

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	128 Red Road, Gembrook VIC 3783 L2 PS829752 V12331 F918
The application is for a permit to:	Buildings and Works for the Construction of a Dwelling
The applicant for the permit is:	[REDACTED]
The application reference number is:	T210826
You may look at the application and any documents that support the application at the office of the Responsible Authority:	<p>Cardinia Shire Council 20 Siding Avenue Officer 3809</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website: https://www.cardinia.vic.gov.au/advertisedplanningapplications</p>

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

- An objection must
- * be sent to the Responsible Authority in writing, at Cardinia Shire Council, PO Box 7, Pakenham, Vic, 3810 or email at mail@cardinia.vic.gov.au.
 - * include the name and address of the objector/ submitter.
 - * include the application number and site address.
 - * include the reasons for the objection, and
 - * state how the objector would be affected.

The Responsible Authority will not decide on the application before:	2 May 2024
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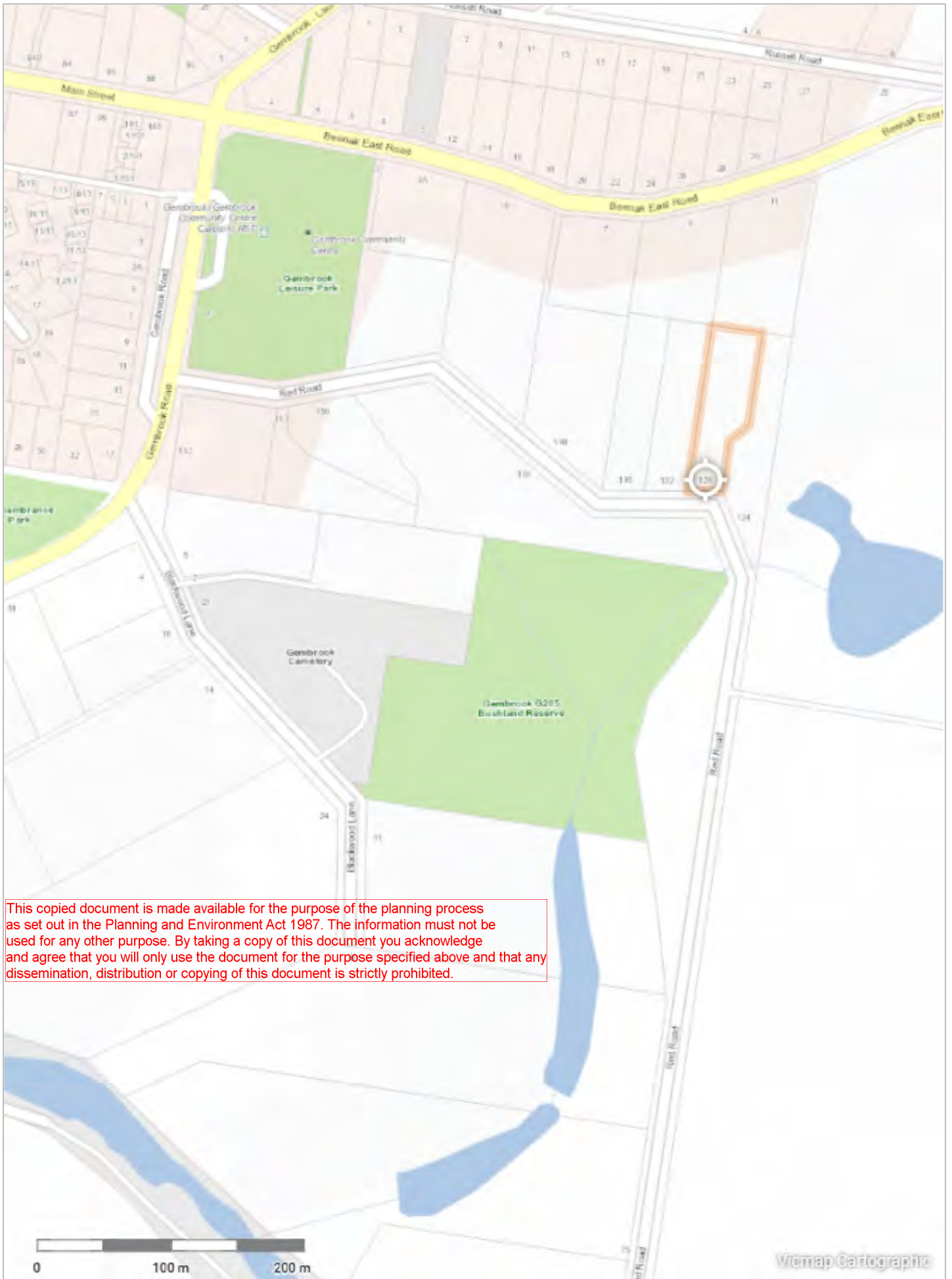
If you object, the Responsible Authority will tell you its decision.

Please be aware that copies of objections/submissions received may be made available to any person for the purpose of consideration as part of the planning process.

For additional information or advice contact Cardinia Shire Council, Planning Department on 1300 787 624 or mail@cardinia.vic.gov.au.

Your objection/submission and personal information is collected by Cardinia Shire Council for the purposes of the planning process as set out in the *Planning and Environment Act 1987*. If you do not provide your name and address, Council will not be able to consider your objection/submission. Your objection/submission will be available free of charge at the Council office for any person to inspect and copies may be made available on request to any person for the relevant period set out in the *P&E Act*. You must not submit any personal information or copyright material of third parties without their informed consent. By submitting the material, you agree that the use of the material as detailed above does not breach any third party's right to privacy and copyright.

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Application to amend a current planning application



Application number:	T210826
Address of subject site	128 Red Road Gembrook

Pursuant to which section of the Planning and Environment Act 1987 is this amendment being made?		
Section 50:	Amendment to application at request of applicant before notice/advertising:	<input type="checkbox"/>
Section 50A:	Amendment to application at request of responsible authority before notice/advertising:	<input type="checkbox"/>
Section 57A:	Amendment to application after notice/advertising is given:	<input checked="" type="checkbox"/>

Applicant:	West Gippsland Planning
Phone:	0466 792 853
Email:	wgplanning@outlook.com
Postal Address:	

What is the purpose of the amendment? Please list all changes:
- Changes to the design of the development - at the request of Council, and for this reason we also request Council to waive Planning Fee.
- Changes to the Applicant details
- Amended Plans and supporting documents attached

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Application to amend a current planning application



Declaration	
I declare that all the information in this application is true and correct and the owner (if not myself) has been advised of the planning permit application.	
Print name:	
Signature:	
Fees	
Amendment in accordance with Section 50 or 50A	Nil
Amendment in accordance with Section 57A	40% of the fee applicable to the original permit class plus the difference in fees if the amendment changes the class of permit to that with a higher application fee.

Lodgement of application

Your application can then be sent via email, mail or submitted in person at Council's Civic Centre.

Assistance

If any assistance in completing this form is required, we recommend you contact Council's Statutory Planning Team on 1300 787 624 before lodging an application. Insufficient or unclear information may delay the processing of your application.

Note: Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of the planning process under the Planning and Environment Act 1987.

Cardinia Shire Council
Civic Centre
20 Siding Avenue, Officer

PO Box 7
Pakenham 3810 (DX 81006 Pakenham)

Phone: 1300 787 624
Email: mail@cardinia.vic.gov.au
Web: cardinia.vic.gov.au

National Relay Service (NRS)
TTY: 133 677 (ask for 1300 787 624)
Speak and Listen (speech-to-speech relay): 1300 555 727 (ask for 1300 787 624)

Translator Interpretation Service
131 450 (ask for 1300 787 624)

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30 September 2023.


Planning Department
Cardinia Shire Council

**RE: AMENDMENT TO PLANNING APPLICATION FOR A DWELLING
AT 128 RED ROAD, GEMBROOK.**

Please find attached an Application to Amend Planning Application under section 57A for buildings and works associated with construction of a dwelling proposed at 128 Red Road, Gembrook in accordance with the amended plans and documentation.

The proposed development requires a Planning Permit due to the following Planning controls:

- Clause 44.06-2 Bushfire Management Overlay
- Clause 43.02-2 Design and Development Overlay Schedule 1
- Clause 42.01-2 Environmental Significance Overlay Schedule 1

It is submitted that there are no further Planning Permit triggers for this application.

1. THE AMENDED PROPOSAL

The amended proposal is for a single story, three-bedroom dwelling. The existing crossover will continue to provide access to the subject site. No changes are proposed to the existing crossover, noting that this was recently constructed in response to the subdivision of the land and was subsequently approved by council.

The proposed dwelling will contain 3 bedrooms including a master bedroom, a centrally located kitchen, an open plan family and meals area, a living room, an outdoor living area, and a double garage.

The external colours proposed for the development is as follows:

- Roof, fascia and gutter - Basalt
- Weatherboards - Dulux White
- Posts Greyology 2

The proposed dwelling has been designed to fit in with the existing streetscape character by utilising a weatherboard exterior wall and gable designed colorbond roof. The secluded private open space of the dwelling is located to the north of the dwelling with adequate solar access. Landscaping works will further compliment the development once established.

The proposed dwelling will require site *cutting and filling* due to the sloping topography of the land. The highest point of the building envelope is located at the north-western corner and falls to the south (i.e. Red Road).

Once a Planning Permit has been issued, an Onsite Wastewater Management System (OWMS) permit will then be obtained from Councils Health Dept.

Background:

It is understood that when the building envelope was approved and registered on the Plan of Subdivision. It was also understood that some site *cutting and filling* of the envelope would be required to accommodate the future development. The site cut was conducted by the previous owner of the land to establish the location of the building envelope. In response to the original application forming part of this application, the current owners were advised by Council that no submissions were received in response to the advertising of the application and the previous assessing Planner was proceeding to issue a permit for the original application. To fast track the construction of the dwelling, the current owners did undertake some additional earthworks after the Advertising of the application in preparation for the original dwelling.

2. SUBJECT SITE AND SURROUNDING LAND

The subject site is formally described as Lot 2 Plan of Subdivision 829752D and is commonly known as 128 Red Road, Gembrook.

The site has an area of approximately 4,088sqm, gains direct access from Red Road and was created in January 2021.

The location of the proposed development is free of vegetation, has a slope to the south and some excavation works are proposed in response to the topography of the land as per submitted plans.

