



O'Neil Road Recreation Reserve Master Plan

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SimonLeisure

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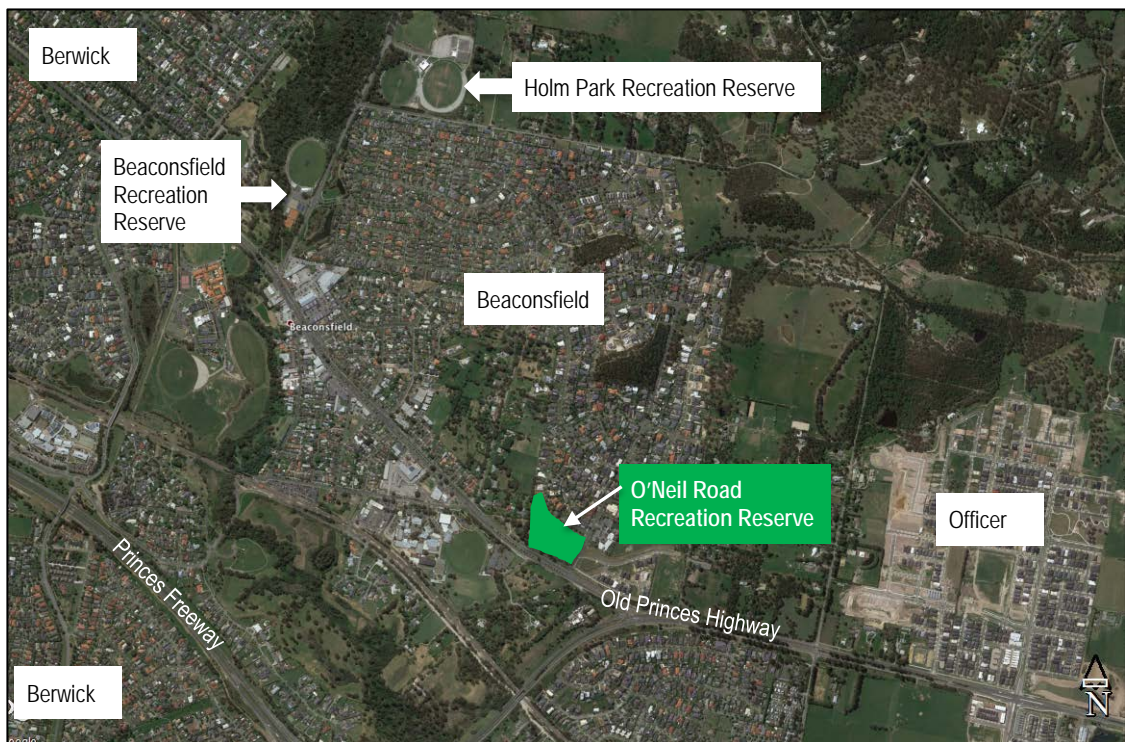
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1. INTRODUCTION

Beaconsfield is a township located on the western boundary of the Cardinia Shire. It is approximately 50 kilometres southeast of the Melbourne Central Business District and has a current population of approximately 4,680 people, which is expected to increase to 6,300 people by 2041.

O'Neil Road Recreation Reserve is a Council owned recreation reserve located on the corner of O'Neil Road and Old Princes Highway in Beaconsfield (see Figure 1).

Figure 1 – Location of O'Neil Road Recreation Reserve



The reserve was constructed in 2007 and is an important open space area for residents located in the southeast area of Beaconsfield. In the past, it has been utilised for numerous sporting activities, including junior football, junior and low grade senior cricket, gridiron and rugby league. It is just less than three hectares in size, and comprises of an oval with a synthetic surface cricket pitch, a playground, a half-court basketball court, and a gravel car park.

Cardinia Shire Council commissioned the O'Neil Road Recreation Reserve Master Plan study to determine an optimum layout for the following sporting facilities and spaces.

- Two junior soccer pitches
- Overlay for cricket
- Sports pavilion
- Playground
- Car park.

In addition, the master plan also considered other opportunities to improve the reserve as a destination for local residents to engage in non-sporting recreation pursuits.

This report outlines the planning context for the master plan, describes proposed improvements for the reserve, and includes an indicative cost plan for the master plan.

