

## NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	8 Emerald-Monbulk Road, Emerald VIC 3782 L1 PS344120 V10442 F391
The application is for a permit to:	Proposed building and associated earthworks exceeding 1m for the addition and alteration to the existing dwelling
The applicant for the permit is:	Belgraphik Building Design
The application reference number is:	T230609
You may look at the application and any documents that support the application at the office of the Responsible Authority:	Cardinia Shire Council 20 Siding Avenue Officer 3809  This can be done during office hours and is free of charge.  Documents can also be viewed on Council's website: <a href="https://www.cardinia.vic.gov.au/advertisedplanningapplications">https://www.cardinia.vic.gov.au/advertisedplanningapplications</a>

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

- An objection must
- \* be sent to the Responsible Authority in writing, at Cardinia Shire Council, PO Box 7, Pakenham, Vic, 3810 or email at [mail@cardinia.vic.gov.au](mailto:mail@cardinia.vic.gov.au).
  - \* include the name and address of the objector/ submitter.
  - \* include the application number and site address.
  - \* include the reasons for the objection, and
  - \* state how the objector would be affected.

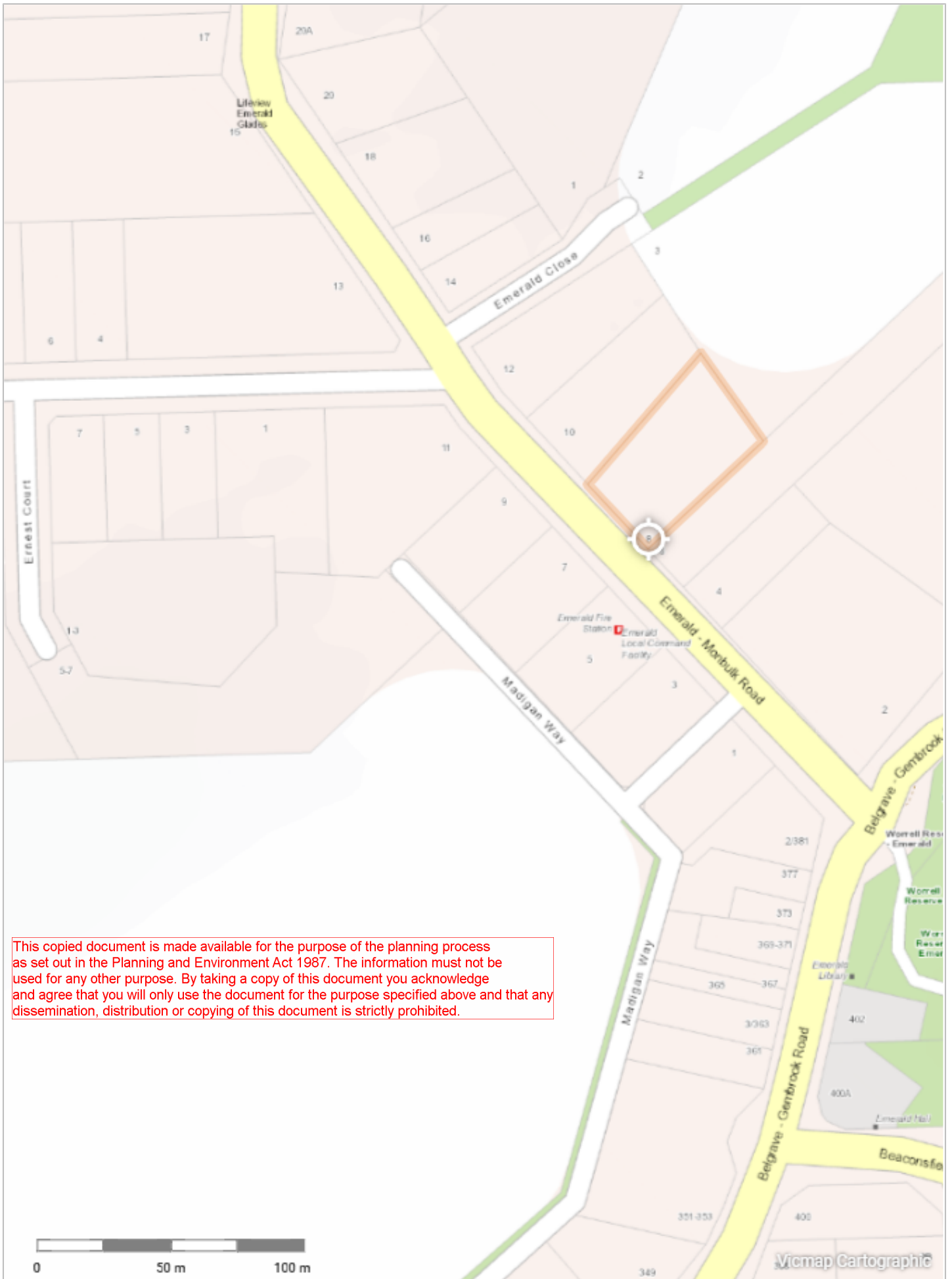
The Responsible Authority will not decide on the application before:	18 April 2024
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If you object, the Responsible Authority will tell you its decision.

Please be aware that copies of objections/submissions received may be made available to any person for the purpose of consideration as part of the planning process.

For additional information or advice contact Cardinia Shire Council, Planning Department on 1300 787 624 or [mail@cardinia.vic.gov.au](mailto:mail@cardinia.vic.gov.au).

Your objection/submission and personal information is collected by Cardinia Shire Council for the purposes of the planning process as set out in the *Planning and Environment Act 1987*. If you do not provide your name and address, Council will not be able to consider your objection/submission. Your objection/submission will be available free of charge at the Council office for any person to inspect and copies may be made available on request to any person for the relevant period set out in the *P&E Act*. You must not submit any personal information or copyright material of third parties without their informed consent. By submitting the material, you agree that the use of the material as detailed above does not breach any third party's right to privacy and copyright.



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## Application Summary

Portal Reference A42353US

## Basic Information

Proposed Use	Proposed building and associated earthworks exceeding 1m for the addition and alteration to the existing dwelling
Current Use	Single dwelling
Cost of Works	\$300,000
Site Address	8 Emerald-Monbulk Road Emerald 3782

## Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

Note: During the application process you may be required to provide more information in relation to any encumbrances.

## Contacts

Type	Name	Address	Contact Details
Applicant	Belgraphik Building Design	1680 Burwood Highway, Belgrave VIC 3160	W: 03-9754-7464 E: info@belgraphik.com
Owner			
Preferred Contact	Belgraphik Building Design	1680 Burwood Highway, Belgrave VIC 3160	W: 03-9754-7464 E: info@belgraphik.com

## Fees

Regulation Fee Condition	Amount	Modifier	Payable
9 - Class 4 More than \$100,000 but not more than \$500,000	\$1,383.30	100%	\$1,383.30
	<b>Total</b>		<b>\$1,383.30</b>

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**Civic Centre**  
20 Siding Avenue, Officer, Victoria

**Council's Operations Centre (Depot)**  
Purton Road, Pakenham, Victoria

**Postal Address**  
Cardinia Shire Council  
P.O. Box 7, Pakenham VC, 3810

**Email:** mail@cardinia.vic.gov.au

Monday to Friday 8.30am–  
5pm  
**Phone:** 1300 787 624  
**After Hours:** 1300 787 624  
**Fax:** 03 5941 3784

## Documents Uploaded

Date	Type	Filename
05-12-2023	A Copy of Title	Register Search Statement.pdf
05-12-2023	Alteration statement	Cover Letter.pdf
05-12-2023	Site plans	Site Plan.pdf
05-12-2023	Existing floor plan	Existing Conditions.pdf
05-12-2023	A proposed floor plan	Proposed Floor Plan.pdf
05-12-2023	Proposed elevation plan	Proposed Elevations B.pdf
05-12-2023	Existing elevation plans	Proposed Elevations A.pdf
05-12-2023	Additional Document	Proposed Lower Floor Plan.pdf
05-12-2023	Additional Document	Section.pdf
05-12-2023	Additional Document	Title Plan.pdf

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

## Lodged By

Site User	Belgraphik Building Design	Burwood Highway, Belgrave VIC 3160	W: 9757-7464 E: info@belgraphik.com
Submission Date	05 December 2023 - 12:42:PM		

## Declaration

By ticking this checkbox, I, , declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.

