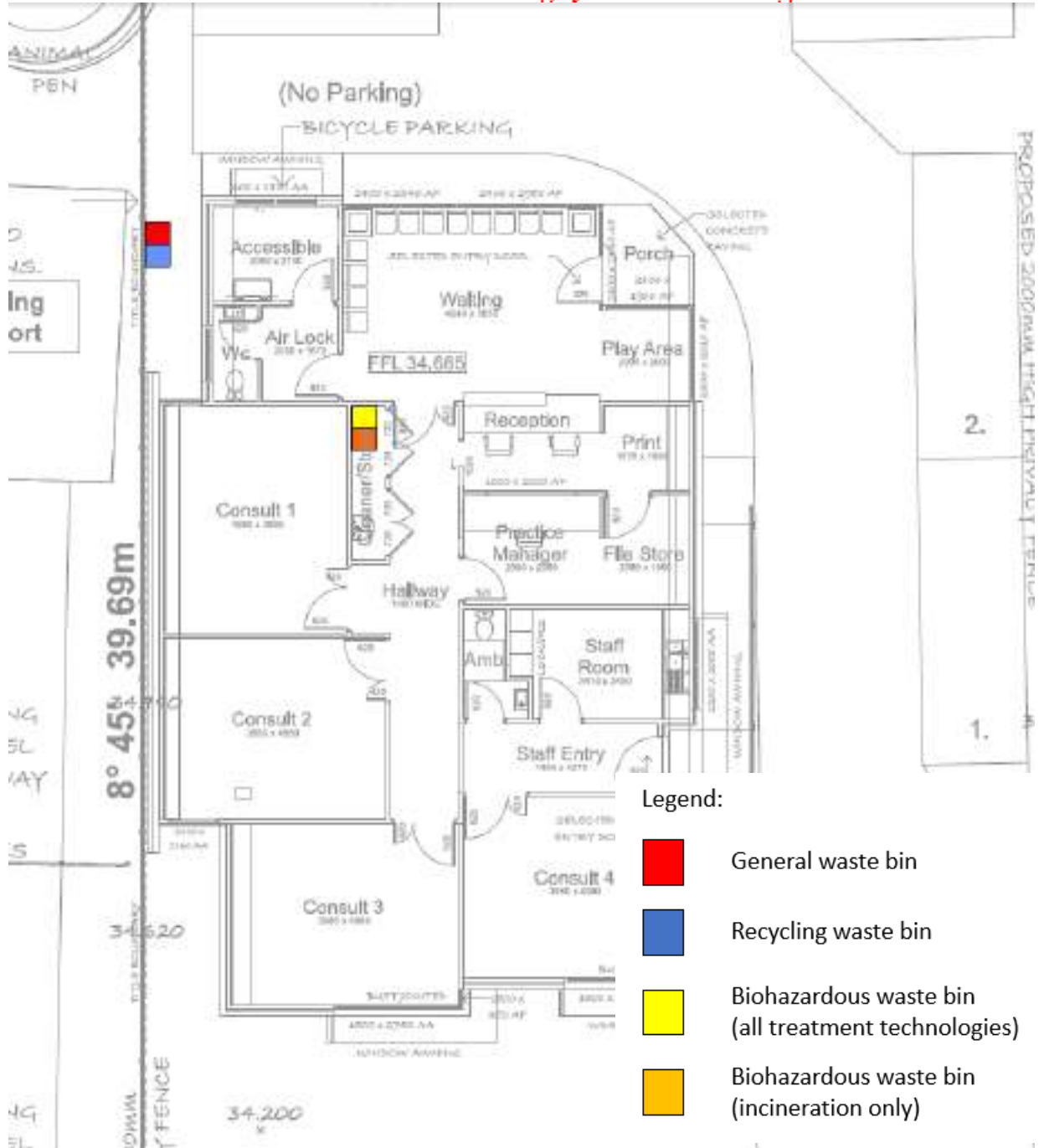


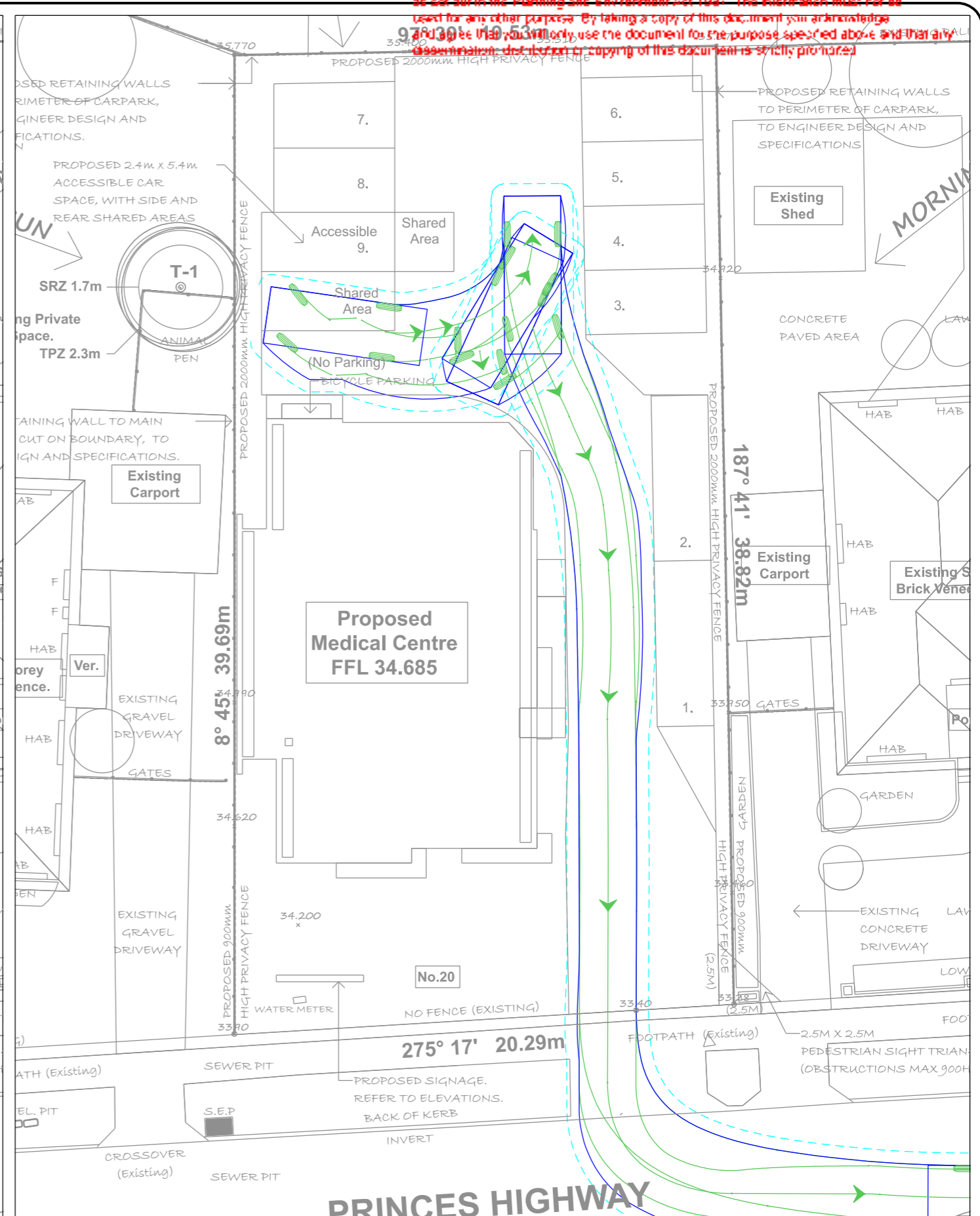