The site is mostly vacant apart from one large Oak Tree which the owners intend to retain as this will add to the landscaping of the site once construction work completes. A site cut has already been established on the land by the previous landowner to identify the location of the building envelope.

The land is surrounded by low density residentially zoned land. Land further to the east is zoned as Green Wedge Zone 2 and is used as a grazing farm. The land to the north and west contains existing dwellings and outbuildings and has similar topography as the subject site. The land to the east is vacant. It is understood that this land has recently been sold and the new owners will be constructing a dwelling shortly.



IMAGE 1 – Aerial view of the subject site.



IMAGE 2 – view of the site towards north showing location of existing site cut within the Building Envelope.

3. Restrictive Covenants and S173 Agreements

The following covenant and s173 Agreements are registered to the copy of the title of the subject land.

a) Section 173 Agreement AU644709N

This agreement relates to contribution towards the construction of Red Road if constructed in future (as per condition 5(h) of Planning Permit T190132.

Response:

The landowner is aware of this Agreement and will contribute as required in future.

b) Section 173 Agreement AU629869A

This agreement *'has been prepared for the purpose of an exemption from a Planning Permit under Clause 44.06-2 of the Cardinia Planning Scheme to construct a single dwelling on Lot 2 and Lot 3 only'*.

The agreement further states that *'if a dwelling is constructed on the land without a planning permit than the bushfire mitigation measures set out in the plan incorporated into the agreement must be implemented and maintained to the satisfaction of the responsible authority on a continuing basis'*.

Response:

The landowner is aware of the endorsed BMP requirements. It is understood that the endorsed BMP applies to the development located within the identified *Habitable Building Envelope*. The vegetation on the land has been removed a few years ago in response to the approved BMP prior to the issue of the new titles for the subject land. The proposed development submitted as part of this application is located within the registered Envelope as per attached plans and therefore considered to be in compliance with the requirements of the approved BMP.

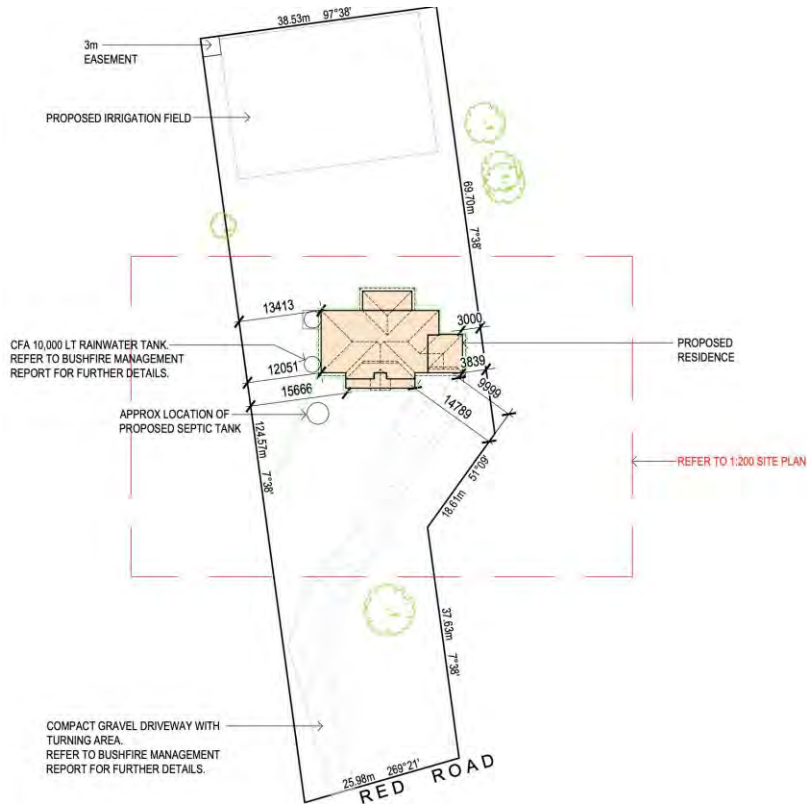
c) Covenant PS 829752D

The covenant relates to the registered Habitable Building Envelope (HBE) and states as follows (as relevant to this application):

1. *The registered proprietor or proprietors for the time being of lot 2 shall not construct any garage or dwelling outside the area denoted as Habitable Building Envelope without the further consent of the Responsible Authority'*.

Response:

The proposed dwelling and outbuilding has been designed to meet the covenant requirements and is sited within the approved envelope.



LOCATION PLAN

IMAGE 3 - Site Plan.

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4. CLAUSE 32.03 – LOW DENSITY RESIDENTIAL ZONE

The subject site is zoned as Low Density Residential Zone (LDRZ) as identified under the provisions of the Cardinia Planning Scheme.

The purpose of the Zone provision is to:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To provide for low-density residential development on lots which, in the absence of reticulated sewerage, can treat and retain all wastewater.*

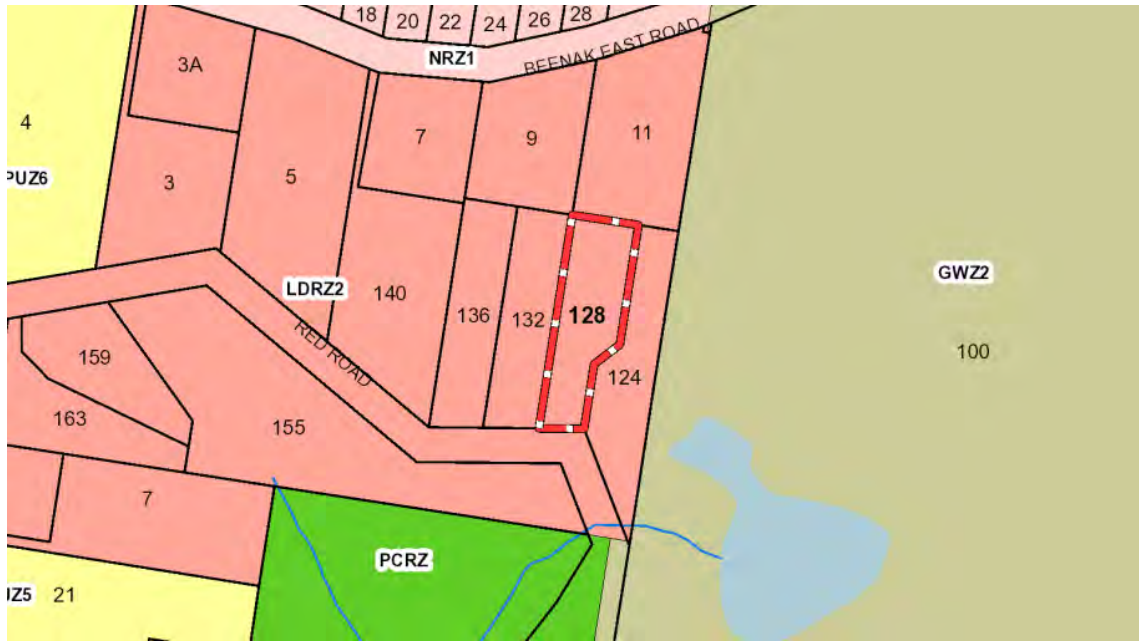


IMAGE 4 - Land use zoning of the site and surrounding areas.

The site and surrounding land is zoned as Low Density Residential Zone apart from the land to the further east, which is zoned as Green Wedge Zone Schedule 1.

The land is proposed to be *developed and used* as a single dwelling which is a Section 1 Use under Clause 32.03-1 of the Cardinia Planning Scheme.

Buildings and works associated with a *Section 1 Use* do not require Planning Approval under the provisions of Clause 32.03-4, as in this case, therefore consideration of the zone provisions is not considered relevant to the assessment of this application.

5. **Clause 43.02 – Design & Development Overlay Schedule 1 (DDO1)**

The subject site and surrounding areas are affected by Design & Development Overlay Schedule 1.

The design objective of the overlay is to:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To identify areas which are affected by specific requirements relating to the design and built form of new development.*
- *To ensure that the location and design of buildings creates an attractive low density residential environment.*
- *To ensure that any development has regard to the environmental features and constraints of the land.*
- *To ensure that the subdivision of land has regard to the existing pattern of subdivision in the area.*

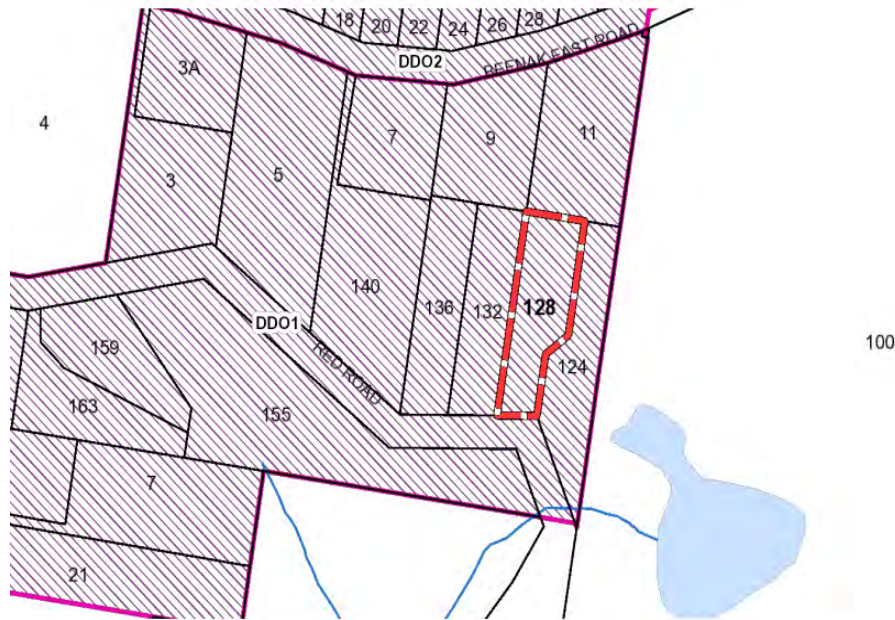


IMAGE 5 – Design & Development Overlay Schedule 1 (DDO1) affecting site and surrounding areas.