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5pm

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**After Hours:** 1300 787 624  
**Fax:** 03 5941 3784

**REGISTER SEARCH STATEMENT (Title Search) Transfer of  
Land Act 1958**

Page 1 of 1

VOLUME 10442 FOLIO 391

Security no : 124111021047B  
Produced 05/12/2023 12:23 PM

**LAND DESCRIPTION**

Lot 1 on Plan of Subdivision 344120V.  
PARENT TITLE Volume 08948 Folio 763  
Created by instrument PS344120V 17/05/1999

**REGISTERED PROPRIETOR**



**ENCUMBRANCES, CAVEATS AND NOTICES**



Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

**DIAGRAM LOCATION**

SEE PS344120V FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 8 EMERALD-MONBULK ROAD EMERALD VIC 3782

**ADMINISTRATIVE NOTICES**

NIL



DOCUMENT END

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# Imaged Document Cover Sheet

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Document Type	<b>Plan</b>
Document Identification	<b>PS344120V</b>
Number of Pages (excluding this cover sheet)	<b>2</b>
Document Assembled	<b>05/12/2023 12:24</b>

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# PLAN OF SUBDIVISION

Stage No. \_\_\_\_\_

LTO use only  
**EDITION 1**

Plan Number  
**PS 344120V**

## LOCATION OF LAND

PARISH: GEMBROOK  
 TOWNSHIP: EMERALD  
 SECTION: A  
 CROWN ALLOTMENT: 17 (PART) AND 18 (PART)  
 CROWN PORTION: \_\_\_\_\_  
 LTO BASE RECORD: TOWNSHIP OF EMERALD  
 TITLE REFERENCE: C/T VOL.8948 FOL.763  
 LAST PLAN REFERENCE: LOT 2 L.P.87622  
 POSTAL ADDRESS: 3 EMERALD CLOSE  
 (at time of subdivision) EMERALD 3782  
 AMG CO-ORDINATES: E 363200 ZONE 55  
 (of approx. centre of land in plan) N 5800950

## COUNCIL CERTIFICATION AND ENDORSEMENT

Council Name: CARDINIA SHIRE Ref: *S 95/041*  
 1. This plan is certified under section 6 of the Subdivision Act 1988.  
~~2. This plan is certified under section 11(7) of the Subdivision Act 1988.~~  
~~Date of original certification under section 6 \_\_\_\_\_ / \_\_\_\_\_ / \_\_\_\_\_~~  
~~3. This is a statement of compliance issued under section 21 of the Subdivision Act 1988.~~  
**OPEN SPACE**  
 (i) A requirement for public open space under section 18 of the Subdivision Act 1988 ~~has~~ / has not been made.  
 (ii) ~~The requirement has been satisfied.~~  
 (iii) ~~The requirement is to be satisfied in Stage \_\_\_\_\_~~  
 Council delegate \_\_\_\_\_  
 Council seal \_\_\_\_\_  
 Date *15 / 6 / 95*  
~~Re-certified under section 11(7) of the Subdivision Act 1988.~~  
 Council delegate \_\_\_\_\_  
 Council seal \_\_\_\_\_  
 Date \_\_\_\_\_ / \_\_\_\_\_ / \_\_\_\_\_

## Vesting of Roads or Reserves

Identifier	Council / Body / Person

## NOTATIONS

Depth Limitation: DOES NOT APPLY

Staging: This is not a staged subdivision.  
Planning permit No. \_\_\_\_\_

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### Survey:

Lot 2 is not based on survey.  
Area of lot 2 is deduced from title.

To be completed where applicable.  
This survey has been connected to permanent marks no(s).  
In Proclaimed Survey Area no. \_\_\_\_\_

## EASEMENT INFORMATION

SECTION 12(2) OF THE SUBDIVISION ACT 1988 APPLIES TO ALL THE LAND IN THIS PLAN.

A-Appurtenant Easement E-Encumbering Easement R-Encumbering Easement(Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited / In Favour Of
E-1	DRAINAGE AND SEWERAGE	2	THIS PLAN	MELBOURNE WATER CORPORATION