1.1. Purpose and Use of a Reserve Master Plan

A master plan determines a broad vision for a reserve and identifies a number of projects and strategies required to be implemented to achieve the vision. Further investigation and feasibility of some of the projects and initiatives recommended in the O'Neil Road Recreation Reserve Master Plan may be required, depending upon their scale, likely impact and estimated cost.

The inclusion and reference to projects in the master plan does not directly commit the Cardinia Shire Council, current and future user groups, or any other organisation to a responsibility for funding and implementation of the projects.

1.2. Management of the Study

The O'Neil Road Recreation Reserve master plan study was managed by a Council project team:

- Fiona Christopher, Active Reserves Coordinator
- Lorna Lablache, Principal Strategic Planner
- Jane Kopocek, *former* Recreation Planner (Project Manager)
- Richard Simon, Director Simon Leisure (the consultant assisting Council).



2. CONTEXT AND BACKGROUND

The O'Neil Road Recreation Reserve Master Plan was informed by a number of research and planning considerations. This section provides a summary of the key planning and contextual factors that were important to be assessed and considered during the preparation of the master plan.

2.1. Beaconsfield Population Characteristics

A review of the population characteristics of the Beaconsfield Precinct¹ were carried out, being the residential area that the O'Neil Road Recreation Reserve services. Beaconsfield is the township at the western end of the Cardinia Growth Corridor.

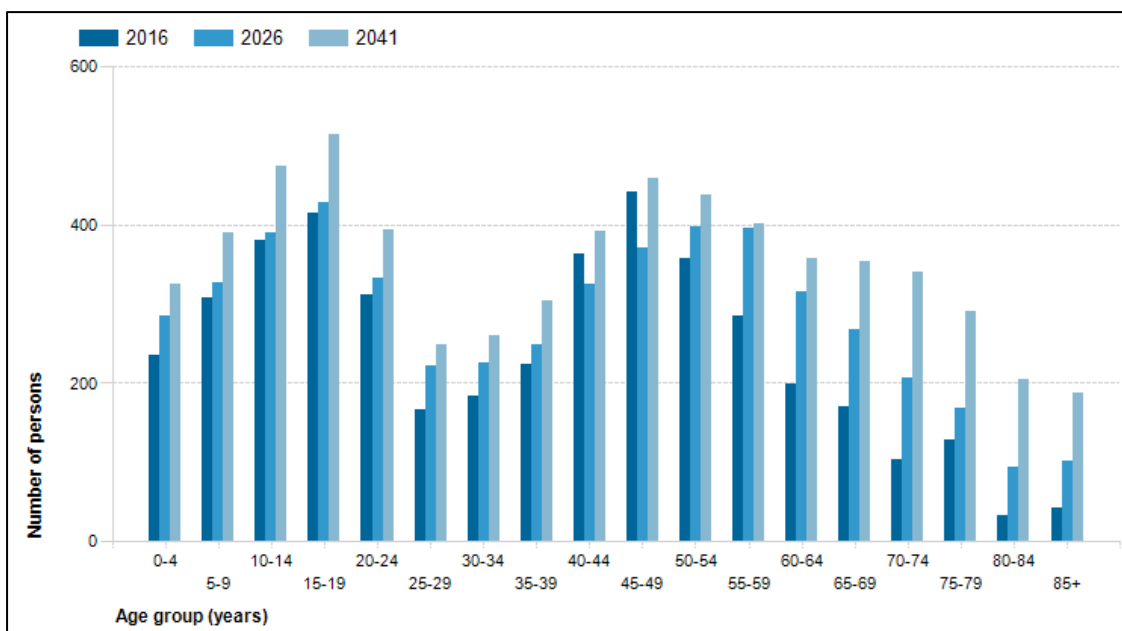
The demographic review identified the following relevant characteristics²:

- The estimated 2017 population of Beaconsfield was 4,680 people, an increase of almost 600 people since 2011.
- Beaconsfield has a similar proportion of children aged up to 17 years (27.1%) compared to all of Cardinia Shire (27.2%).
- For the 18-34 years cohort, Beaconsfield has a lower proportion of people compared to all of Cardinia Shire (18.0% compared to 23.4%).
- Beaconsfield has a smaller proportion of older adults (60+ years) compared to all of Cardinia Shire (15.0% compared to 16.6%).