Clause 43.02-2 relating to *buildings and works* states that a permit is required to construct a building or to construct or carry out works, however the Schedule at Clause 2 of DDO1 states that *a permit is not required to construct a building or construct or carry out works provided all of the following requirements are met.*

A response to these controls have also been provided for council’s consideration.

- *Any building must be located within the building envelope if one is registered on the plan of subdivision.*

Response :- A *Habitable Building Envelope* is attached to the Plan of Subdivision of the subject land. The proposed dwelling and the associated outbuilding has been sited within the identified envelope and therefore is submitted to be in compliance with the covenant requirement.

- *Any building must be set back at least 30 metres from a Road Zone Category 1, 20 metres from a Road Zone Category 2, 10 metres from any other road, and 5 metres from any other boundary unless the location of the building is within an approved building envelope.*

Response :- As shown on plans and registered envelope, the site plan submitted with this application shows the location of the registered envelope.

- Side (west) setback is set at 12.05m which complies with the requirement.

- Side (east) setback is set at a minimum of 3m for the garage area which does not meet the required setback, however, it is fully located within the identified building envelope. It is understood that some exemptions were given by Council for a reduced side setback when the Building Envelope was approved and registered to the Plan of Subdivision as part of the approval of the subdivision of the subject land (being Planning Permit T190132).

-

- *Any building or works must be set back at least 60 metres from a waterway.*

Response :- There are no waterways within 60m of the proposed building or works.

- *If the building is an extension to an existing dwelling.*

Response :- The application is for a new dwelling.

- *If the building is an outbuilding ancillary to a dwelling, the gross floor area of all outbuildings on the land must not exceed 120 square metres.*

Response :- No outbuilding is proposed.

- *Building materials must be non-reflective or subdued colors which complement the environment.*

Response :- All external color details are shown on attached plans. Non-reflective colors are not proposed with the development.

- *The height of any building must not exceed 7 metres above natural ground level.*

Response :- The overall height of the dwelling is set at 7.225m which does not meet the clause requirements. However, some site cutting and benching will be required to allow creation of a flat pad for the concrete floor, foundation and footing works as shown on plans. A 0.225m variation is minor and will not create excessive visual bulk, as the height is largely due to the necessary earthworks.

- *The works must not involve the excavation of land exceeding 1 metre or filling of land exceeding 1 metre and any disturbed area must be stabilised by engineering works or revegetation to prevent erosion.*

Response :- Due to the existing topography of the land, cut and fill is proposed. The proposed dwelling will require a site cut and fill as shown on submitted plans. Site cut will subsequently be completed with a retaining wall and landscaping works. a landscaping plan can be provided if required.

- *The slope of the land on which the buildings and works are undertaken must not exceed 20%.*

Response :- It is submitted that the registered building envelope has catered for the topography of the land.

- *The buildings and works must not result in the removal or destruction of native vegetation (including trees, shrubs, herbs, sedges and grasses) within an area of botanical or zoological significance as shown on the mapped information provided by the Department of Natural Resources and Environment, with the exception of Sweet Pittosporum (Pittosporum undulatum).*

Response :- No vegetation is proposed for removal as part of this application. The land was cleared by the previous owner under the approved Bushfire Management Plan endorsed under Planning Permit T190132. There is a large Oak Tree on the land which will be retained as it provides a landscaping feature of the site as shown below in photos.

In response to the Decision Guidelines at Clause 6 of DDO1, it is submitted that:

- An Onsite Wastewater Management permit will be obtained from Councils Health Department once a Planning Permit has been issued by the Councils Planning Department.
- The subject site is not located near or adjoining a waterway, gully, ridgeline or will require removal of any significant vegetation.
- The landowner is proposing to substantially landscape the site once the construction works are completed so as not to disturb the landscaped areas during the construction of the dwelling phase.
- As stated in this report, the land does not contain any areas of remnant vegetation, and habitat of botanical and zoological significance.
- It is not considered that the proposed development will have an adverse impact on the landscape character of the area, ridgelines or significant views as the site is lower than other adjoining properties. The proposed dwelling is of single storey in height and is finished in colours and materials which are sympathetic to the low density character of the area.
- As part of the Building Permit process, the relevant Building Surveyor will address fire rating requirements as the site is located within a Bushfire Prone Area.

- All stormwater from the proposed development will appropriately be discharged to a legal point in accordance with the relevant Building Permits prior to the development being occupied.
- Given the extent of site cutting / filling involved with the development, it is not considered that this will result in soil erosion. In addition to this, the Building Regulations will also require appropriate battering of the site cut as necessary.

6. CLAUSE 42.01 ENVIRONMENTAL SIGNIFICANCE OVERLAY SCHEDULE 1 (ESO1)

The subject site is affected by Environmental Significance Overlay Schedule 1 (ESO1) of Clause 42.01 Schedule 1.

The objective to be achieved under this clause provision is:

- *To protect and enhance the significant environmental and landscape values in the northern hills area including the retention and enhancement of indigenous vegetation.*
- *To ensure that the siting and design of buildings and works does not adversely impact on environmental values including the diverse and interesting landscape, areas of remnant vegetation, hollow bearing trees, habitat of botanical and zoological significance and water quality and quantity.*
- *To ensure that the siting and design of buildings and works addresses environmental hazards including slope, erosion and fire risk, the protection of view lines and maintenance of vegetation as the predominant feature of the landscape.*
- *To protect and enhance biolinks across the landscape and ensure that vegetation is suitable for maintaining the health of species, communities and ecological processes, including the prevention of the incremental loss of vegetation.*



IMAGE 6 – Environmental Significance Overlay Schedule 1 (ESO1) affecting site and surrounding areas.

Clause 42.01-2 relating to *buildings and works* states that a permit is required to construct a building or to construct or carry out works, however the Schedule at Clause 3 of ESO1 states that *a permit is not required to construct a building or construct or carry out works provided all of the following requirements are met.*

A response to these controls have also been provided for council's consideration.

- *Building materials must be non-reflective or subdued colours which complement the environment to the satisfaction of the responsible authority.*

Response :- All external color details are shown on attached plans. Non-reflective colors are not proposed as part of this application.

- *The height of any dwelling must not exceed 7 metres above natural ground level and the height of all other buildings must not exceed 4 metres above natural ground level.*

Response :- The overall height of the dwelling is set at 6.97m which meets the clause requirements. Some site cutting and benching will be required to allow creation of a flat pad for the concrete floor, foundation and footing works as shown on plans.

- *The works must not involve the excavation of land exceeding 1 metre or filling of land exceeding 1 metre and any disturbed area must be stabilised by engineering works or revegetation to prevent erosion.*

Response :- Due to the existing topography of the land, a cut and fill is proposed. The proposed dwelling will require a site cut and fill as shown on submitted plans. Site cut will subsequently be completed with a retaining wall and landscaping works.

- *The slope of the land on which the buildings and works are undertaken must not exceed 20%.*

Response :- It is submitted that the registered building envelope has catered for the topography of the land.

- *The buildings and works must not result in the removal or destruction of native vegetation (including trees, shrubs, herbs, sedges and grasses) within an area of botanical or zoological significance as shown on the mapped information provided by the Department of Sustainability and Environment, with the exception of Sweet Pittosporum (Pittosporum undulatum).*

Response :- No vegetation is proposed for removal as part of this application. The land was cleared by the previous owner under the approved Bushfire Management Plan endorsed under Planning Permit T190132. There is a large Oak Tree on the land which will be retained as it provides a landscaping feature of the site as shown below in photos.

- *If the building is an extension to an existing dwelling that is less than 50 percent of the floor area of the existing building.*

Response :- The application is for a new dwelling.

- *If the building is an outbuilding ancillary to a dwelling, the gross floor area of all outbuildings on the land must not exceed 120 square metres.*

- Response :- A permit is required as the area of the outbuilding exceeds 120sqm (i.e. is set at 200sqm). It is not uncommon to have large sheds on acreage properties as it allows for storage of additional passenger vehicles, caravan's, boat's, ride on mower's, tools and use for domestic workshop.

- *If the building is in a Green Wedge or Rural Conservation Zone and is associated with the existing use of the land for the purposes of agriculture, the gross floor area of the building must not exceed 160 square metres.*

Response :- Not applicable.

- *If a building envelope is registered on the plan of subdivision, any building must be located within the building envelope*

Response :- The proposed dwelling and outbuilding is located within the registered envelope.

In response to the *Information Requirements* at Clause 3 of ESO1, it is submitted that:

- A detailed and dimensioned site, floor and elevation plans are attached for Councils consideration.
- External colors and materials shown on the plans to ensure it blends in with the local character of the area and to preserve the low density environment.
- No vegetation is proposed for removal as part of this application. The building envelopes and accessways are free of vegetation. There is only one Oak Tree located onsite, however no works are proposed within the canopy line of this tree.

- Location of all earthworks are shown on attached plans. It is further submitted that when the envelopes were created on the Plan of Subdivision, it was expected that site benching will be required to accommodate the proposed dwelling and associated outbuilding(s).

7. Clause 42.02 – Vegetation Projection Overlay Schedule 1 (VPO1)

The subject site is affected by Vegetation Protection Overlay Schedule 1 (VPO1) of Clause 42.02 Schedule 1.

The objective to be achieved under this clause provision is:

- To protect and conserve existing vegetation as an important element of the character of low density residential areas.
- To maintain and enhance local habitat and biolinks, including hollow bearing trees.
- To avoid and minimise the removal of vegetation where it contributes to the management of environmental hazards such as erosion, salinity, siltation of creeks and watercourses, and stormwater runoff.
- To ensure that vegetation remains a significant part of the character and visual amenity of these areas, with the built form being located within a landscape, and vegetation being the predominant feature.