LTO use only

Statement of Compliance/  
Exemption Statement

Received

Date *5 / 5 / 99*

LTO use only

PLAN REGISTERED

TIME *8-35 A.M.*

DATE *17 / 5 / 99*

*[Signature]*  
Assistant Registrar of Titles

Sheet 1 of 2 Sheets

BACKHOLER, McMILLAN & ASSOCIATES  
1 ALEXANDER STREET EMERALD 3782  
PH-(059)685379

LICENSED SURVEYOR KIM LAURENCE BACKHOLER  
SIGNATURE \_\_\_\_\_ DATE *10 / 5 / 95*

REF 94243 VERSION 1

DATE / /

COUNCIL DELEGATE SIGNATURE

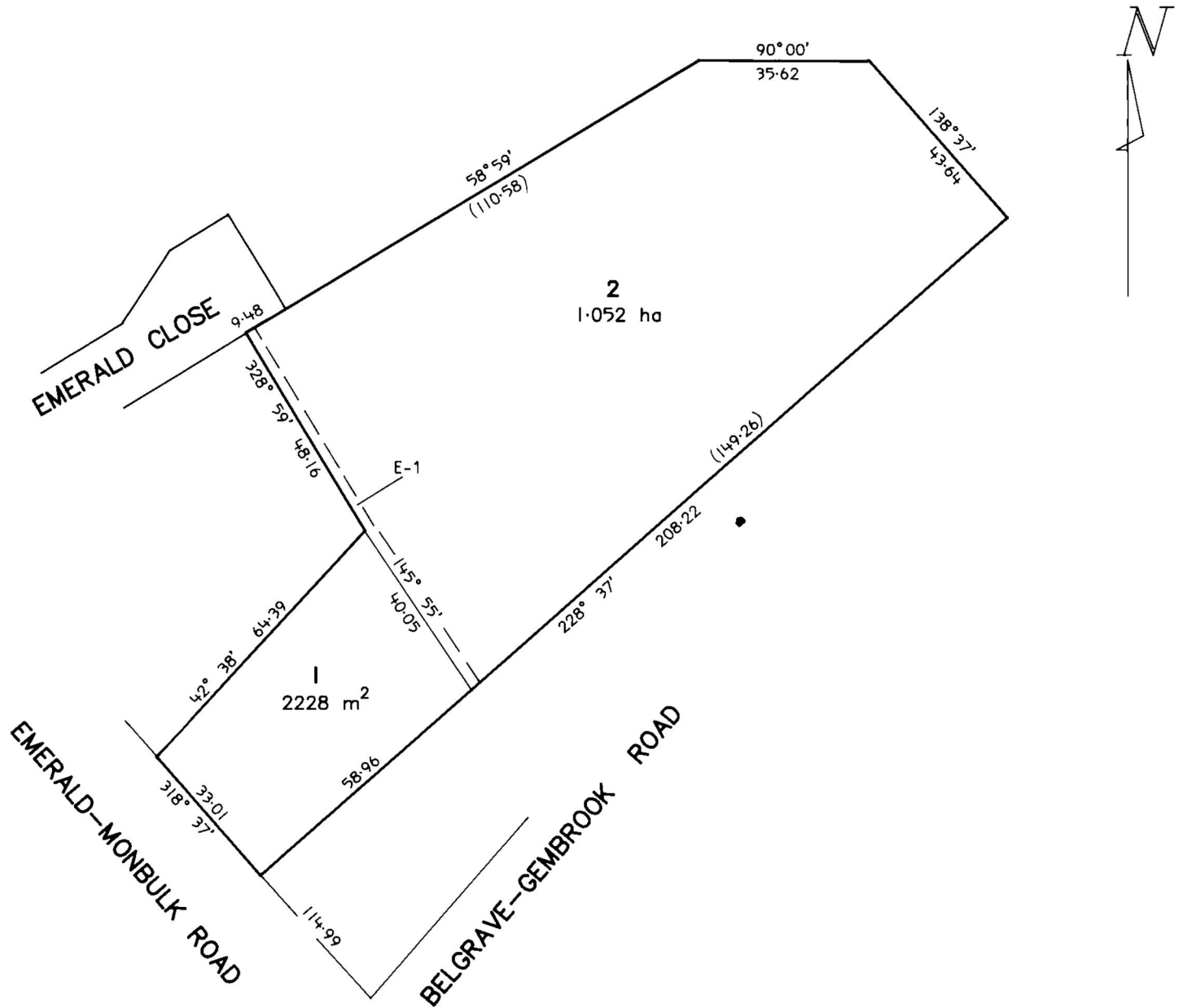
Original sheet size A3

# PLAN OF SUBDIVISION

Stage No. \_\_\_\_\_

Plan Number  
**PS 344120V**

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BACKHOLER, McMILLAN & ASSOCIATES  
1 ALEXANDER STREET EMERALD 3782  
PH: (059) 685379

Sheet 2 of 2 Sheets

ORIGINAL	SCALE						
SCALE	SHEET SIZE	10	0	10	20	30	40
1:1000	A3	LENGTHS ARE IN METRES					

LICENSED SURVEYOR [REDACTED]

SIGNATURE \_\_\_\_\_ DATE / /

REF 94243 VERSION 1

.....

DATE / /

COUNCIL DELEGATE SIGNATURE

Original sheet size A3





## Planning Permit Application

### Details

<b>Site Address:</b>	8 Emerald Monbulk Rd, Emerald
<b>Existing Use:</b>	Single Dwelling
<b>Proposal:</b>	Proposed Alterations & Additions
<b>Applicant:</b>	Belgraphik Building Design
<b>Zone:</b>	Green Wedge A Zone (Schedule 2)
<b>Overlay(s):</b>	Heritage Overlay (HO249) Environmental Significance Overlay – Schedule 1 (ESO1) Vegetation Protection Overlay – Schedule 1 (VPO1) Bushfire Management Overlay

### Attached Documents

1 x	Copy of Plans including site plan, floor plan and elevations
1 x	Copy of Title & Title Plan

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## 1. The Proposal

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This property is zoned Green Wedge A Zone (Schedule 2) with Heritage, Environmental Significance, Vegetation Protection and Bushfire Management Overlays.

Proposed works include extending the existing dwelling to provide some additional living space to the existing family home.

### **Neighbourhood and site description**

Neighbouring properties consist of varied lot sizes (adjacent lots facing Emerald Monbulk Rd are similar size within the LDRZ2. Larger lots beyond in the GWAZ2). The subject site is 2,228m<sup>2</sup>.

Neighbouring properties generally consist of single storey dwellings and associated outbuildings.

Materials and finishes are generally brick veneer or lightweight construction (weatherboard) and steel sheet roofing.

Front fences vary in construction with vertical steel, timber pickets, horizontal rails and tea tree brush fence all evident within proximity to the subject site.

The site is an irregular rectangular shape that shares a consistent slope to neighbours' properties. The site slopes from the Southern boundary from the highest point at Emerald Monbulk Road down towards the North.

There are no easements onsite. There is no evidence of contaminated soils. The subject site has a landscaped garden with established vegetation; however, no trees are in the vicinity of proposed works.

### **Proposed Addition**

The existing dwelling is a brick veneer single storey construction. The proposed works include increasing the living space available in the dwelling by extending into the rear yard. Due to the slope of the site the space provided by the addition will be utilised as a Rumpus room. The existing Alfresco space will be revised to accommodate the addition. The proposed roofed additions do not exceed 50% of the existing footprint.

The external walls finish is proposed to be lightweight cladding or similar in muted tones.

The height of proposed works do not exceed the height of the existing ridge, therefore would be difficult to be viewed from Emerald Monbulk Rd.

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**GREEN WEDGE ZONE (SCHEDULE 2)– PERMIT REQUIRED**

<b>Clause 35.05-1</b> Section 2 – Dwelling:- Permit Required	
<b>Clause 35.05-5</b> Buildings and Works	
<p>A permit is required to construct or carry out any of the following:</p> <ul style="list-style-type: none"> <li>• A building or works associated with a use in Section 2 of Clause 35.05-1. This does not apply to: <ul style="list-style-type: none"> <li>- An alteration or extension to an existing dwelling with a floor area of no more than the area specified in a schedule to this zone or, if no area is specified, 50 square metres.</li> <li>- A rainwater tank.</li> <li>- Earthworks specified in a schedule to this zone, if on land specified in a schedule.</li> <li>- A building which is within any of the following setbacks: <ul style="list-style-type: none"> <li>- 30 metres from a Transport Zone 2 or land in a Public Acquisition Overlay if the Head, Transport for Victoria is the acquiring authority and the purpose of the acquisition is for a road.</li> <li>- 20 metres from a Transport Zone 3 or land in a Public Acquisition Overlay for a road if the Head, Transport for Victoria is not the acquiring authority.</li> <li>- 10 metres from any other road.</li> <li>- 5 metres from any other boundary.</li> <li>- 30 metres from a dwelling not in the same ownership.</li> <li>- 100 metres from a waterway, wetlands or designated flood plain</li> </ul> </li> </ul> </li> </ul>	<p><b><u>-Proposed works exceed 50m<sup>2</sup></u></b></p> <p>-N/A No Rainwater tank is proposed.</p> <p>-Proposed earthworks dimensioned to be designed by a suitably qualified Engineer</p> <p>-Proposed Works are greater than 30m from TRZ2</p> <p>-N/A</p> <p>-N/A</p> <p>-N/A closest setback exceeds 5m</p> <p><b><u>- Proposed works are closer than 30m to the neighbours dwelling at 6 Emerald Monbulk Rd this is consistent at this location due to the residential streetscape.</u></b></p> <p>-N/A</p>

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**HERITAGE OVERLAY (HO249)– NO PERMIT REQUIRED**

Heritage Overlay is referencing the Pin Oak trees outside of the property Boundary, therefore No impact is proposed due to proposed works being to the rear of the existing dwelling.

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO249	Pin Oak 2-28 Emerald Monbulk Road, Emerald	No	No	Yes	Yes	No	No	No	No

**BUSHFIRE MANAGEMENT OVERLAY – NO PERMIT REQUIRED**

**44.06-2 Permit Requirement**

A permit is required to construct a building or construct or carry out works associated with the following uses:

Accommodation (including a Dependent person’s unit)

This does not apply to any of the following:

An alteration or extension to an existing building used for a dwelling or a dependent person’s unit that is less than 50 percent of the gross floor area of the existing building.