The projected population for Beaconsfield shows that by 2041 the area will have an estimated additional 1,650 people, or a total projected population of 6,326.

Figure 2 shows that the overall proportion of young people (0-19 years) and older adults (60+ years) in Beaconsfield will significantly increase to 2041, whilst the number of 'Young Workforce' and 'Parents and Home Builders' (25-49 years) will increase marginally.

Figure 2 – Forecast Age Structure for Beaconsfield (2016-2041)



These characteristics have implications for the direction of the master plan:

¹ Beaconsfield Precinct is bounded by Beaconsfield-Emerald Road and Holm Park Road in the north, a line running continuous of May Road and May Road in the east, the Princes Highway in the south, and Cardinia Creek in the west

² Source: Community Profile. id

- The increasing population will ensure local demand will continue for sporting facilities during the forecast period, and demand for spaces for which other active recreation pursuits can be undertaken.
- The high projected growth in the number of young people will continue to trigger short-term demand for sporting facilities.
- There will be demand for other active recreation facilities (non-sporting), such as walking/ jogging paths, due to the growth in the number of adults and older adults during the forecast period.

2.2. Strategic Planning Directions

The following reports provided context, background and direction during the preparation of the master plan:

- Cardinia Shire Growth Corridor Sports Strategy (2005).
- Beaconsfield and Upper Beaconsfield Sports Facilities Plan and Holm Park Road Reserve Master Plan (2008).
- Beaconsfield Precinct Structure Plan (2013).
- Council Reports dealing with the Glismann Road Development Plan.
- Cardinia Shire Recreation Reserve Facility Standards (2012).
- Cardinia Shire Play Space Strategy (2014).
- Cardinia Shire Open Space Management Framework 2015-2020.

The key directions from the plans and strategies relevant to the master plan study are noted below.

Growth Corridor Sports Strategy (2005)

The Growth Corridor Sports Strategy is the strategic planning tool used by Council to guide the incremental development of sporting facilities within the Pakenham Growth Corridor (Beaconsfield, Officer, Pakenham). It assessed the likely needs of the future population of this growth precinct, and makes broad recommendations for the total number of sporting facilities that will be required across the precinct.

The directions within the strategy have informed subsequent precinct structure plans, including the Beaconsfield Structure Plan, which drill down to the number and type of sporting facilities required to be provided at specific sites.

Beaconsfield and Upper Beaconsfield Sports Facilities Plan and Holm Park Road Reserve Master Plan (2008)

The Sports Facilities Plan carried out a strategic assessment of the current and future sporting needs of the Beaconsfield and Upper Beaconsfield communities. It used the findings from the analysis to determine how the then newly acquired land at Holm Park Road Reserve could be best utilised to maximise future sporting and recreation opportunities for the expanded Beaconsfield community.

The Sports Facilities Plan concludes that *“O’Neil Road Recreation Reserve oval has no capacity to be extended and is too small for senior football and cricket in the short-term, and will likely be for ‘older’ junior teams in the medium to long term”* (p. 17)

The plan recommends that O’Neil Road Recreation Reserve be developed as a future venue for junior soccer by incorporating two soccer pitches and a pavilion, and the continued use of the oval for cricket.

Beaconsfield Structure Plan (2013)

The Beaconsfield Structure Plan (BSP) was prepared by the Cardinia Shire Council and responds to the State Planning Policy Framework, the Cardinia Municipal Strategic Statement and the Council Plan. The BSP will guide the growth and development of Beaconsfield over the next 10 – 15 years.

The plan recognises Beaconsfield's role as a large Neighbourhood Activity Centre and seeks to facilitate development of retail, commercial, community, residential and entertainment activities, to meet the needs of the future Beaconsfield community.

The BSP identifies O'Neil Road Recreation Reserve as one of three existing open space areas in Beaconsfield that facilitate active recreation, with the other reserves being the Beaconsfield Recreation Reserve and the Holm Park Recreation Reserve. The plan notes that *"It is important that open space areas are easy to get to and well connected with the surrounding residential areas"*.