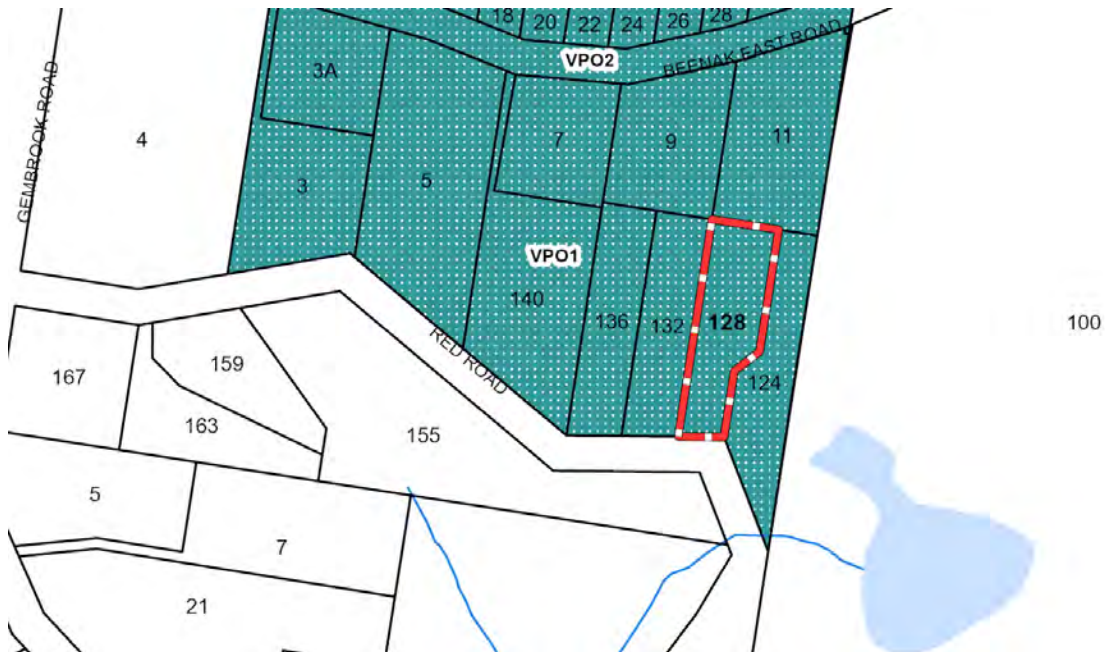


IMAGE 7 – Vegetation Projection Overlay Schedule 1 (VPO1) affecting site and surrounding areas.

A planning permit is not required under this overlay as the proposal will not require any additional vegetation. The lot has lawfully been cleared by the former owner under the exemptions of 52.12. An existing oak is to be preserved.

8. PARTICULAR PROVISIONS

There are no Particular Provisions, which is directly relevant to the consideration of this application.

9. CONCLUSION:

It is submitted that the application should be supported as it positively responds to the relevant provisions of the Planning Policy Framework and the purpose, objective and decision guidelines of the overlay provisions as relevant to this application.

In particular, this planning report submits that the proposal is acceptable for the following reasons:

- a) The siting, design, height, bulk and materials selected will blend in with the natural environment, character and appearance of the area. It is not considered that the development will have a detrimental impact on the landscape of the area as there are other similar developments on surrounding land.
- b) There are no sensitive land uses adjoining the site which will be affected due to the proposed development or intended use.
- c) No vegetation is proposed for removal.
- d) A wastewater disposal permit will be obtained from Council as part of the Building Permit process.
- e) The land has been set aside for low density residential development and the application outcomes will achieve this objective.
- f) All earthworks will be appropriately battered to avoid any potential soil erosion.
- g) Landscaping works will be carried out once the dwelling and the outbuilding has been completed and this will further compliment the site and the character of the area.

It is submitted that the proposed development appropriately balances Councils policy objectives whilst delivering a site responsive land use and development which is consistent with the relevant zone and overlay provisions.

On this basis, it is requested that Council issues a Planning Permit in support of the application for the development of land with a dwelling and associated outbuilding.

Please do not hesitate to contact us (preferably by email) if you require any additional information.

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9. PHOTO ALBUM:



IMAGE 8 - Location of Building Envelope with existing site cut. View to the east of the site.



IMAGE 9 - Location of Building Envelope with existing site cut. View to the south east of the site.



IMAGE 10 - View to the south of the site towards Red Road.



IMAGE 11 - Location of Building Envelope with existing site cut. View to the north (rear) of the site.



IMAGE 12 – Location of Building Envelope with existing site cut. View to the north west of the site.



IMAGE 13 - Location of Building Envelope with existing site cut. View to the north of the site.



IMAGE 14 - Red Road and access to the subject site.



IMAGE 15 – location of crossover to the subject site.



IMAGE 16 – adjoining dwelling to the west of the site at 132 Red Road with similar land topography.



IMAGE 17 – Adjoining property to the east of the site (being 124 Red Road) containing an existing site cut. View to the north.

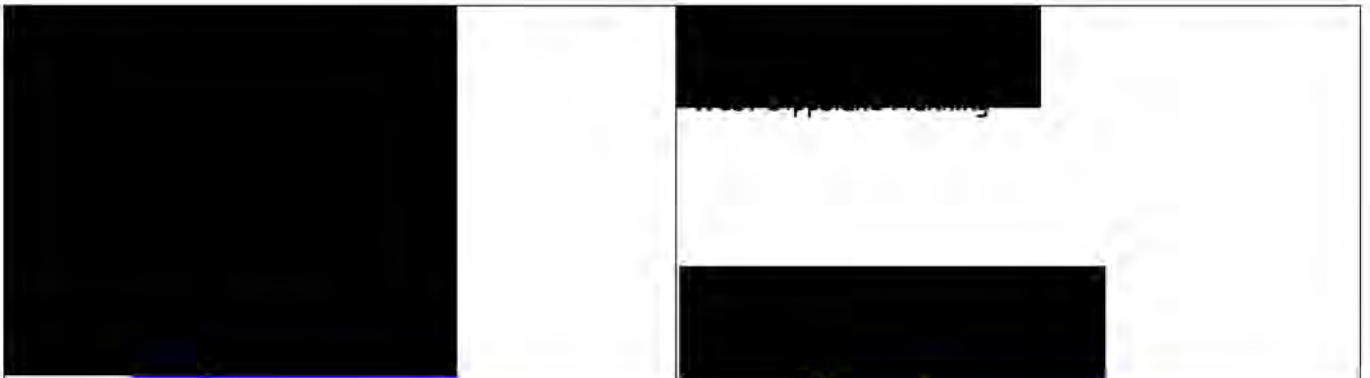


IMAGE 18 – other recently constructed dwellings in the area with similar land topography.

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**PROPOSED EARTHWORKS ASSESSMENT
128 RED ROAD
GEMBROOK
06/07/23**

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EARTHWORKS MANAGEMENT ASSESSMENT

1.0 Introduction

The owner of this property is planning to install a new house on this site. To date part of the site has been excavated for the proposed house, however the local Council is concerned about the stability of the site for this proposed development going forward. As a result, the Council has requested that an Engineering Report detailing extent of earthworks that has been undertaken to date shown in Figure 1, and any additional remediation works required to be undertaken in lieu of a revised house design, shown in Figure 2.

2.0 Observations

The author visited this site on the 30/05/23 and found that the site is located in deep red Tertiary basaltic soils and has a relatively steep slope of ~22%. The site has moist, stiff, and high shrink swell soil, with a H1 foundation assessment. In the author's experience the natural slope and existing site cuts are stable, e.g. the cut batters have slope that are less than 1 Horizontal to 1 Vertical, as is required by AS2870 for house foundations.

There was no sign of wet and soft soils in the toe of the cut embankments, which if present would automatically raise concerns about the on-going stability of the slopes. However the cut batter slopes ~ 6.0 m in height, and there is no sign of any spoon drains either above the cuttings or along the toe of the cuttings.

The author also noticed the fill soil batters along the eastern side of the approaching driveway are steeper than 2 Horizontal to 1 Vertical, as is required by AS2870 for house foundations. Consequently these fill batters are considered to be unstable.

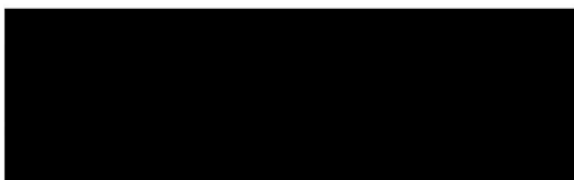
The author also observed that there was a large benched area in the west-central of the excavated area, that will need to be removed for the proposed house. It is worth noting that there is no more room for locating any more excavated fill soil onsite.

3.0 Recommendations

Referring to Figure 2, is recommended:

- 1. That an additional 2.0 m wide cut bench (marked in blue and red) be located above the existing northern cutting. This standard proposition will limit the height of the proposed cutting to 6.0 m maximum, and improve the overall stability of the slope. All cut batters are to have a slope no steeper 1 horizontal to 1 vertical slope.**
- 2. The eastern fill batter slope (marked in green) is to be re-sculptured so that it has a slope no steeper than 2 horizontal to 1 vertical slope.**
- 3. That spoon and grated drains are to be installed around the top and toes of all batters (marked in orange and black dashed lines).**

4. The excess soil located in the western-central part of the house site (marked in blue and red) is to be benched out to house level. All cut batters are to have a minimum 1 horizontal to 1 vertical slope.
5. All excess soil spoil from the proposed earthworks in 4 above are to be removed from site.
6. To help protect the stability of the slopes and amenity value of the house site, a stormwater drainage system is to be installed to convey all northern upslope runoff and house roof runoff to the properties legal point of discharge in Red Road. A Ø150 min. stormwater drainage pipe and side entry system is to be installed to help achieve this goal.
7. To help stabilise the fill batters, it is recommended that they be planted out with plants.