- Proposed works do not exceed 50% of the existing gross floor area.

**VEGETATION PROTECTION OVERLAY - NO PERMIT REQUIRED**

Vegetation Protection Overlay Not in the vicinity of works.

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**ENVIRONMENTAL SIGNIFICANCE OVERLAY – PERMIT REQUIRED**

<b>42.01-2 Permit Requirement</b>	
A permit is required to: Construct a building or construct or carry out works. This does not apply if a schedule to this overlay specifically states that a permit is not required.	
A permit is not required to construct a building or construct or carry out works provided all of the following requirements are met:	
<ul style="list-style-type: none"> <li>• Building materials must be non-reflective or subdued colours which complement the environment to the satisfaction of the responsible authority.</li> <li>• The height of any dwelling must not exceed 7 metres above natural ground level and the height of all other buildings must not exceed 4 metres above natural ground level.</li> <li>• The works must not involve the excavation of land exceeding 1 metre or filling of land exceeding 1 metre and any disturbed area must be stabilised by engineering works or revegetation to prevent erosion.</li> <li>• The slope of the land on which the buildings or works are undertaken must not exceed 20%.</li> <li>• The buildings and works must not result in the removal or destruction of native vegetation (including trees, shrubs, herbs, sedges and grasses) within an area of botanical or zoological significance as shown on the mapped information provided by the Department of Sustainability and Environment, with the exception of Sweet Pittosporum (<i>Pittosporum undulatum</i>).</li> <li>• If the building is an extension to an existing dwelling that is less than 50 percent of the floor area of the existing building.</li> <li>• If the building is an outbuilding ancillary to a dwelling, the gross floor area of all outbuildings on the land must not exceed 120 square metres.</li> <li>• If the building is in a Green Wedge or Rural Conservation Zone and is associated with the existing use of the land for the purposes of agriculture, the gross floor area of the building must not exceed 160 square metres.</li> <li>• If a building envelope is registered on the plan of subdivision, any building must be located within the building envelope.</li> </ul>	<ul style="list-style-type: none"> <li>- Proposed materials are of muted tones to blend with existing.</li> <li>- Proposed works are 6.4m measured from NGL.</li> <li>- <b><u>Proposed excavation exceeds 1m.</u></b> <b><u>Proposed works will be designed by a Suitably qualified Engineer.</u></b></li> <li>- Slope does not exceed 20%</li> <li>- No vegetation impacts are proposed.</li> <li>- Proposed Works do not exceed 50% of the existing roofed area.</li> <li>- No works to outbuildings are proposed.</li> <li>- N/A</li> <li>- No Building Envelope is registered.</li> </ul>

## ENVIRONMENTAL SIGNIFICANCE OVERLAY- PERMIT **NOT** REQUIRED

<p>A permit is required to: Construct a building or construct or carry out works. This does not apply:</p> <ul style="list-style-type: none"> <li>- If a schedule to this overlay specifically states that a permit is not required.</li> </ul>	
<p><b><i>SCHEDULE 1 TO CLAUSE 42.01 ENVIRONMENTAL SIGNIFICANCE OVERLAY – Permit Requirement</i></b></p>	
<p>A permit is not required to construct a building or carry out works provided all the following requirements are met:</p>	
<ul style="list-style-type: none"> <li>- Building materials must be non-reflective or subdued colours which complement the environment to the satisfaction of the responsible authority.</li> </ul>	<ul style="list-style-type: none"> <li>- Proposed external finishes are proposed to be muted non-reflective tones Colorbond 'Monument' or similar.</li> </ul>
<ul style="list-style-type: none"> <li>- The height of any dwelling must not exceed 7 metres above natural ground level and the height of all other buildings must not exceed 4 metres above natural ground level.</li> </ul>	<ul style="list-style-type: none"> <li>- Proposed overall height does not exceed 7m.</li> </ul>
<ul style="list-style-type: none"> <li>- The works must not involve the excavation of land exceeding 1 metre or filling of land exceeding 1 metre and any disturbed area must be stabilised by engineering works or revegetation to prevent erosion.</li> </ul>	<ul style="list-style-type: none"> <li>- No Earthworks are proposed to exceed 1m.</li> </ul>
<ul style="list-style-type: none"> <li>- The slope of the land on which the buildings or works are undertaken must not exceed 20%.</li> </ul>	<ul style="list-style-type: none"> <li>- Proposed works are predominantly within an existing cut area.</li> </ul>
<ul style="list-style-type: none"> <li>- The buildings and works must not result in the removal or destruction of native vegetation (including trees, shrubs, herbs, sedges and grasses) within an area of botanical or zoological significance as shown on the mapped information provided by the Department of Sustainability and Environment, with the exception of Sweet Pittosporum (<i>Pittosporum undulatum</i>).</li> </ul>	<ul style="list-style-type: none"> <li>- N/A no vegetation is proposed for impacts or removal.</li> </ul>
<ul style="list-style-type: none"> <li>- If the building is an extension to an existing dwelling that is less than 50 percent of the floor area of the existing building.</li> </ul>	<ul style="list-style-type: none"> <li>- Proposed works are approx. 33% of the existing floor area.</li> </ul>
<ul style="list-style-type: none"> <li>- If the building is in a Green Wedge or Rural Conservation Zone and is associated with the existing use of the land for the purposes of agriculture, the gross floor area of the building must not exceed 160 square metres.</li> </ul>	<ul style="list-style-type: none"> <li>- Agricultural pursuits are not associated with the proposed dwelling</li> </ul>
<ul style="list-style-type: none"> <li>- If a building envelope is registered on the plan of subdivision, any building must be located within the building envelope.</li> </ul>	<ul style="list-style-type: none"> <li>- N/A no Building Envelope is registered on Title.</li> </ul>

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## 2. Site Photos

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Image 1:  
View from West to East of  
existing dwelling.

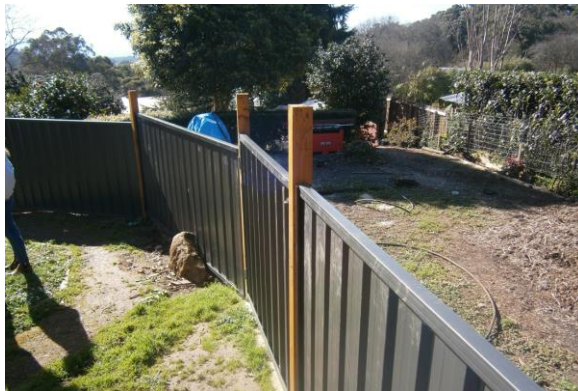


Image 2:  
View from South to North of  
proposed addition location.

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### 3. Summary

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Due to the reasons documented in this letter we feel that planning approval is appropriate for this proposal.

The identified planning triggers for planning approval are within in the Green Wedge Zone and Environmental Significance Overlay (Only). Summarised, these triggers are:-

- Works exceeding 50m<sup>2</sup>
- Proposed works are closer than 30m to neighbour.
- Proposed excavation exceeds 1m.

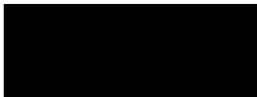
The proposal is sited well within the property boundary with generous setbacks that don't impact on the neighbours amenity or use of their site.

Excavation will be maintained onsite and retention systems designed by a suitably qualified Engineer.