The planning and design guidelines outlined in the PSP relevant to the reserve are:

- Rezone land in the Glismann Road area for residential use with a Development Plan (master plan) and infrastructure plan (p. 37) – the subject area for the Glismann Road Development Plan is located adjacent to O'Neil Road Recreation Reserve.
- Consider current and future sporting facilities for the Beaconsfield area in the preparation of a Shire-wide recreation strategy (p. 38).
- Require the provision of open space as part of the redevelopment of the Glismann Road area (p. 38).
- Installation of a signalised intersection on the corner of O'Neil Road and Old Princes Highway (p. 42) – located adjacent to O'Neil Road Recreation Reserve.

Glismann Road Development Plan

(Council Reports referenced are those considered at the Council Meetings held 16 October 2017 and 19 February 2018)

The Glismann Road Development Plan has a long planning history spanning over 10 years. The Development Plan area comprises of 20.98 hectares of land situated either side of Glismann Road, Beaconsfield.

O'Neil Road Recreation Reserve forms part of the open space provision for the subject site to achieve an objective of the Development Plan that dwellings are within 400m or a 5 minute walk from the nearest public open space. It is proposed that the Development Plan incorporate pedestrian access to O'Neil Road Recreation Reserve by incorporating a road with provision for on-street car parking that fronts the reserve in the location of the existing dwellings at 1 Glismann Road and 123-125 Old Princes Highway.

The Council Meeting held 16 October 2017 resolved:

That Council immediately commence a master plan for the O'Neil Road Recreation Reserve so it can be a supporting document when the Glismann Road amendment is exhibited

Recreation Reserve Facility Standards (2012)

The purpose of the Recreation Reserve Facility Standards is to provide a consistent and equitable approach to the development of new sporting facilities throughout Cardinia Shire. The policy ensures playing areas (such as ovals, pitches etc.) meet relevant standards, and supporting infrastructure (such as pavilions) are not over or under developed. Specifically, the policy ensures that facilities will be provided in accordance with the needs of individual sports, competition standards and usage levels, and is a safeguard against Council's resources being inappropriately allocated.

The policy informed the design direction for facilities included in the O'Neil Road Recreation Reserve master plan.

Play Space Strategy (2014)

The Play Space Strategy guides the planning, development and management of the Shire's play space network to ensure the provision of high quality play opportunities for people of all ages and abilities. The strategy supports a four-tier hierarchy for play space provision:

- Neighbourhood
- District
- Municipal
- Regional

The following recommendations in the strategy are relevant for O'Neil Road Recreation Reserve:

1. Upgrade the O'Neil Road Recreation Reserve play space to a 'District' classification (p. 51) – *this action has been completed.*
2. Assess the provision and suitability of shade at play spaces throughout the municipality (p. 55).

The following supporting infrastructure should be considered for 'District' play spaces: seating, shade trees, path network, landscaping, picnic facilities (ie. tables, shelter, BBQs), drinking fountains, bike/scooter racks and rubbish bin/s; and public toilets may be provided (depending on location and usage levels).

Open Space Management Framework 2015-2020

The Open Space Management Framework (OSMF) sets out a strategic framework for the planning and provision of open space within Cardinia Shire. The open space vision for the Shire is

'To create a safe and functional landscape fabric that is innovative and vibrant while being environmentally balanced and allows for the linking of the wider Cardinia Shire community.'

The OSMF defines and classifies open space and their function into five major hierarchy types:

- Local
- Neighbourhood
- District
- Municipal
- Regional

O'Neil Road Recreation Reserve has been classified as a 'Neighbourhood' reserve. The OSMF notes the following relevant functions, roles and design guidelines for a 'Neighbourhood' reserve (p. 34):

1. Purpose
Serves as a larger reserve for the local neighbourhood. May be situated adjacent to shopping precincts, schools, community facilities, or formal junior sport activities
2. Visitor Catchment
Generally caters for local residents
3. Activities
Caters for a range of uses, from community service provision, informal recreation, junior formal event, cultural heritage, relaxation and solitude, social interaction
4. Infrastructure
Basic infrastructure reflecting local context and interests: picnic facilities, waste facilities, junior grassed sports, pathways, shade, drinking fountains, play space

5. Active

Junior competition, facilities co-located with adjacent schools, grassed sport utilised for training