Earth's Manager

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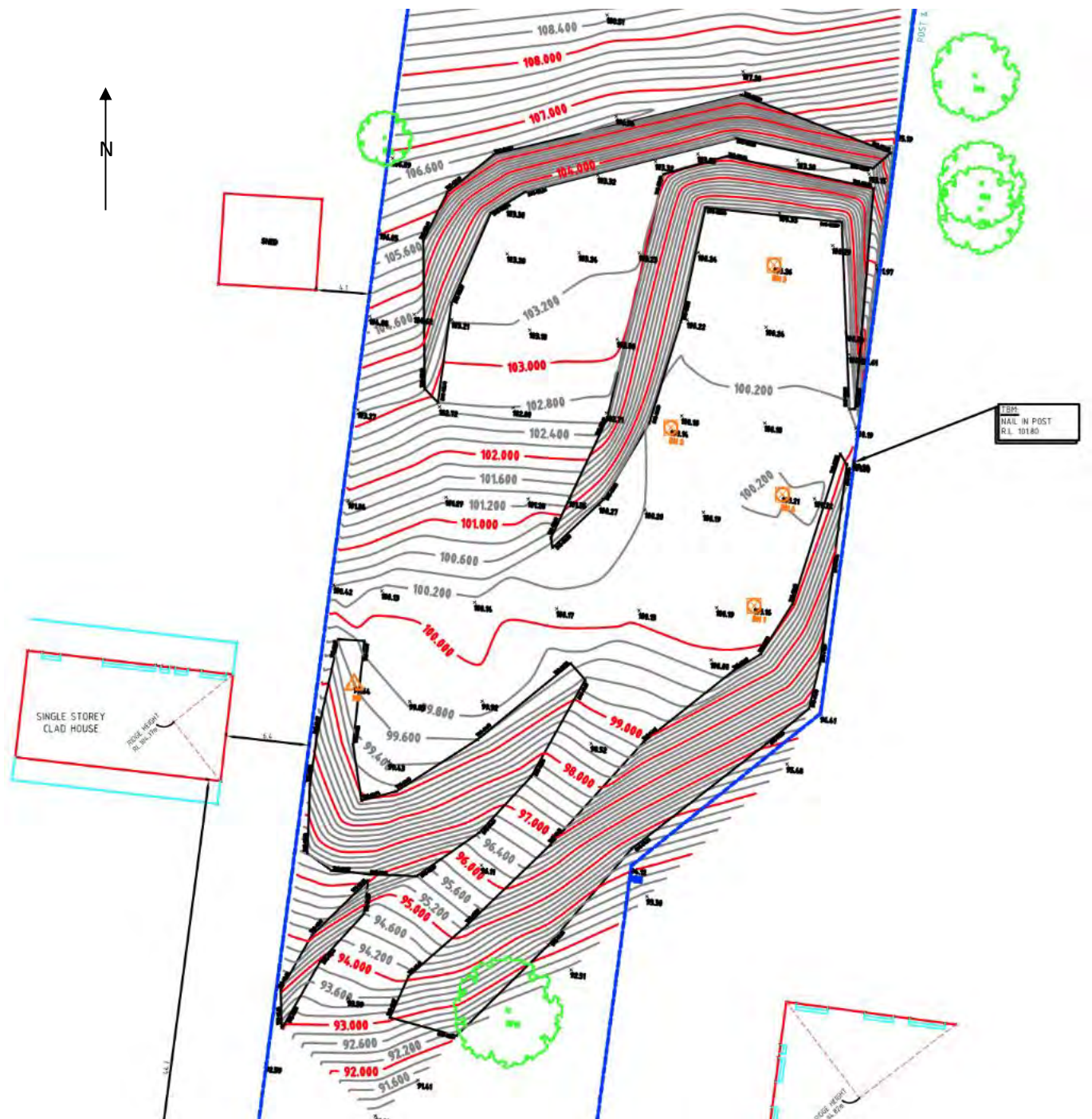


FIGURE 1
Existing feature Survey Plan of the Property
 - All dimensions in metres

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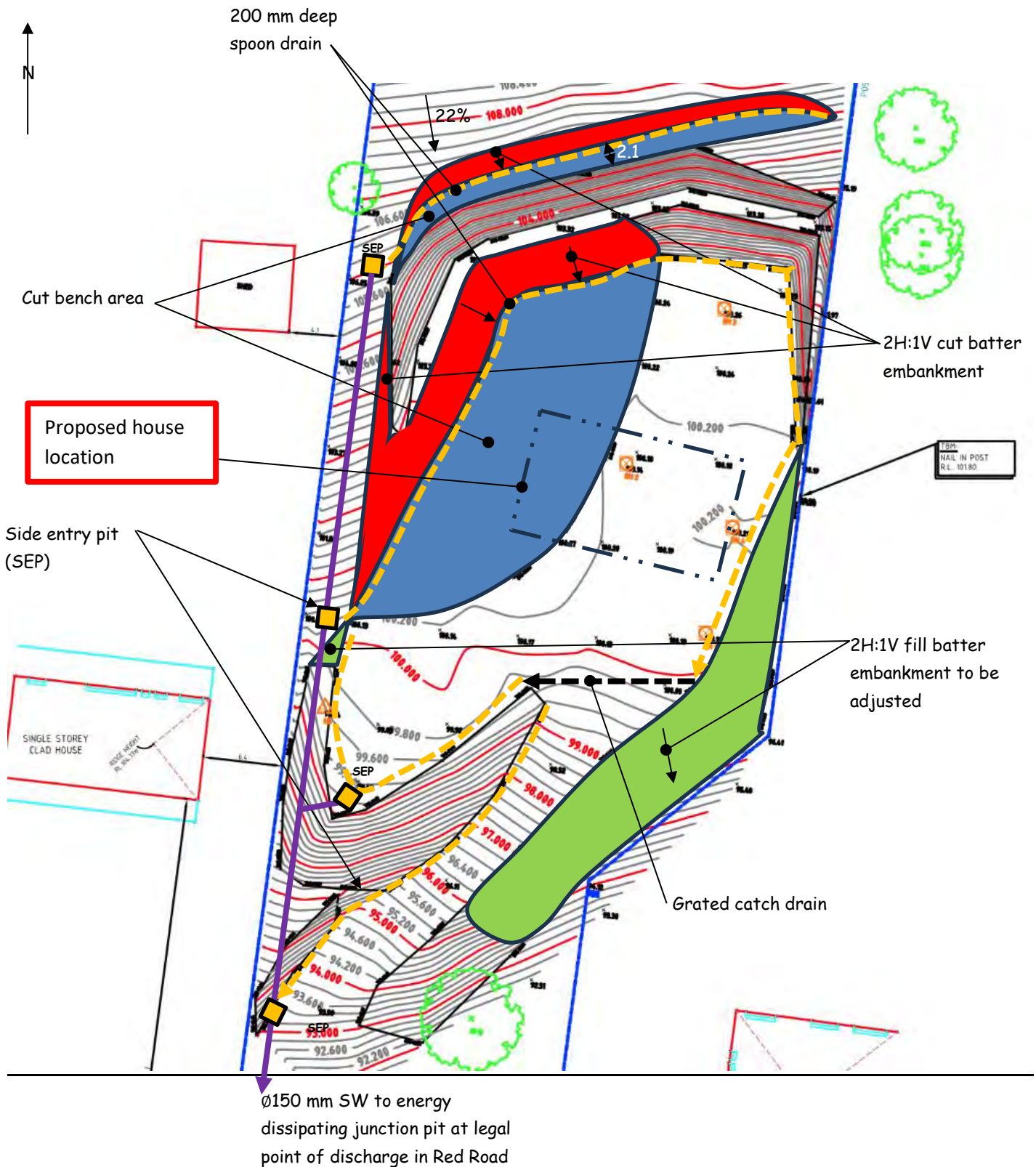
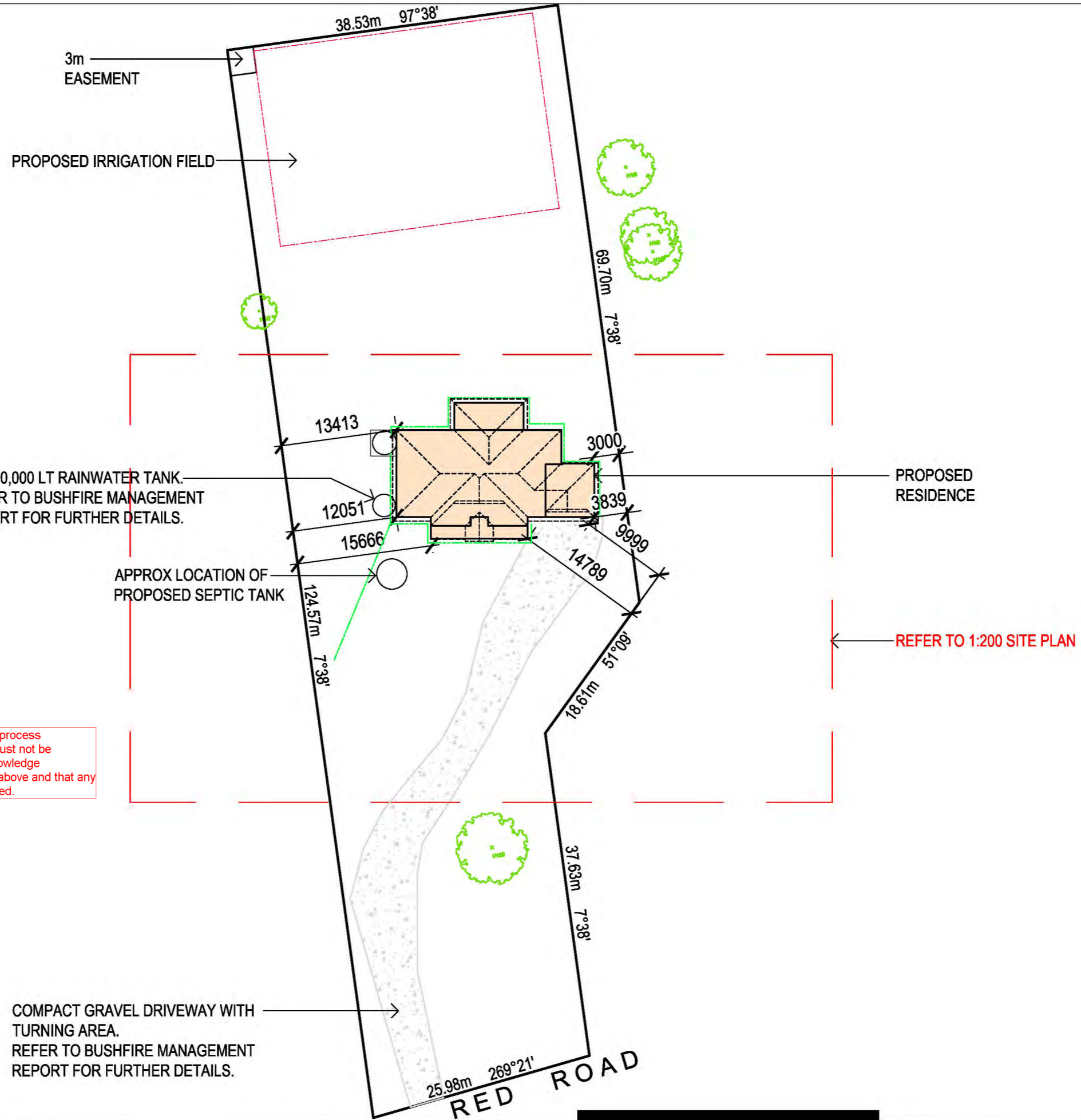


FIGURE 2
Proposed earthworks modification and drainage works

Notes:

1. All dimensions in metres unless otherwise noted.
2. The spoil for all proposed cut and fill batters, and benching operations is to be carted offsite.