- Proposed Colours and materials are of non-reflective finishes in muted tones.
- No vegetation will be impacted by proposed works, therefore no Arborist report has been provided or required.
- Works do not exceed 50% of the existing dwelling, therefore no BMS has been provided.

Please advise if there is any further information you require.

Yours sincerely,



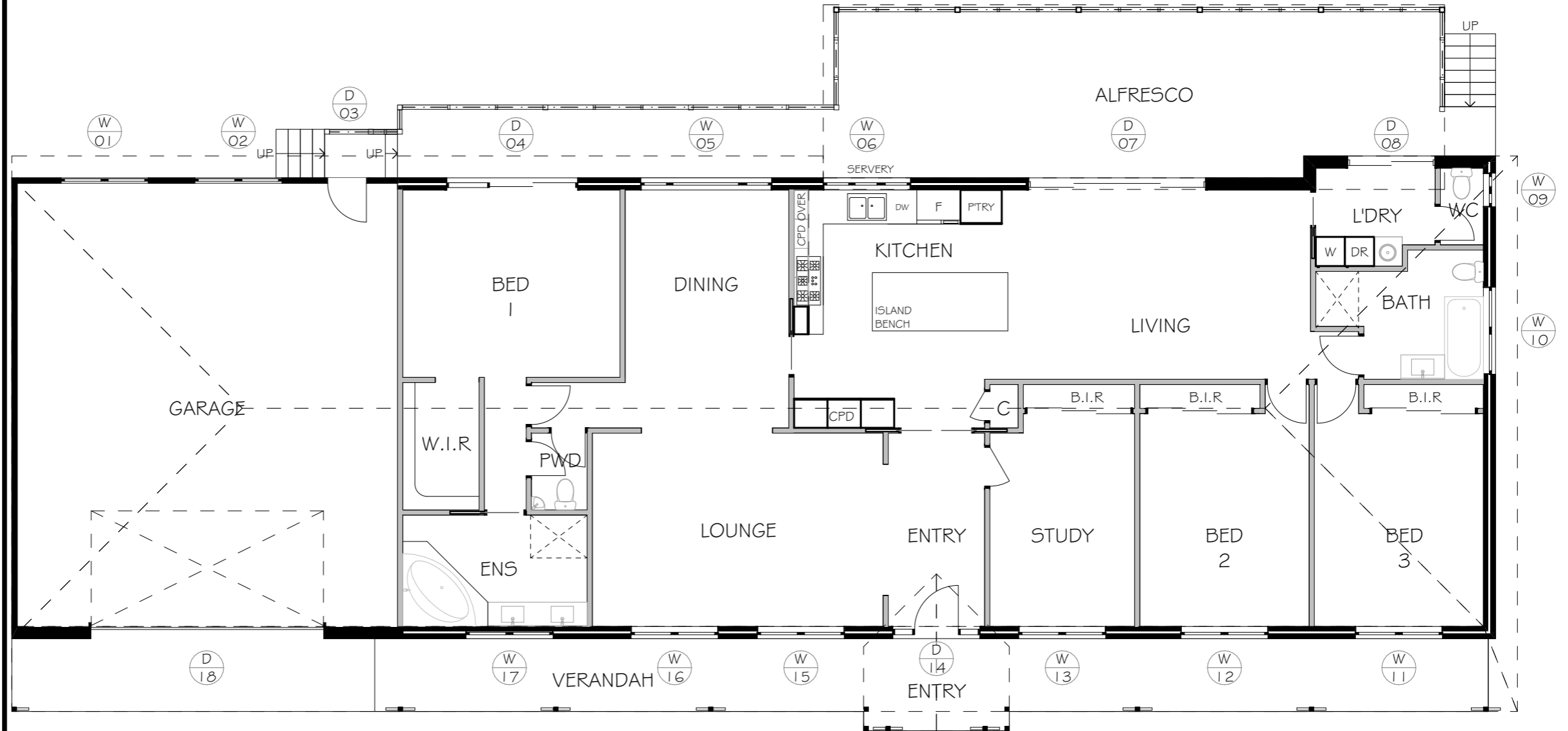
Belgraphik Building Design

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AREA SUMMARY EXISTING	
DWELLING:-	216.19m <sup>2</sup>
ALFRESCO:-	42.82m <sup>2</sup>
DECK:-	15.98m <sup>2</sup>
VERANDAH:-	47.01m <sup>2</sup>
GARAGE:-	75.31m <sup>2</sup>

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GROUND FLOOR PLAN  
1:100

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			No.	Revisions	Date																	
Scale	1:100	UNO	Date	AUGUST 2023																		
Original paper size.	A3		Revn	A																		
Drawn	GAVIN		Dwg No.	TP2																		
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○ SOUTH ELEVATION  
1:100

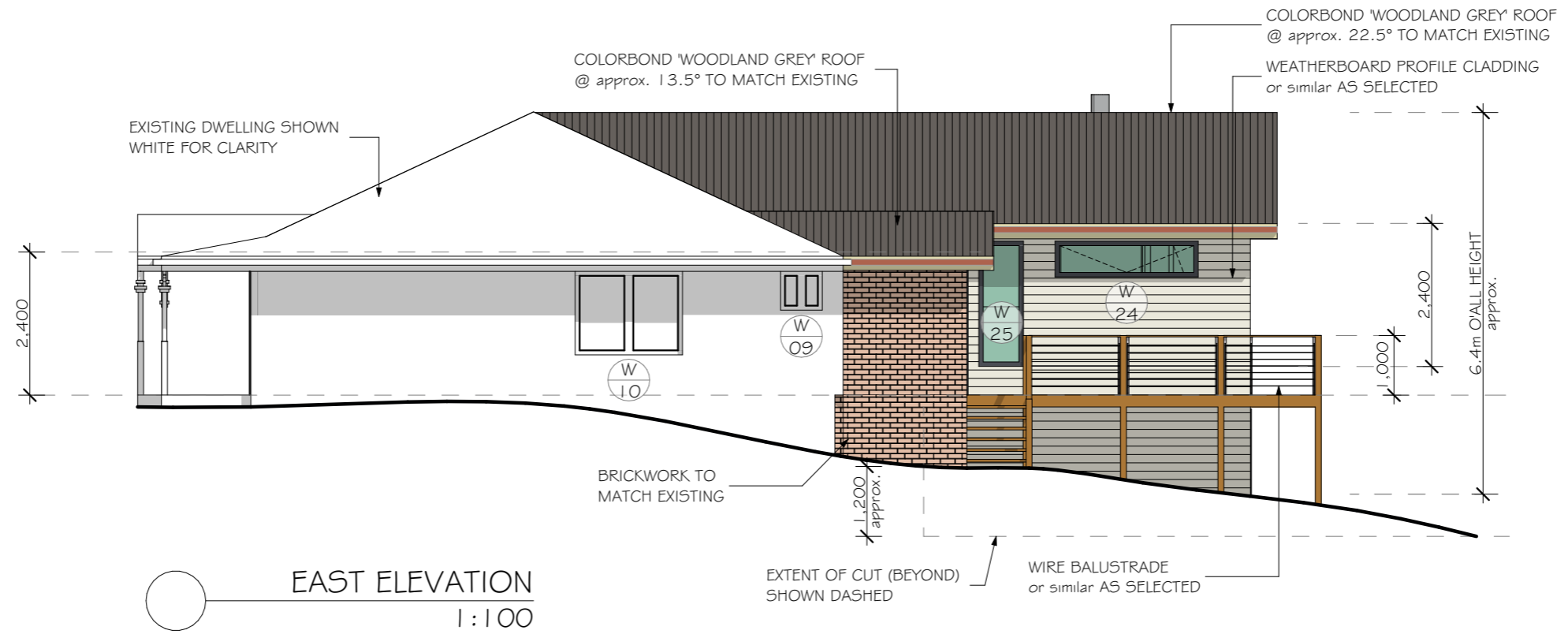
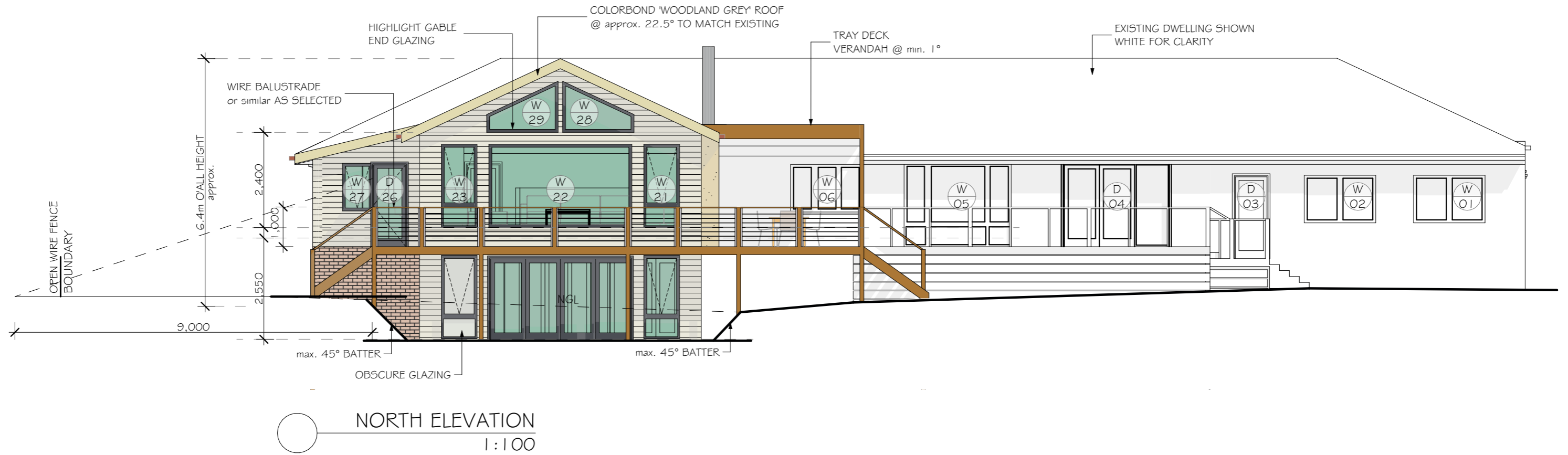