2.3. Land Ownership and Zoning

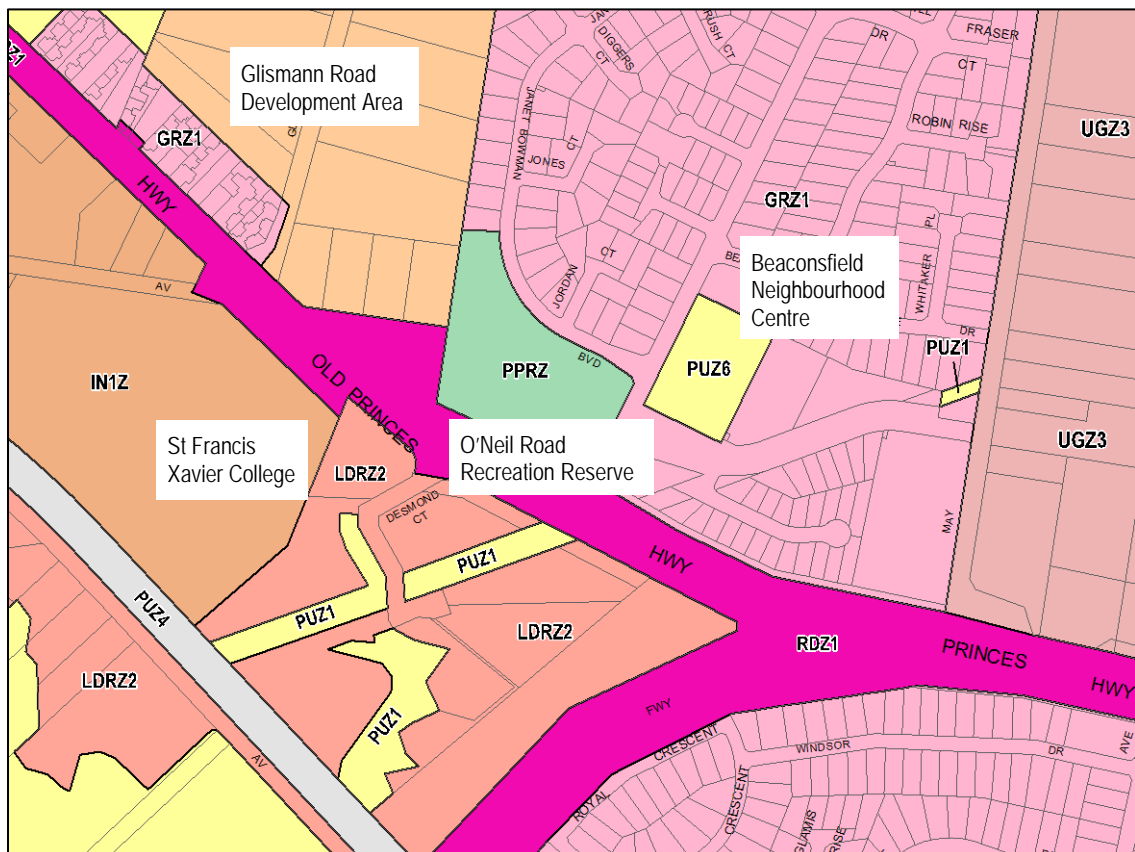
O'Neil Road Recreation Reserve is owned by Cardinia Shire Council and is 3.0 hectares in size. It is located on the corner of Old Princes Highway and O'Neil Road, Beaconsfield.

The reserve is made up of one land title (see Figure 3), being:

Parish: Pakenham
 Reserve 1 on Plan of Subdivision 415795 S
 Parent Title: Volume 10511 Folio 541
 Address: Lot 2 O'Neil Road, Beaconsfield 3807

The reserve is zoned *Public Purposes and Recreation* under the Cardinia Shire Planning Scheme (see Figure 3). The reserve is not subject to any planning overlays.

Figure 3 – Planning Scheme Map Showing O'Neil Road Recreation Reserve



2.4. Existing Site Conditions

The site is bound by residential to the west, the Old Princes Highway to the south, O'Neil Road to the east, and Janet Bowman Boulevard to the north.

The topography of the site is generally flat, and it is predominantly cleared with some remnant vegetation and trees around the perimeter of the reserve. There is a deep swale falling east to west along the southern boundary, which enters a drain just outside the boundary of the reserve in the adjoining property to the west.