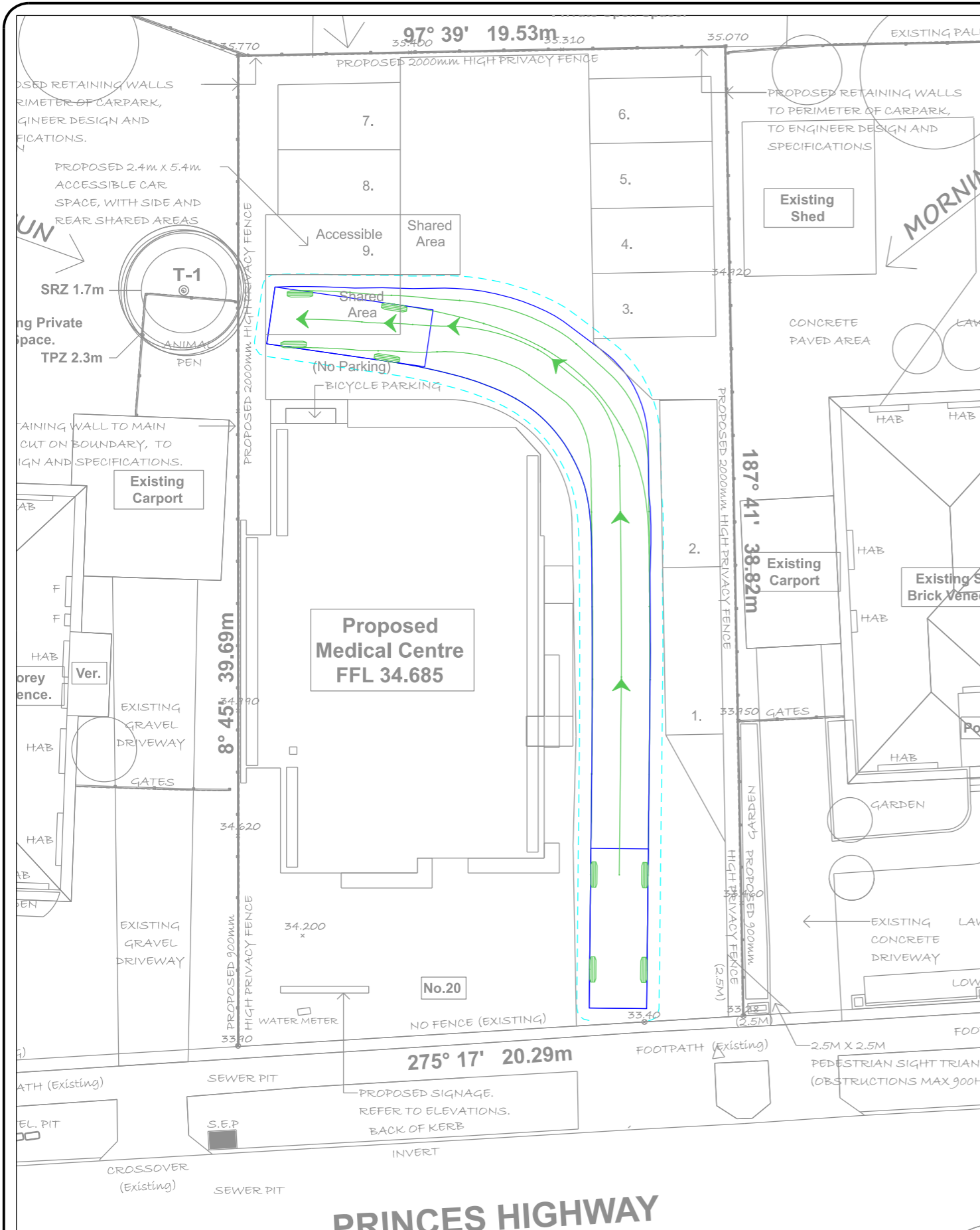
FIGURE A1: BIN LAYOUT PLAN