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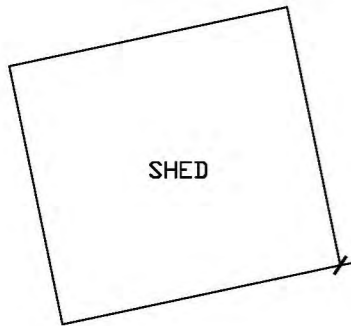
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LOCATION PLAN

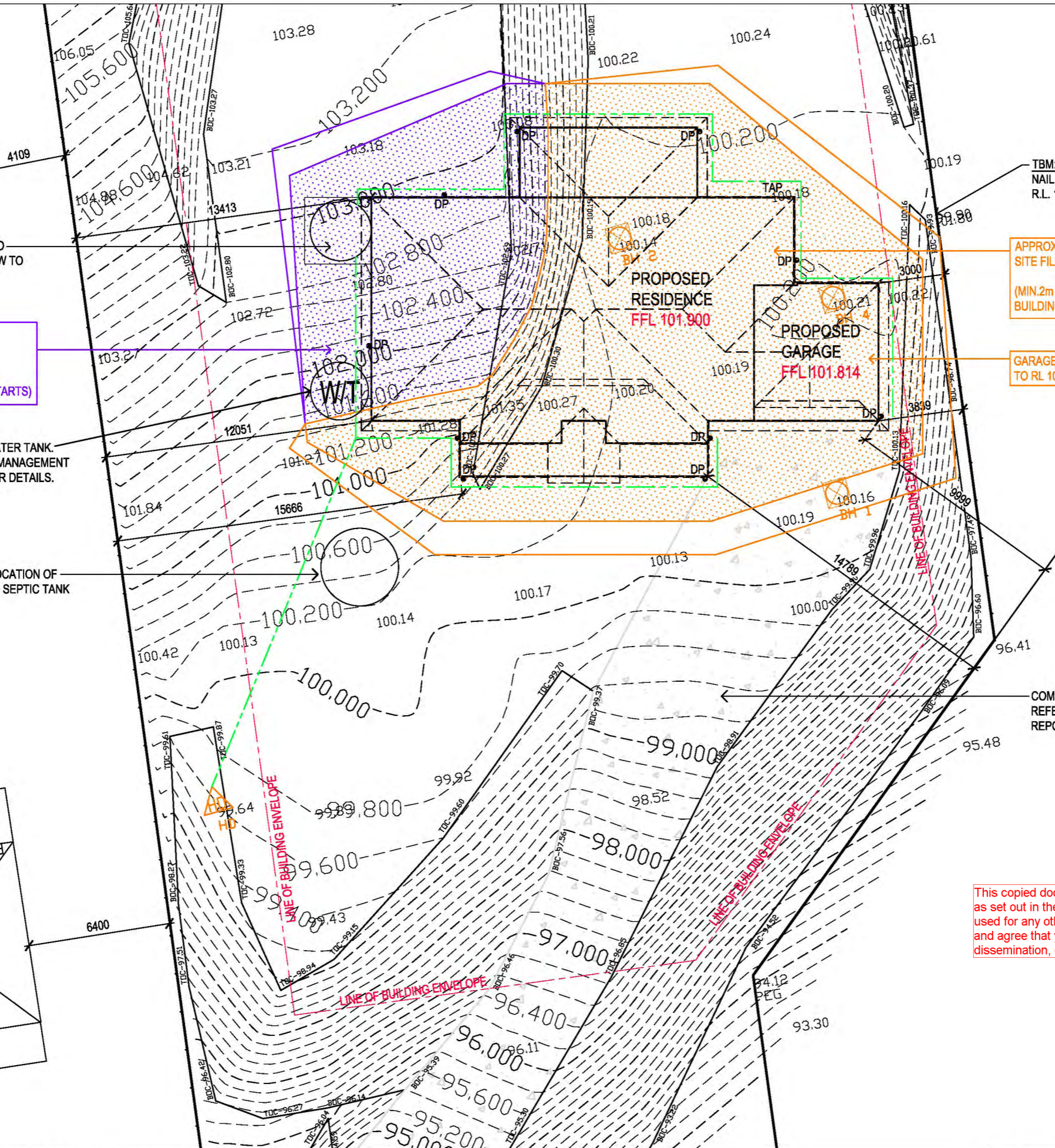
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SHE.D



ALL DOWNPIPES TO RUN INTO RAINWATER TANK. OVERFLOW TO LPOD. (TANK SIZE TO BE CONFIRMED)

APPROX. 1500mm SITE CUT TO RL 101.500 (MIN.2m AROUND BUILDING BEFORE BATTER STARTS)

CFA 10,000 LT RAINWATER TANK. REFER TO BUSHFIRE MANAGEMENT REPORT FOR FURTHER DETAILS.

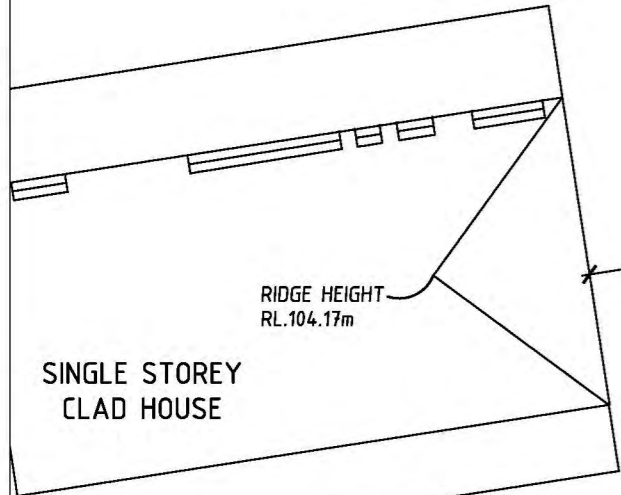
APPROX LOCATION OF PROPOSED SEPTIC TANK

TBM: NAIL IN POST R.L. 101.80

APPROX. 1500mm SITE FILL TO RL 101.500 (MIN.2m AROUND BUILDING BEFORE BATTER STARTS)

GARAGE SITE FILL TO RL 101.414

COMPACT GRAVEL DRIVEWAY WITH TURNING AREA. REFER TO BUSHFIRE MANAGEMENT REPORT FOR FURTHER DETAILS.



RIDGE HEIGHT RL.104.17m

SINGLE STOREY CLAD HOUSE

SITE PLAN

NOTES

90MM UPVC STORMWATER DRAIN CONNECTED TO LEGAL POINT OF DISCHARGE TO DIRECTION OF LOCAL AUTHORITY. BUILDER TO CONFIRM DISCHARGE POINT PRIOR TO CONSTRUCTION.

ALL WASTEWATER TO BE CONNECTED TO LEGAL POINT OF DISCHARGE TO DIRECTION OF LOCAL AUTHORITY.

H - INDICATES HABITABLE ROOM WINDOW

THE SITE CUT INDICATED IS APPROXIMATE ONLY. THE BUILDER SHALL ASSESS AND ADJUST THE CUTS AS NECESSARY TO ACCOMMODATE CONSTRUCTION VARIABLES SUCH AS:

- SITE DRAINAGE
- SLAB FORMING/BOXING SYSTEM
- TERMITE TREATMENT/CONTROL SYSTEM
- PROPOSED LANDSCAPE FEATURES INCLUDING FINISHED LEVELS, BACKFILLING, PAVEMENT DEPTHS, CROSS FALLS FOR DRAINAGE ETC...

SITE CUTS SHOULD ALLOW FOR 100mm TOP SOIL BACK FILL TO LANDSCAPE AREAS UNLESS NOTED OTHERWISE. HOWEVER, CUTS ARE TO BE MINIMISED TO LIMIT THE NEED FOR EXCESSIVE BACKFILL.

ON SITES WHERE LANDSCAPED AREAS REQUIRE IN EXCESS OF 100mm BACK FILL CLEAN EXCAVATED MATERIAL MAY BE USED IN 150mm COMPACTED LAYERS TO WITHIN 100mm OF F.G.L

BACKFILL UNDER SLABS SHALL BE TO ENGINEER DESIGN/DETAILS.

ALL SITE CUTS ARE TO HAVE CROSS FALL TO PROVIDE POSITIVE DRAINAGE. THE TOE OF EVERY CUT BATTER TO BE PROVIDED WITH 90mm UPVC SLOTTED AGGI DRAIN CONNECTED TO STORMWATER SYSTEM VIA A SILT PIT.

- DENOTES AREA OF SITE CUT
- DENOTES AREA OF SITE FILL

SITE AREAS

SITE AREA:	4134m ²
SITE COVERAGE:	6.62%
PERMEABILITY:	6.62%
GARDEN AREA:	93.38%

NOTE: NO RETAINING WALLS REQUIRED

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TAD DRAFTING SERVICES
YOUR DREAM OUR PASSION
P: 0417 240 423 E:annette@addraftingservices.com.au

REV	BY	DATE	DESCRIPTION

BUILDER:
 KIALLA HOMES
P: 03 5941 3996 A: Factory 2 / 22 Embrey Court, Pakenham Vic 3810

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WINDOW & DOOR NOTES

NOTE: ALL ALUMINIUM WINDOW FRAMES TO BE ALUMINIUM IMPROVED. REFER TO ENERGY RATING FOR U-VALUE AND SHGC FOR ALL WINDOWS. SAFETY GLASS WHERE WINDOW IS WITHIN 2m OF SHR / BATH BASE. OPENABLE PORTION OF THE UPPER FLOOR BEDROOM WINDOWS MUST BE FITTED WITH SECURE FITTINGS TO RESTRICT OPENINGS TO MAXIMUM 125mm AND RESIST AN OUTWARD FORCE OF 250N.