A full features and survey plan was prepared for Council by Nilsson, Noel & Holmes (Surveyors) Pty Ltd during the project (see Appendix 1).

2.4.1. Sporting Facilities

The reserve comprises of the following sporting facilities:

- One sports field (including synthetic cricket wicket) with sub-surface drainage and irrigation, and a post and rail perimeter fence along the road edges.

The oval has an east-west orientation with approximate dimensions of 130m long and 105m wide. Football goals are currently installed and there are two temporary player benches.

The condition of the oval and supporting infrastructure is good to excellent.

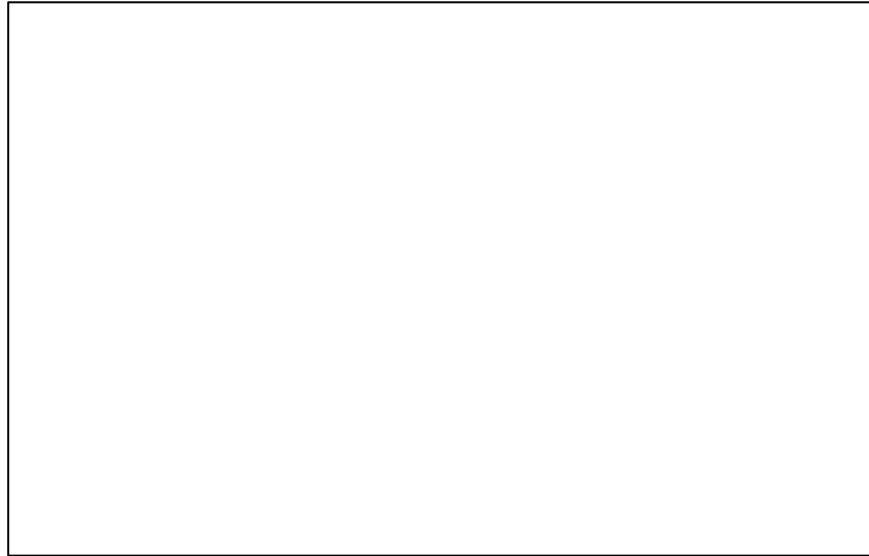
- Floodlighting across the oval from four poles.
- A gravel car park off O'Neil Road services the sports oval.



2.4.2. Other Facilities/ Infrastructure

The reserve comprises of the following other facilities and spaces:

- A 'District' level playground that has been recently upgraded, including a flying fox ride.
- A basketball court half-court has been recently installed.
- A sealed path traversing the reserve from the western side through to Janet Bowman Boulevard.
- A sealed path along the O'Neil Road boundary, connecting the path along the Old Princes Highway to the pedestrian paths along Janet Bowman Boulevard and along O'Neil Road north of the reserve.



3. O'NEIL ROAD RECREATION RESERVE MASTER PLAN

3.1. Plan Development

The O'Neil Road Recreation Reserve Master Plan was developed through consideration and analysis of information collected during the study from the following sources:

- Local influences, including the demographic profile of Beaconsfield and the directions and recommendations contained in relevant Council planning reports.
- Site analysis by the consultant team.
- Input from Council's project team.
- Assessment and feedback of preliminary concept plans by Council's project team.
- Assessment and feedback of the draft reserve master plan by the community.

Public Exhibition of the O'Neil Road Recreation Reserve Master Plan

The draft master plan was endorsed by Council for placement on public exhibition at a Councillor Briefing held 29 January 2018, and was available for the community to view and provide comment in three ways:

1. A letter was distributed to households surrounding the reserve advising them of the draft master plan and inviting feedback via an enclosed survey.
2. Information was available on Council's 'Have Your Say' webpage from 2 July 2018 advising the community of the draft master plan and inviting feedback via an on-line survey.
3. A Community Drop-In Session was held on 18 July 2018 at the Beaconsfield Neighbourhood Centre. At the session, the planning consultant and Council staff were available to answer specific questions concerning the master plan. Copies of the feedback survey were available for attendees to complete.

All feedback closed 30 July 2018.