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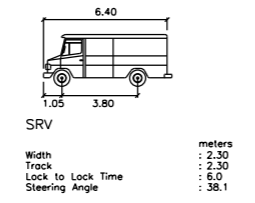
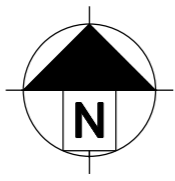
APPENDIX B

SWEPT PATH ANALYSIS

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NOT FOR CONSTRUCTION



6.4m SRV ENTRY/EXIT
 20 Princes Highway, Pakenham
 1:200 @ A3 12/01/24
 DWG NO: 24885003

KEY	
	CENTRE LINE OF FRONT WHEELS
	WHEEL PATH
	VEHICLE BODY
	VEHICLE CLEARANCE LINE (500mm FROM VEHICLE BODY)

OBT O'BRIEN TRAFFIC

- Traffic Planning
- Transport Planning
- Traffic Engineering
- Road Safety

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APPENDIX C

6.4M WASTEWISE MINI SCHEMATIC

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WASTEWISE[®]
environmental

Introducing the **WASTE WISE MINI**



REAR LOADER

Waste Wise Environmental introduced the first MINI rear loader vehicle into Australia in September 2011.

The success of the MINI rear loader has been well documented over the first 12 months of service. The ability to manoeuvre in confined areas within basement car parks, where bin rooms are located, and laneways where other vehicles find difficulty in reversing is unique, but achievable for this compact unit.

With an overall height of just 2.08 metres and length of 6.40 metres, this vehicle can enter most car parks, going down three (3) basement levels or climbing up eight (8) car park levels to empty MGB 240 litre & MGB 660 litre bins within its own height capacity.

MGB 1100 litre bins will be lifted higher than the vehicle and generally find a spot within the complex to do so.

The MINI rear loader is valuable to all: architects, developers, owners corporations (space saving and cost saving) and councils (no bins at kerbside affecting the streetscape).



The Waste Wise Environmental fleet of MINI'S has successfully demonstrated its ability as the most valuable & versatile MINI rear loader on the road today. Not only in confined areas, but also under standard rear loader conditions at street level.