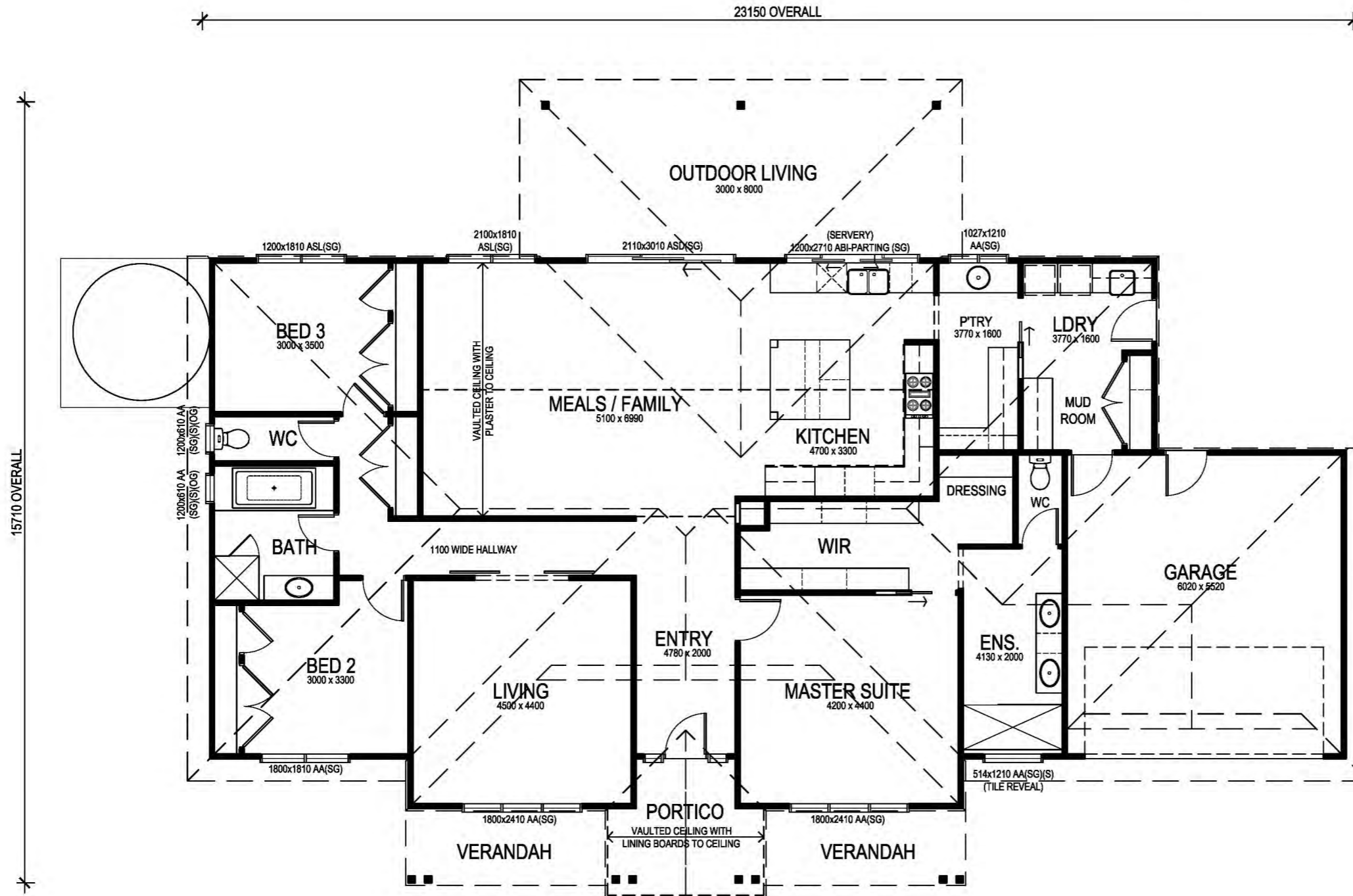
ABI - ALUMINIUM BI-PARTING	FG - FULL GLAZED DOOR
ASL - ALUMINIUM SLIDING	(SG) - SINGLE GLAZED
ASD - ALUMINIUM SLIDING DOOR	(DG) - DOUBLE GLAZED
ST - SOLID TIMBER DOOR	(OG) - OBSCURE GLAZED
HG - HALF GLAZED DOOR	(S) - SAFETY GLASS (GRADE A)

NOTES

- OWNER AND/OR BUILDER TO CHECK AND VERIFY ALL DIMENSIONS, SITE LEVELS, GRADES, ROOF PITCHES, ETC. PRIOR TO COMMENCING ANY WORKS. REPORT ANY DISCREPANCIES TO AD DRAFTING SERVICES FOR DIRECTIONS PRIOR TO ORDERING MATERIALS AND START OF BUILDING WORKS. DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS ARE TO TAKE PRECEDENCE OVER SCALED DRAWINGS.
- SD - SMOKE DETECTOR (INTERCONNECTED WITH BATTERY BACKUP)
- DH - DOOR TO BE FITTED WITH DEMOUNTABLE HINGES WITHIN 1200mm OF PAN.
- ROBES TO BE FITTED WITH ONE SHELF AND ONE HANGING RAIL UNLESS OTHERWISE SPECIFIED.
- PROVIDE MIN. FALL AWAY FROM BUILDING OF 1:20 FOR STORM-WATER RUN-OFF TO ALL EXTERNAL PAVING AND TERRACES (50MM FOR THE 1ST METER).
- BRICKWORK ARTICULATION JOINTS
- *EDB - ENGINEERED DESIGN BEAM.
- GAS METER - 1m CLEARANCE TO OPENINGS & IGNITION SOURCES
- MH - 600x800 CEILING ACCESS MANHOLE LOCATION
- ALL DOORS TO BE 2040H (2340H NOTED WITH ASTERISK - *720)
- EXTERNAL PLUMBING POINTS TO PLUMBER'S DISCRETION
- BIB TAP RECYCLED TAP
- HWS WATER SERVICE TO BE 500MM CLEAR OF BLDG OPENINGS

FLOOR AREAS

GROUND FLOOR	194.71	20.96 sq
GARAGE	36.11	3.89 sq
OUTDOOR LIVING	24.00	2.58 sq
VERANDAH / PORTICO	18.74	2.02 sq
GRAND TOTAL:	273.56	29.45 sq

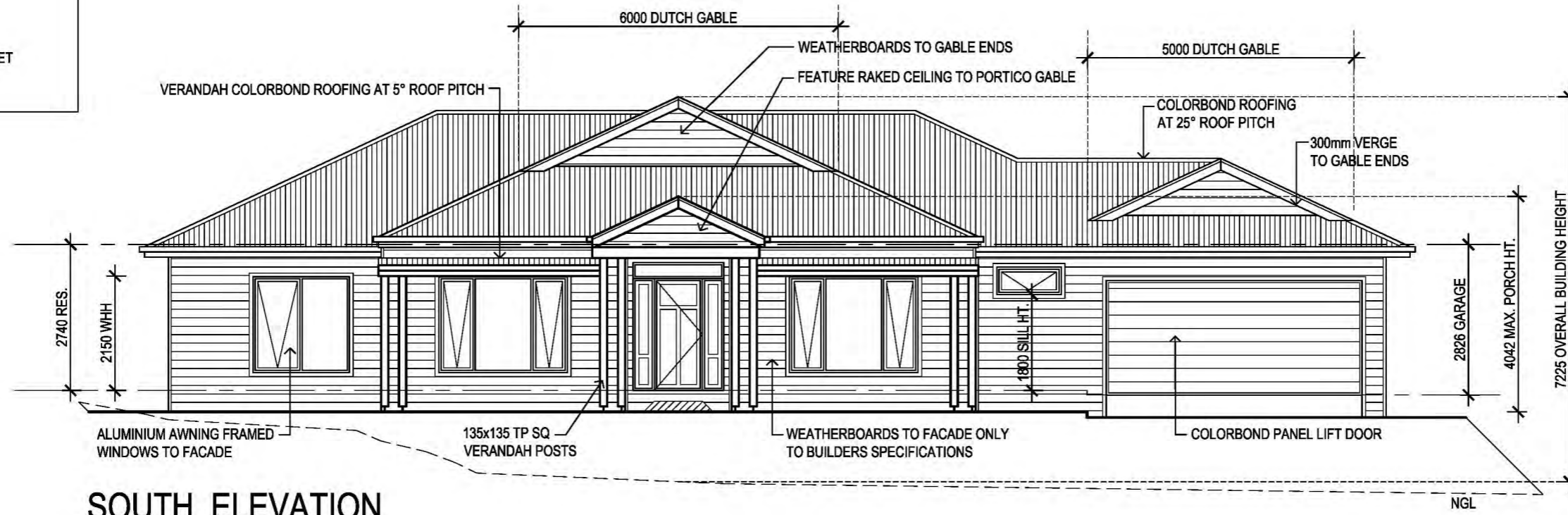


FLOOR PLAN

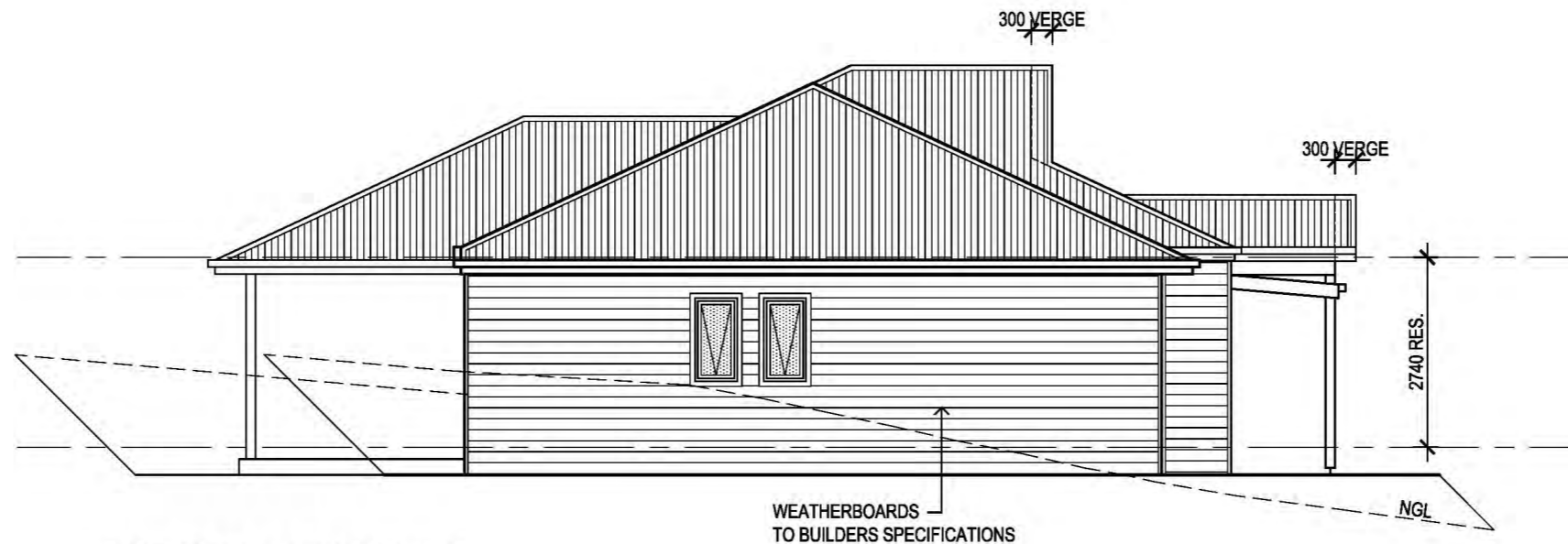
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MATERIALS & COLOUR SCHEDULE