○ WEST ELEVATION  
1:100




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							Scale	1:100	UNO	Date	AUGUST 2023	
							Original paper size.	A3	Revn	A		
							Drawn	GAVIN	Dwg No.	TP5		
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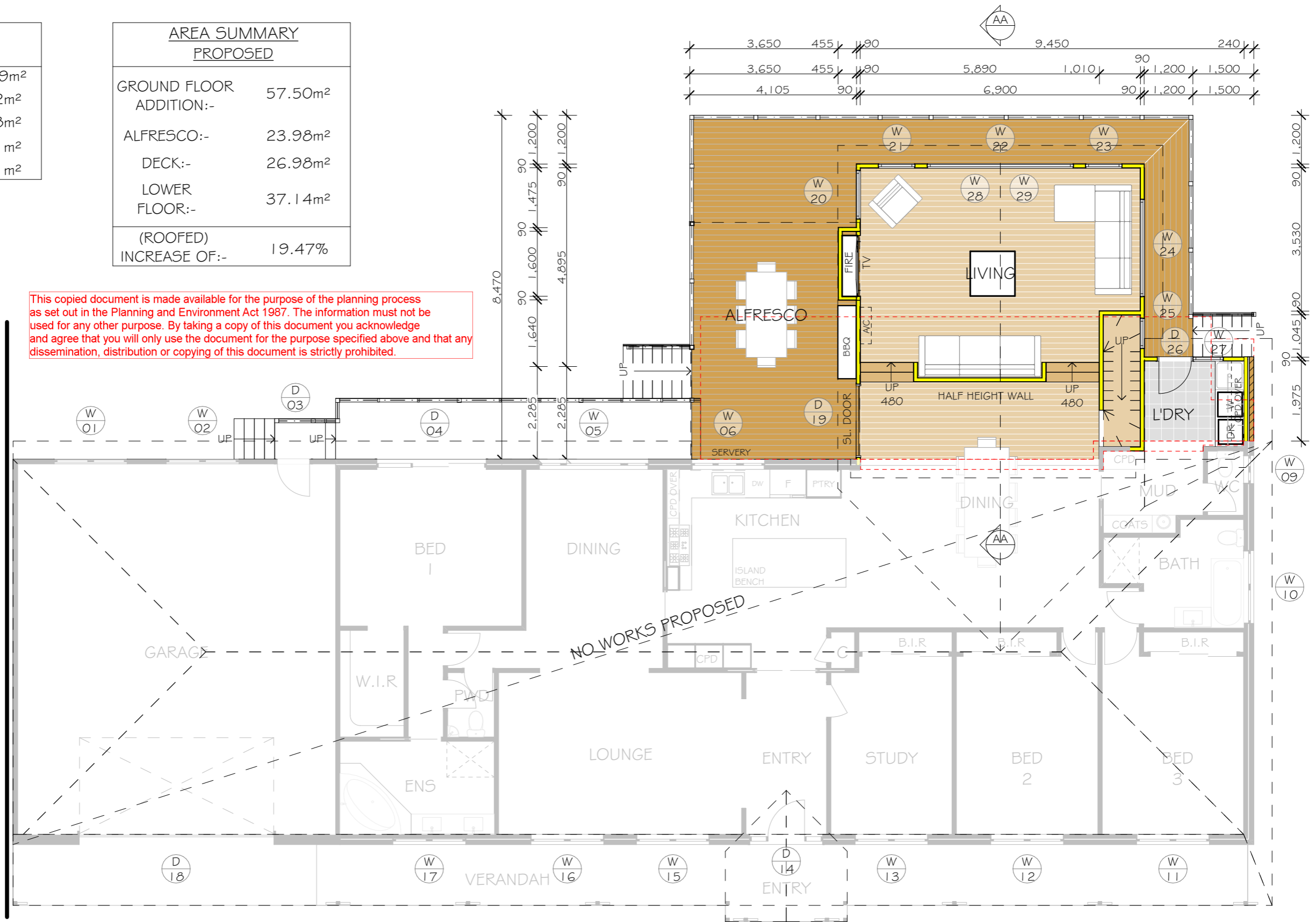
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					Scale <b>1:100</b>		UNO	Date <b>AUGUST 2023</b>
					Original paper size <b>A3</b>		Revn <b>A</b>	
					Drawn <b>GAVIN</b>		Dwg No. <b>TP6</b>	
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AREA SUMMARY EXISTING	
DWELLING:-	216.19m <sup>2</sup>
ALFRESCO:-	42.82m <sup>2</sup>
DECK:-	15.98m <sup>2</sup>
VERANDAH:-	47.01m <sup>2</sup>
GARAGE:-	75.31m <sup>2</sup>

AREA SUMMARY PROPOSED	
GROUND FLOOR ADDITION:-	57.50m <sup>2</sup>
ALFRESCO:-	23.98m <sup>2</sup>
DECK:-	26.98m <sup>2</sup>
LOWER FLOOR:-	37.14m <sup>2</sup>
(ROOFED) INCREASE OF:-	19.47%

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GROUND FLOOR PLAN  
1:100

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**Belgraphik**  
BUILDING DESIGN

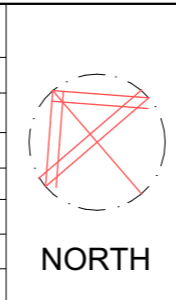
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**bdav**  
Building Designers  
Association Victoria

REGISTERED  
Building Practitioner

Contractor or owner-builder to check all dimensions on site prior to ordering and commencement of work and obtain clarification of any discrepancies from building designer.