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20 PRINCES HIGHWAY, PAKENHAM

Acoustic Report

Prepared For

HCM AUST PTY LTD C/- 3D DESIGN GROUP

DOC. REF: V1731-01-P ACOUSTIC REPORT (R0)
22 JANUARY 2024

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Project	20 Princes Highway, Pakenham
Subject	Acoustic Report
Client	HCM Aust Pty Ltd c/- 3D Design Group
Document Reference	V1731-01-P Acoustic Report (r0)
Date of Issue	22 January 2024

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1 Introduction

Enfield Acoustics has been engaged by HCM Aust Pty Ltd c/- 3D Design Group to assess potential noise impacts at 20 Princes Highway, Pakenham (Subject Land). This assessment has been prepared in response to Council RFI Item 5 for planning permit application no. T230596 PA dated 22 December 2023, as follows:

5. Acoustic assessment

Provide an Acoustic Assessment prepared by a suitably qualified person which outlines the likely noise generation from the use and its likely impacts on the surrounding residential uses, as well as measures proposed to mitigate any adverse impacts, including impacts from vehicle noise (including car door slams) and waste vehicles entering the site.

The Applicant intends to redevelop the Subject Land for use as a medical centre, which includes several car parking spaces to the north section of the Subject Land. A site plan of the proposal is presented below.



In accordance with Council’s RFI, potential noise impacts from the proposal include:

1. Carpark traffic noise impacts from passenger vehicles
2. Sleep disturbance from transient events (e.g. car door slams and vehicle passby’s)
3. Deliveries and waste collection

Our instruction is that the medical centre is only proposed to operate during regular day/evening business hours (e.g. outside the typical 'Night' hours where sleep disturbance impacts are assessed). Regardless, there is a possibility of earlier arrivals of staff (e.g. pre-7am) and to that end, our assessment will also consider sleep disturbance impacts for completeness.

Our assessment has been conducted in reference to Plans prepared by 3D Design Group dated 29 November 2023.

2 Site Context

Enfield Acoustics visited the Subject Land to survey nearby sensitive uses and to conduct attended background noise measurements on 16 January 2023. The nearest sensitive uses adjacent to the site were identified as follows:

Tag	Location of Sensitive Use	Direction	Type
R1	18 Princes Highway	East	Single-storey
R2	22 Princes Highway	West	Single-storey
R3	5A Leonard Court	North	Single-storey





Given that the above sensitive uses identified are closest to the Subject Land, it is intrinsic that compliance at these locations would also result in compliance at all other sensitive uses proximate the Subject Land.

The following background noise levels were recorded:

Measurement Location	Sound Pressure Level, L_{A90}
M1	43 dB(A)
M2	51 dB(A)

Background noise measurements were conducted between 11am to 12pm as it is typical to find the lowest background noise throughout the middle of the day (between peak traffic periods). This results in a conservative noise assessment in comparison to average daily measurements being considered, which would include peak traffic periods.

3 Policy and Noise Criteria

3.1 Noise Protocol

Noise from any commercial and/or industrial use must comply with the EP Regulations 2021 and *Publication 1826: Noise Limit and Assessment Protocol for the Control of Noise from Commercial, Industrial and Trade Premises and Entertainment Venues* (Noise Protocol).

However, noise emissions from passenger vehicle movements are not subject to Noise Protocol assessment. Regardless, our assessment will consider noise impacts from vehicle movements against the Noise Protocol as a benchmark on whether reasonable noise levels can be achieved.

Zoning levels and resulting noise limits at identified sensitive uses have been calculated in accordance with the methodologies under the Noise Protocol, as follows:

Period	Zoning Level	Background noise level	Noise Limit
'Day' Period 7am to 6pm (Monday to Saturday)	54 dB(A)	43 dB(A) 'Neutral'	54 dB(A)
'Evening' Period 6pm to 10pm (Monday to Saturday) 7am to 10pm (Sundays)	48 dB(A)	Assumed Neutral	48 dB(A)
'Night' Period 10pm to 7am (All days)	N/A – not operating during 'Night'		

The Noise Protocol considers 30-minute average energy noise emissions, meaning that the relevant assessment metric being considered is $L_{Aeq-30min}$, dB(A).

3.2 Sleep Disturbance

No specific policy exists in assessing noise impacts from transient carpark noise, however ‘Sleep Disturbance’ criteria derived from the NSW Road Traffic Policy can be used as a method of assessing the likelihood of noise impacts for short duration or transient events.

The Sleep Disturbance assessment trigger of **65 dB(A) L_{max}** outside habitable room windows is often used to determine if transient noise emissions are likely to cause adverse impacts during the most sensitive ‘Night’ period (10pm to 7am). However, for very infrequent events of 1-2 during the ‘Night’ period, it is generally accepted that outdoor noise levels of up to 80dB(A), L_{max} do not impact on health and wellbeing.

4 Assessment

4.1 Carpark Noise Impacts

Based on benchmark data previously obtained by our office, we have assumed the following noise levels in our assessment:

Noise Source	Assumptions	Noise Level
Passenger vehicle passby's	Vehicles assumed to move according to traffic paths with up to 10 vehicle movements per 30 minutes (e.g. ground level carpark fully utilized)	79 dB(A) $L_{Amax-passby}$ SWL
Car door slams	Located at carpark bays	93 dB(A) L_{max} SWL

Based on the assumptions above, 3D noise computational model has been generated using the software package CadnaA. The model considers acoustic propagation factors including reflections from the built form of the medical centre. The propagation distances here are too short that weather effects do not require consideration.