COLORBOND ROOF - BASALT
 COLORBOND GUTTERS - BASALT
 COLORBOND FASCIA - BASALT
 FRONT DOOR - GREYOLOGY 2
 BRICKS - OVERLAND PRISTINE FREYCINET
 WEATHERBOARDS - DULUX WHITE
 POSTS - GREYOLOGY 2



SOUTH ELEVATION



WEST ELEVATION

WINDOW HEAD HEIGHTS

CEILING HEIGHT	WINDOW HEAD HEIGHT
2440mm	2095mm
2590mm	2150mm
2740mm	2150mm

NOTE: STANDARD 172mm REBATE TO HOUSE SLAB.
 NOTE: HEAD HEIGHTS ARE TAKEN FROM THE FFL TO THE TOP OF THE ALUMINIUM WINDOW REVEAL

STAIRS/STEPS TO HAVE MAXIMUM 190 RISERS AND MINIMUM 240 TREADS. ALL TREADS TO HAVE NON-SLIP FINISH OR SUITABLE NON-SKID STRIP NEAR EDGE OF NOSING. CLASSIFICATION R11.

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HUMAN IMPACT SAFETY GLAZING SHALL BE TO 3.6.4 AND AS 1288. SAFETY GLAZING SHALL BE USED IN THE FOLLOWING LOCATIONS:
 (a) ALL ROOMS - WITHIN 500mm VERTICAL OF FLOOR LEVEL.
 (b) BATHROOM - WITHIN 2000mm VERTICAL FROM THE BATH BASE. - WITHIN 500mm HORIZONTAL FROM BATH/SHOWER TO SHOWER DOORS, SHOWER SCREENS AND BATH ENCLOSURES.
 (c) LAUNDRY - WITHIN 1200mm VERTICAL FROM FLOOR LEVEL AND/OR WITHIN 300mm VERTICAL OF TROUGH.
 (d) DOORWAYS - WITHIN 300mm HORIZONTAL FROM ALL DOORS.

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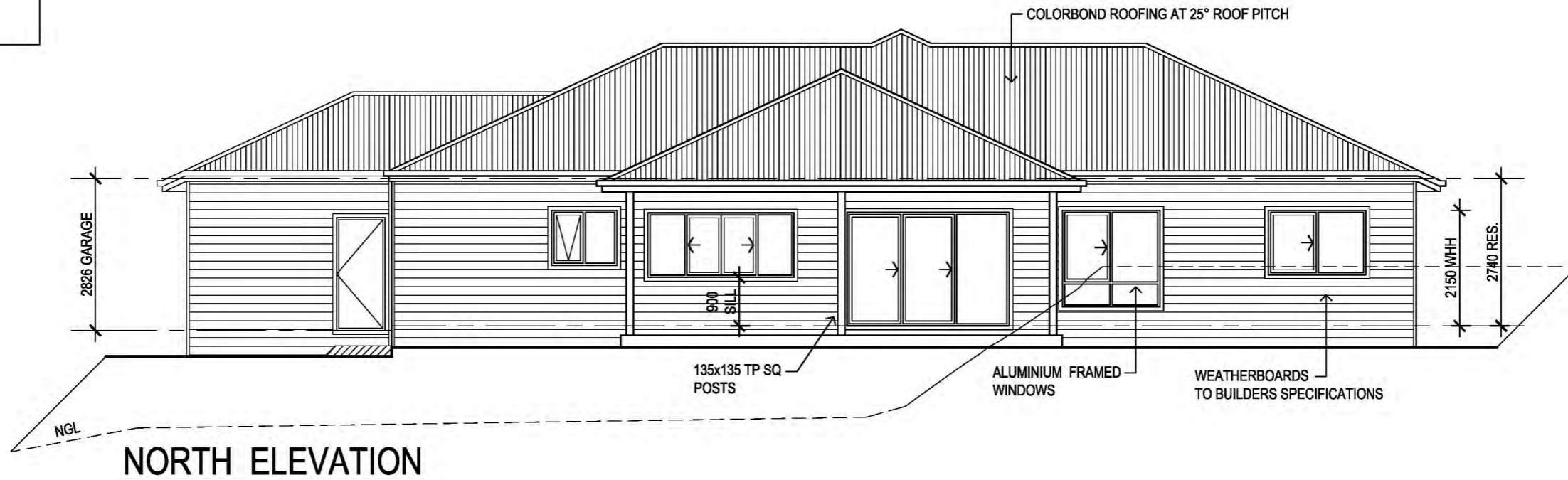


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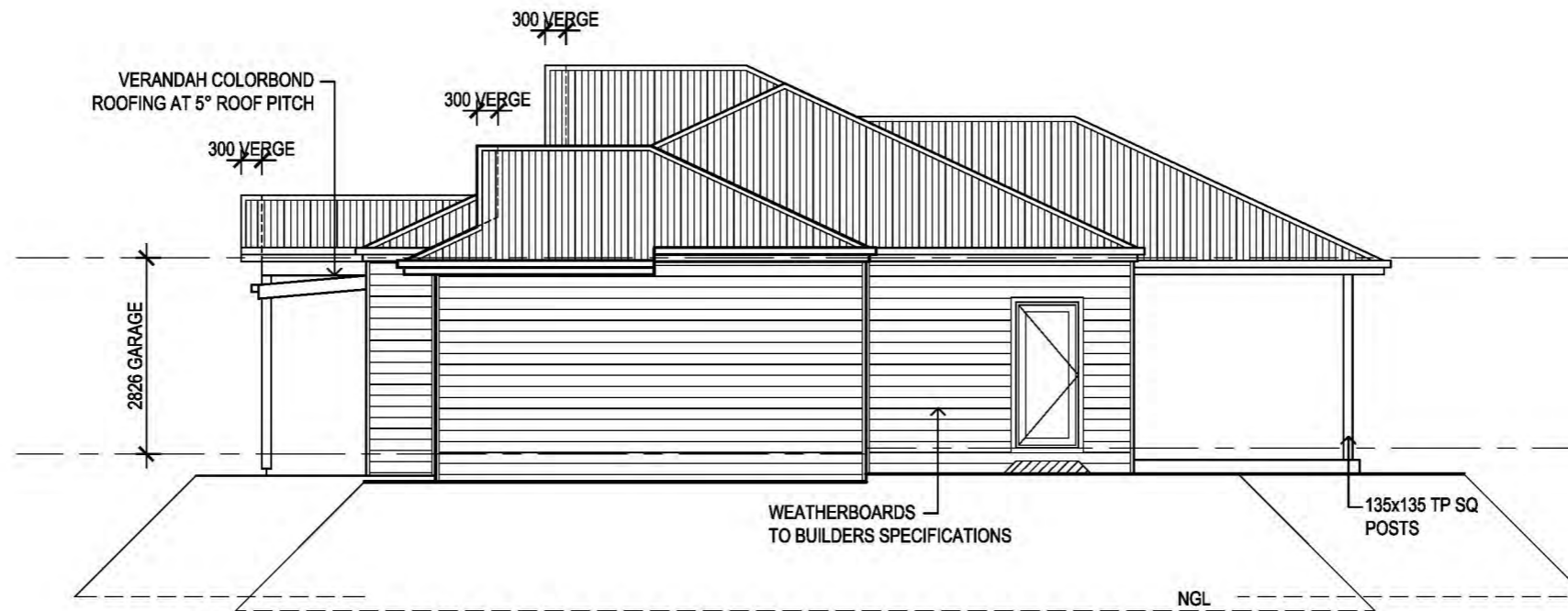
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MATERIALS & COLOUR SCHEDULE

- COLORBOND ROOF - BASALT
- COLORBOND GUTTERS - BASALT
- COLORBOND FASCIA - BASALT
- FRONT DOOR - GREYOLGY 2
- BRICKS - OVERLAND PRISTINE FREYCINET
- WEATHERBOARDS - DULUX WHITE
- POSTS - GREYOLGY 2



NORTH ELEVATION



EAST ELEVATION

WINDOW HEAD HEIGHTS

CEILING HEIGHT	WINDOW HEAD HEIGHT
2440mm	2095mm
2590mm	2150mm
2740mm	2150mm

NOTE: STANDARD 172mm REBATE TO HOUSE SLAB.
NOTE: HEAD HEIGHTS ARE TAKEN FROM THE FFL TO THE TOP OF THE ALUMINIUM WINDOW REVEAL

STAIRS/STEPS TO HAVE MAXIMUM 190 RISERS AND MINIMUM 240 TREADS. ALL TREADS TO HAVE NON-SLIP FINISH OR SUITABLE NON-SKID STRIP NEAR EDGE OF NOSING. CLASSIFICATION R11.

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(c) LAUNDRY - WITHIN 1200mm VERTICAL FROM FLOOR LEVEL AND/OR WITHIN 300mm VERTICAL OF TROUGH.
(d) DOORWAYS - WITHIN 300mm HORIZONTAL FROM ALL DOORS.

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