No.	Revisions	Date



PROJECT  
**PROPOSED ALTERATIONS & ADDITIONS**

SITE ADDRESS  
**8 EMERALD MONBULK RD  
EMERALD 3782**

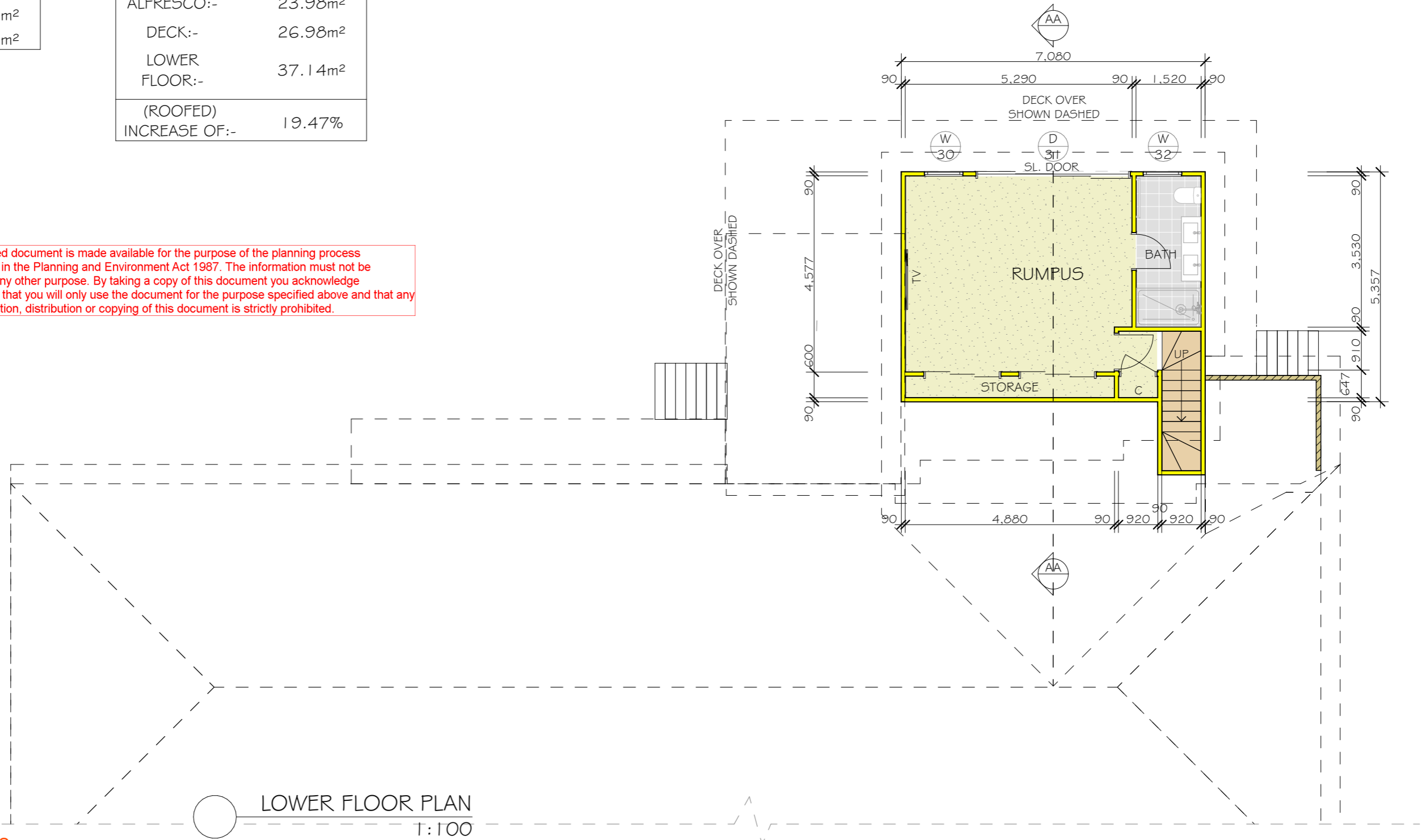
CLIENT

Title		
<b>PROPOSED FLOOR PLAN</b>		
Scale	1:100 UNO	Date
Original paper size	A3	Rev
Drawn	GAVIN	Dwg No.
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		<b>B23-030</b>



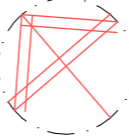
AREA SUMMARY EXISTING	
DWELLING:-	216.19m <sup>2</sup>
ALFRESCO:-	42.82m <sup>2</sup>
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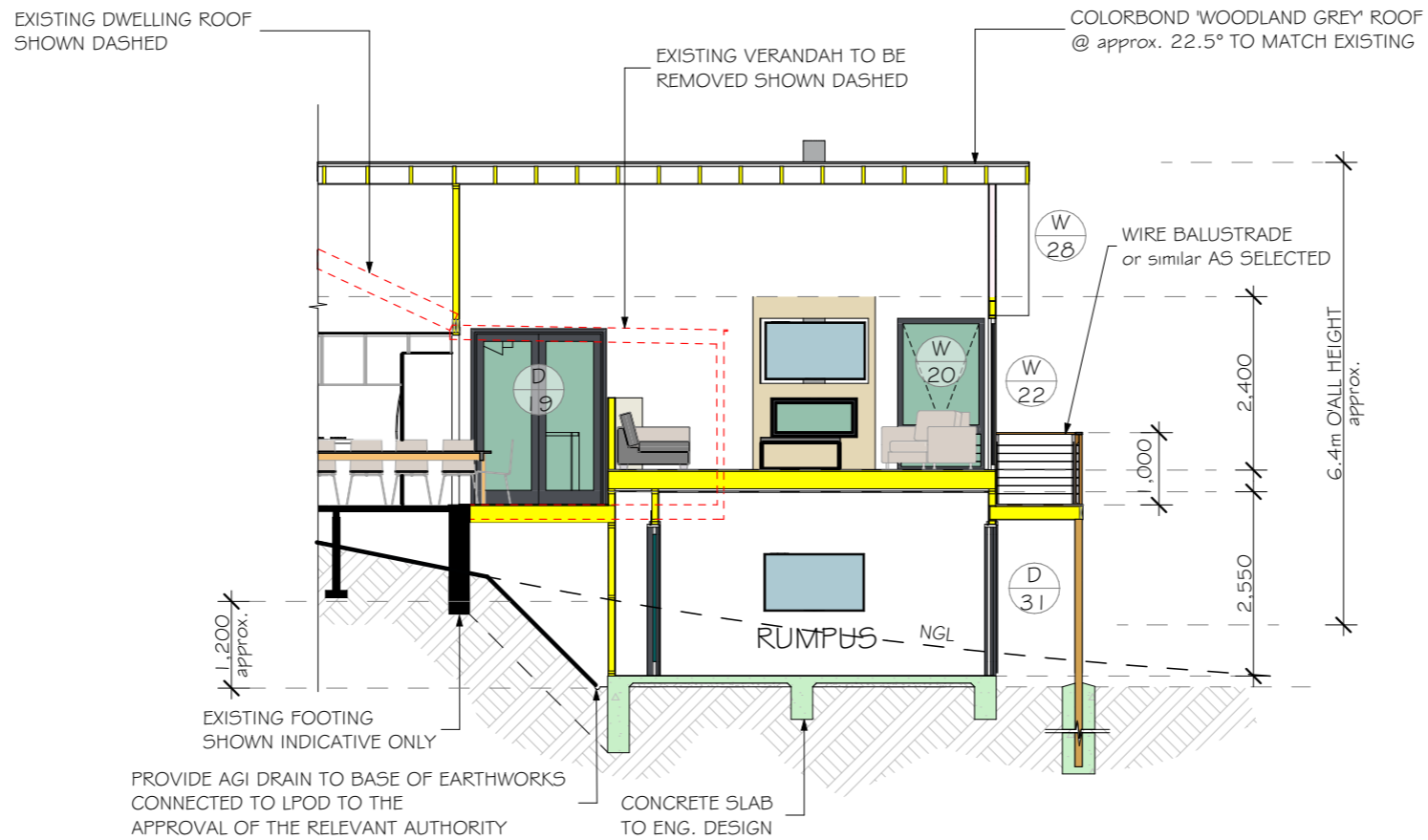
AREA SUMMARY PROPOSED	
GROUND FLOOR ADDITION:-	57.50m <sup>2</sup>
ALFRESCO:-	23.98m <sup>2</sup>
DECK:-	26.98m <sup>2</sup>
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			Scale	1:100	UNO			Date	AUGUST 2023
			Original paper size.	A3	Revn			A	
			Drawn	GAVIN				Dwg No.	TP4
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SECTION AA  
1:100