To assist in mitigation noise impacts from the carpark, we recommend the following acoustic fencing:

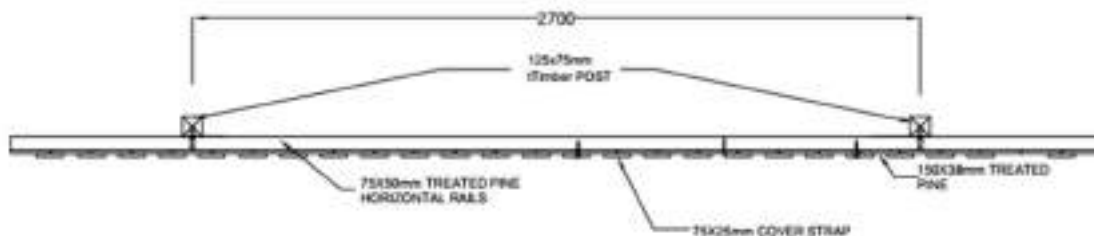


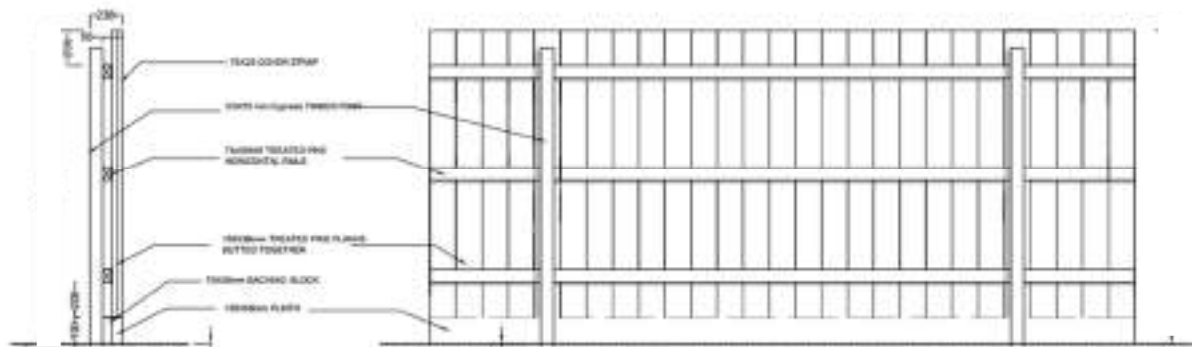
The acoustic fencing recommended above shall be constructed as follows:

Boundary Acoustic Fence

1. Using fibre cement sheeting, treated timber, lightweight aerated concrete, transparent acrylic panels, glass and profiled sheet cladding as long the selected material (or combined skins) has a mass of at least 10kg/m²;
2. The fence shall have no gaps or holes in it, or the likelihood of such occurring through natural causes or deformations, thus allowing noise to pass through;
3. The fence must be designed and built in an acceptable manner so that noise will not pass underneath it;
4. Any butt joints shall be sealed with a fire-rated weather proof mastic or an overlapping piece of material meeting the mass requirements of 10kg/m² (minimum 35mm each side of the butt joint); and
5. Where multiple cladding layers are used (e.g. FC sheeting over timber paling fence), joints in the cladding materials shall not coincide.

An example detail for an acoustic-grade timber paling fence is shown below:





Inclusive of the acoustic fencing proposed above, the ‘worst-case’ noise levels are summarised below:

Carpark traffic (Noise Protocol Assessment)

Location	Modelled Noise Level, L_{Aeq}	Noise Protocol Limit	Compliance?
Receiver R1	36 dB(A) $L_{eq-30min}$	54 dB(A) – Day 48 dB(A) - Evening	✓
Receiver R2	30 dB(A) $L_{eq-30min}$		✓
Receiver R3	26 dB(A) $L_{eq-30min}$		✓

Transient Events (Sleep Disturbance Assessment)

Location	Modelled Noise Level, L_{max}	Sleep disturbance Threshold	Compliance?
Receiver R1	61 dB(A) L_{max}	65dB(A) L_{max}	✓
Receiver R2	59 dB(A) L_{max}		✓
Receiver R3	58 dB(A) L_{max}		✓

A map of the noise model is presented in Appendix A.

The results above indicate that carpark noise emissions are expected to comply with both the Noise Protocol and sleep disturbance thresholds by a reasonable margin. It is noted that the results above are conservative as even regular ‘non-acoustic’ paling fences (as shown on the Plans) are still expected to provide some level of attenuation.

Carpark movements during the ‘Night’ period are also expected to be infrequent given the nature of the use, however would still comply with sleep disturbance thresholds even if it were to occur, indicating a satisfactory outcome.

To that end, we are satisfied that the use of the carpark will not result in adverse noise impacts, providing that the acoustic fencing recommended in this section is adopted.

The results of our noise measurements also indicate that relatively high levels of ambient road traffic, meaning that Noise Protocol limits and sleep disturbance thresholds are already regularly exceeded by road traffic on the Princes Highway.

4.2 Deliveries and Waste Collection

Guidance for appropriate waste collection and delivery hours are provided by *EPA Publication 1254.2 – Noise Control Guidelines dated May 2021* (Publication 1254), as follows:

Schedule: Deliveries to shops, supermarkets & service stations 7 am – 10 pm Monday to Saturday 9 am – 10 pm Sundays and public holidays
--

Schedule: Industrial waste collection One collection per week 6:30 am – 8 pm Monday to Saturday 9 am – 8 pm Sunday and public holidays Two or more collections per week 7 am – 8 pm Monday to Saturday 9 am – 8 pm Sunday and public holidays
--

To that end, it is recommended that the following controls apply on the permit:

Deliveries

All deliveries to the Subject Land shall only be permitted to occur between the hours of:

- 7am to 10pm – Monday to Saturday
- 9am to 10pm – Sundays and Public Holidays

Waste Collection

In accordance with the hours above, it is recommended the following controls apply to waste collection on the Subject Land:

All waste collection on the Subject Land shall only be permitted to occur between the hours of:

- 7am to 8pm – Monday to Saturday
- 9am to 8pm – Sundays and Public Holidays

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5 Conclusion

Enfield Acoustics has assessed potential noise impacts from the proposed medical centre at 20 Princes Highway, Pakenham and is satisfied that the application can be approved.

We assess that the risk of adverse noise impacts from the carpark is low and can be adequately mitigated by moderate forms of boundary acoustic fencing. The context of the site being adjacent to a busy highway also helps temper any carpark noise impacts. In effect, carpark noise emissions would likely be indistinguishable from regular road traffic on the Princes Highway.

To that end, we are satisfied that the application can be approved, where the recommendations in this report are adopted.

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Appendix A: Noise Modelling Maps



Scale: 1: 252 @ A3

Legend:

- N
- Point Source
- Line Source
- Building
- Barrier
- Receiver

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Noise emission levels from CARPARK TRAFFIC

LAeq Noise Levels

Noise Protocol Assessment

Project No: V1731

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Drawing No: MAP-01 Date: 18.01.2024

NOTES:

*Propagation in accordance with ISO9613



Scale: 1: 252 @ A3

Legend:

- Point Source
- Line Source
- Building
- Barrier
- Receiver

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Noise emission levels from CARPARK

L_{max} Noise Levels

Sleep Disturbance Assessment

Project No: V1731

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Drawing No: MAP-02 Date: 18.01.2024

NOTES:

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Construction Management Plan

20 Princes Hwy Pakenham

For the Construction of a Medical Center and associated Carpark.



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1. Preamble

The owner has requested that 3D Design Group prepare the Construction Management Plan to respond to the request for further information from Cardinia Shire Council.

It is to be noted that all construction on the site falls under the need for a building permit and under that process, the construction methodology is considered and approved.

This Construction Management Plan will not substitute the requirements of any future builder involved in the construction of this project.

2. Site

The site is located at 20 Princes Hwy, Pakenham, and currently has an existing house and carport.

There is a gentle fall on the site from the rear towards the road and this will require some earthworks to accommodate the proposal.

The neighbouring properties to the East and West have similar site falls, existing buildings, and setbacks.

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3. The proposal

The owner is proposing to demolish the existing building that is at the end of its usable life cycle. It is proposed to construct a small single-storey building and associated carpark. The site will require some earthworks (site cut) at the rear with concrete sleeper retaining walls.

4. Building Permit

It's the responsibility of the Building Surveyor to review the construction method, structure, and process before the issue of a Building Permit.

As part of this process, the builder/owner is required to issue protection notices to the adjoining property owners. These will explain the construction required, its potential impact, and how the Builder is going to protect the property.

5. Construction areas of consideration

There are four areas to be considered in this Construction Management Plan. The remaining areas are considered by normal Building Permits and construction processes.

- Demolition
- Earthworks
- Retaining walls
- Building works in proximity to a title boundary

The following sections of this document will address each element.

6. Demolition

The owner will engage a qualified and registered demolition contractor for the demolition of the existing structures. This contractor will have all the required insurance for the demolition work.

The demolition requires a building permit for the works.

Asbestos Reports – division 6 audit

Generally, the buildings will be dismantled from the roof to the ground. Any asbestos will be removed by a specialist contractor as the first part of the work.

Any salvageable items of the building will be removed by hand and will be removed from the site by the contractor as they generally form part of their income.