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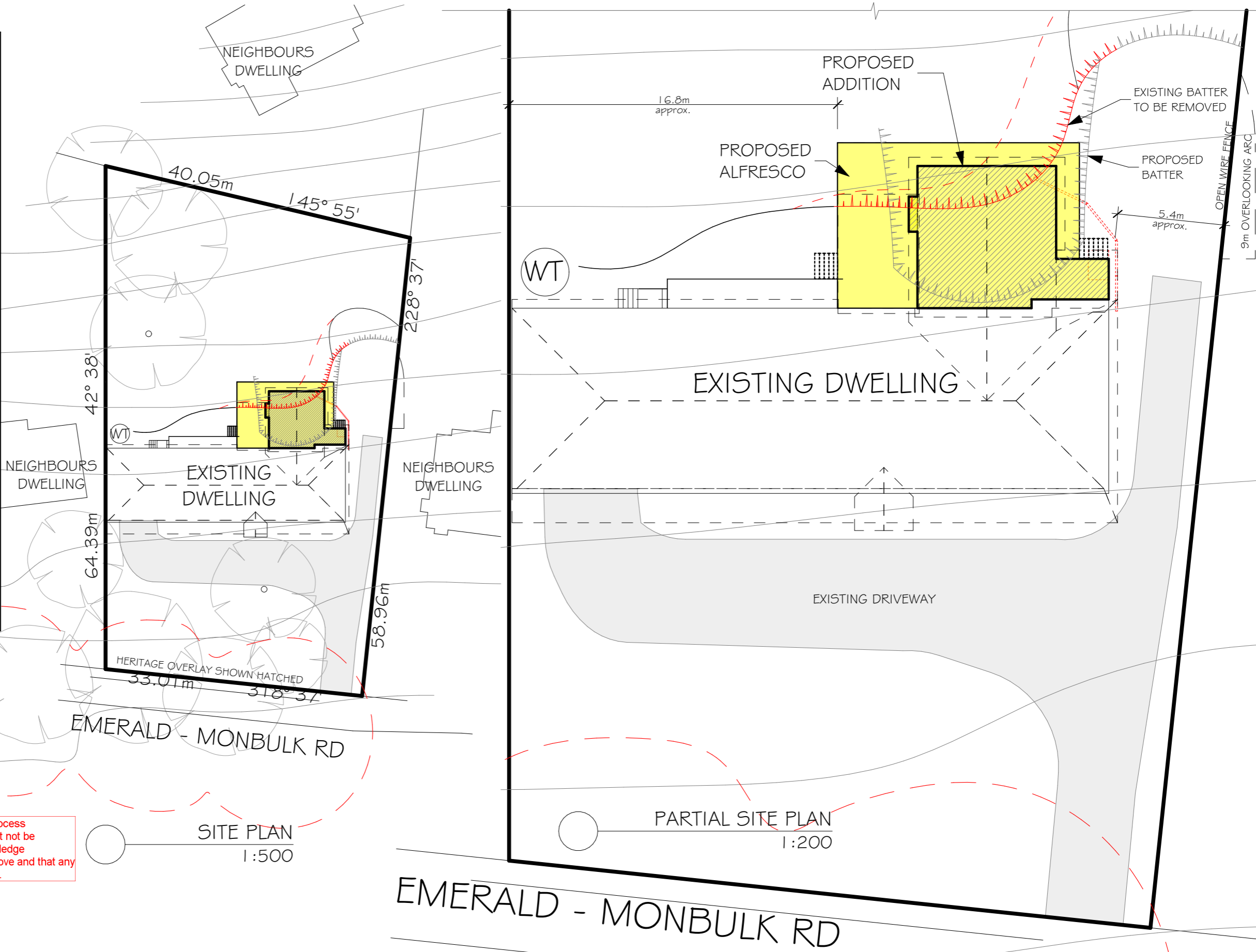
 1680 Burwood Highway, Belgrave 3160 Ph. (03) 9754 7464 Fax. (03) 9754 7063 Trading as Pegasus Australia Pty Ltd ACN 117 603 933	 bdiv Building Designers Association Victoria	Contractor or owner-builder to check all dimensions on site prior to ordering and commencement of work and obtain clarification of any discrepancies from building designer.	No.	Revisions	Date	PROJECT <b>PROPOSED ALTERATIONS &amp; ADDITIONS</b> SITE ADDRESS <b>8 EMERALD MONBULK RD          EMERALD 3782</b> CLIENT	Title <b>SECTION</b>		
							Scale 1:100	UNO	Date AUGUST 2023
							Original paper size A3		Revn A
							Drawn GAVIN		Dwg No. TP7
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**Site Notes - Additions/Renovations**

Council: Cardinia  
 Zone: GWAZ2  
 Overlay(s): HO249, E501, BMO, VPO1  
 Address: 8 Emerald-Monbulk Rd, Emerald  
 Area of Existing: 381.33m<sup>2</sup>  
 Area of Proposed & Existing: 455.58m<sup>2</sup>  
 Percentage of Increased Area: 19.47%

- All downpipes to connect to existing SW drainage system & connect to L.P.D. To relevant authority req's
- Provide 90mm agy pipe to base of any cut & connect to s.w. via silt pit.
- Earthworks as shown on Site Plan
- Retaining walls over 1.0m to Eng. Design
- No trees to be impacted.
- Building height does not exceed 7m
- No overshadowing issues
- No overlooking issues
- (A) More than 9.0m from neighbour.
- The site area covered by buildings does not exceed 60%.
- The site area covered by impervious surfaces not to exceed 80%.

NOTE: CONTOURS SHOWN ARE INDICATIVE ONLY ALL LEVELS TO BE CONFIRMED ONSITE PRIOR TO COMMENCING WORKS.



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								Scale	1:500, 1:200 UNO	Date	AUGUST 2023
								Original paper size	A3	Revn	A
								Drawn	GAVIN	Dwg No.	TP1
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