An excavator will be used to pull the structure down and load it into tip trucks for removal from the site.

All footings will be removed by the excavator and removed.

It's the responsibility of the contractor to control dust and noise during this process. It is not expected that this project will generate much of either. Normal dust suppression or wetting down of any area would be normal practice. Noise would be limited to normal working hours, and generated but the excavator and trucks.

Existing House for Demolition



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7. Earthworks

The project requires some excavation of the site with a maximum depth of 930mm.

This work will be under protection notices in the Building Permit.

Once the site has been cut the Builder will construct the retaining walls.

The earthworks for the carpark vary in depth from 200mm on the East boundary to a maximum of 930mm on the west boundary. There are no buildings near these works that require any special construction consideration (Area Shown In Blue) – Figure 1.

The driveway requires some regarding to allow for the construction of the driveway.

It is expected the stormwater system will require a trench central to the driveway and the carpark will grade to a central stormwater pit. This is subject to the final civil design.

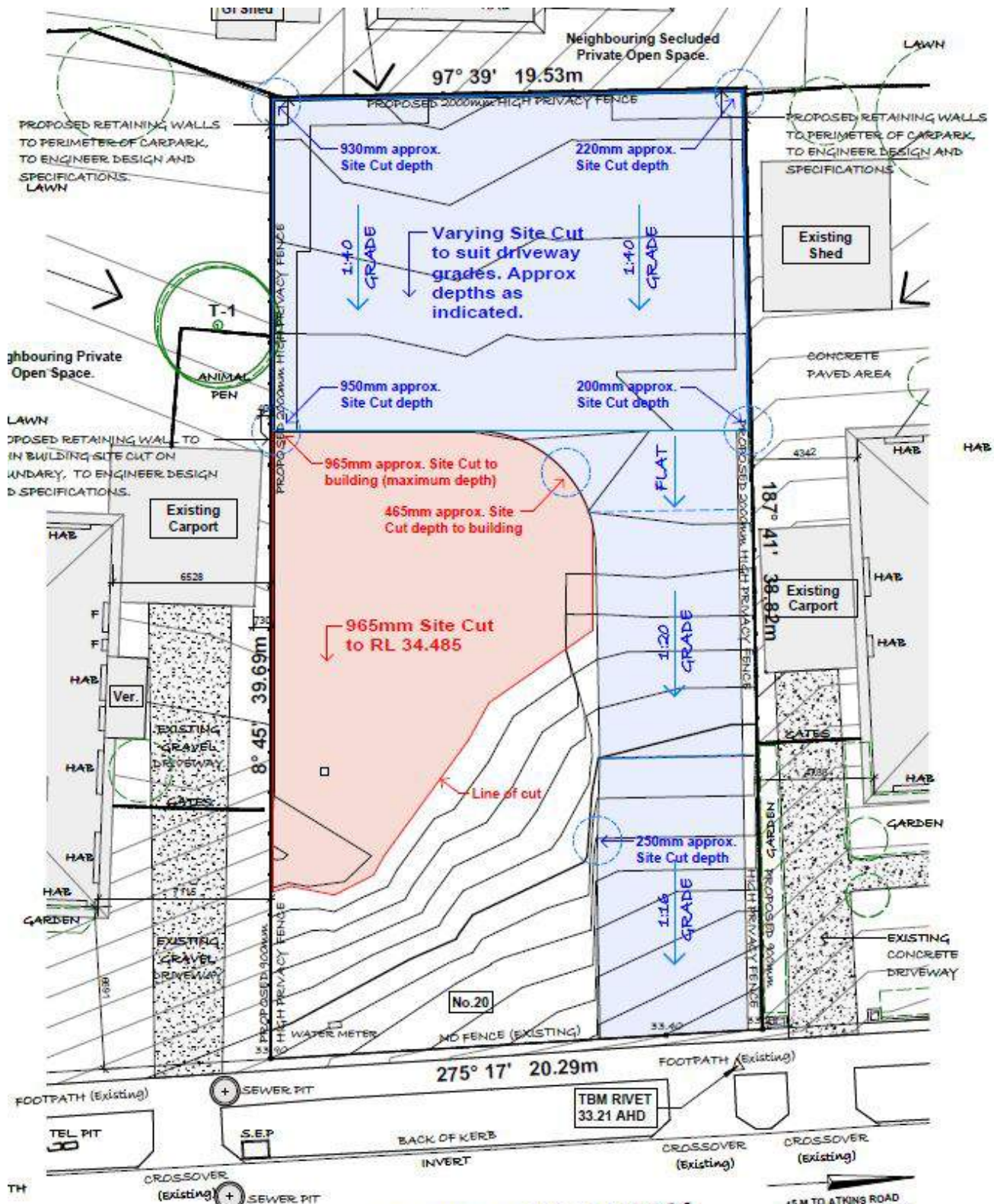
The Earthworks for the building construction starts at ground Level (RL 34.485) and has a maximum cut of 965mm and the North-West corner of the proposed building. This cut is near an existing carport structure. The Structural Engineer will provide commentary and structural design of a wall for this location (Area Shown In Red) – Figure 1.

It is expected due to the shallow nature of the earthworks and the angle of repose to the carport that the initial site cut will be battered at 45° away from the carport. The Builder will drill and place the vertical supports for the retaining wall (1200 centres). Upon curing of the footings, the batter can be removed in a hit-and-miss order with the horizontal sleepers being placed as they go.

All site spoil will be removed from the site.

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Figure 1



Note: Site cuts indicated are approximate only and subject to future Civil Engineer design and specifications.

PRINCES HIGHWAY (SERVICE ROAD)

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8. Retaining walls

The proposed retaining wall is a galvanized steel soldier (Vertical) and precast concrete horizontal planks.

The East boundary will be 200mm high or 1 sleeper, and the North boundary will have a stepped retaining wall from 200mm (1 sleeper) to 930mm (5 Sleepers).

The west boundary along the carpark will be approximately 930mm (5 Sleepers) in height. This wall will extend to the building.

All walls will be designed to have a fence over the wall – Engineered design. There will be a slotted agricultural drain behind all walls connected to the stormwater via a silt pit.

Part of the building wall on the title boundary will retain the design of a structural engineer, it is expected to be a double brick wall with a timber structural wall inside the building (as shown on the floor plan).

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Sample photo of retaining walls



9. Work within proximity of a title boundary.

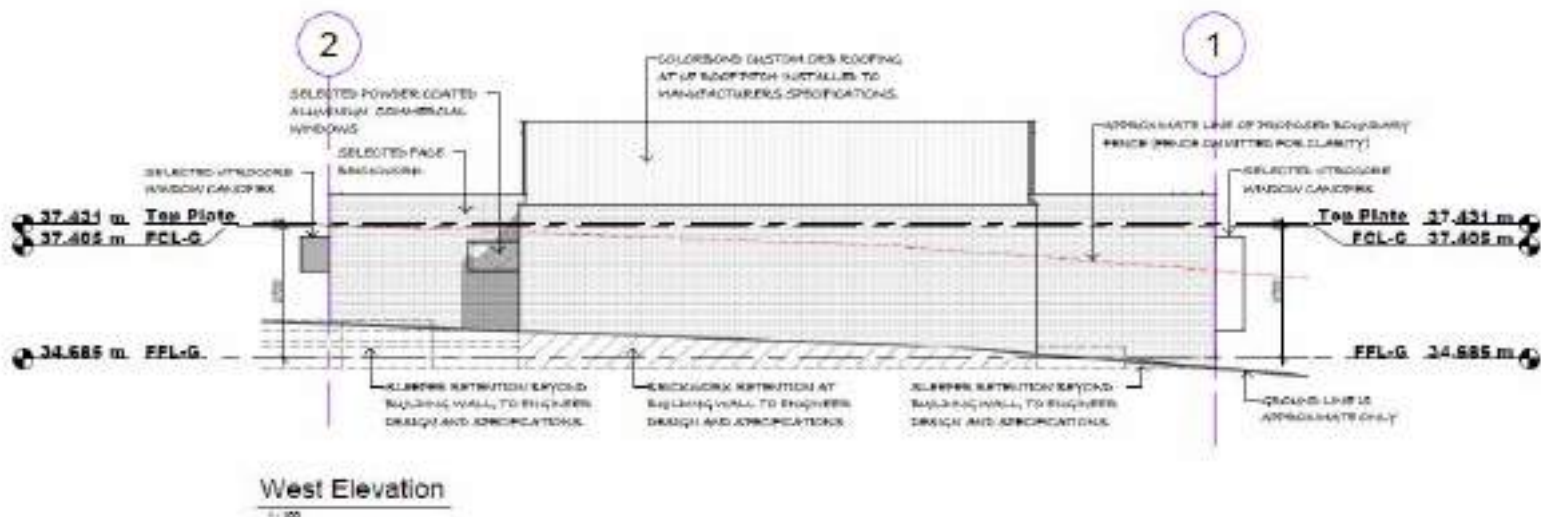
The proposal has a wall on the Western boundary. These works are subject to protection notices under the Building Permit. This type of construction and location is very typical (nothing out of the ordinary).

The double brickwork wall can be laid from the subject site, with only the brick cleaning that requires some access from the neighboring site (with the neighbour's permission). The double brick wall is self-supporting at this height.

Timber framing inside this wall can be constructed on the subject site and has no impact on the neighbouring property.

All other works are contained within the site.

West Elevation – wall on the boundary



10. Remaining works

All other works are contained within the site and are considered to be normal building practices.

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