In all, 79 completed feedback surveys were received and six people attended the Community Drop-In Session. Council staff were also invited to review the draft master plan and to provide feedback. The key amendments to the draft master plan resulting from the community and Council staff feedback are as follows:

- That one set of AFL goals be included to support recreational/ kick-to-kick football at the reserve.
- That a low height fence be installed between the playground and Janet Bowman Boulevard to enhance child safety.
- That a shelter and drinking fountain(s) be included as part of the proposed new picnic area.
- That a connecting path be shown to the intersection of O'Neil Road and Janet Bowman Boulevard.
- That reference to the future signalling of the intersection of the Old Princes Highway and O'Neil Road be included on the master plan.
- That sub-surface drainage works be included to rectify an existing bog hole.
- That sub-surface drainage works be included to rectify poor drainage around the playground.
- That the northern footpath be realigned along Janet Bowman Boulevard, and include in the scope of works the removal of the Lomandra shrubs.
- That the main reserve car park be re-designed to allow cars to circulate throughout the whole car park.

3.2. Key Directions of the Master Plan

The key elements and directions identified in the master plan are described below, and should be read in conjunction with the illustrated master plan in Appendix 2. The numbers below correspond with the project numbers on the draft master plan.

1. Potential new indented car parking integrated with the new road network for the Glismann Road Subdivision (5 spaces)

The proposed Glismann Road Development Plan includes a road layout plan that has an interface with the northeast corner of the reserve. The proposed car park will provide an opportunity for formal car parking adjacent to the reserve playspace and active recreation facilities, for the convenience of future residents of the subdivision.

2. New reserve northern car park (18 spaces)

The proposed new car park will enable off-street parking for people accessing the playspace and active recreation facilities, and in doing so reduce the requirement for reserve visitors to park on Janet Bowman Boulevard. The location of the car park away from the sports ground may enable parking to be available for playspace users during times when active sport is being played at the reserve.

A number of parents with children at Beaconsfield Primary School currently park at the reserve before embarking on a 'walking school bus' activity to walk their children to the primary school. This assists to alleviate traffic congestion around the school during drop-off time. The proposed new car park could become a convenient new 'meeting place' for parents.

- 3a. Install shade sails over the existing playground

Shade sails will improve the health and wellbeing of children using the playground by reducing their exposure to direct sunlight.

- 3b. Install a low height fence and sub-surface drainage around the playground

There is a potential safety risk for children using the playground to run out onto Janet Bowman Boulevard. The road is in close proximity to the playground (10 - 15m). It is recommended that the proposed fence be installed on the playground side of the proposed new footpath.

In the area around the playground, stormwater does not drain freely causing inconvenience to playground users. It is proposed that sub-surface drainage be installed around the playground, and consideration be given to combining these two projects.

4. New picnic area

Establish a new picnic area adjacent to the playground comprising of a BBQ, shelter, picnic table(s) and bench seating, and a drinking fountain(s). The picnic area will significantly improve the attractiveness and functionality of the playspace as a destination for extended play, family recreation, and community connectedness and socialisation.

- 5a. Potential installation of a pod of fitness equipment

Research shows that people are attracted to outdoor fitness gyms due to their convenient access and free-to-use unstructured physical activity opportunities. The location of the equipment next to the basketball pad, the playground, and the proposed new car park will help to enhance the social and health and wellbeing qualities of this sub-precinct of the reserve.

- 5b. Potential installation of one set of AFL goals

O'Neil Road Recreation Reserve has accommodated junior football for many years, and is a popular destination for recreational/ kick-to-kick football. With the conversion of the reserve to a home for soccer, the installation of one set of AFL goals will enable casual football to continue.

***Amendment consideration to include provision of two AFL goals**

That Council endorse the O'Neil Road Recreation Reserve Masterplan, subject to the inclusion of a second set of AFL goal posts being considered in the future.

6. **Realign the existing path and install sub-surface drainage to treat a bog hole**
The siting of the new western soccer pitch will require the existing 2m pedestrian path to be re-aligned closer to the basketball half-court and proposed pod of fitness equipment.
There is a bog hole in the northern section of the reserve, south of the basketball half court. It requires sub-surface drainage work to rectify the problem.
7. **Possible levee required**
The proposed Glismann Road Development Plan includes provisions for a possible levee bank. The levee bank/ retarding basin is required to prevent flooding back into homes from the Melbourne Water assets near Old Princes Highway. When the levee bank is constructed, it is recommended that a new path along the top of the embankment will create interest for path users from the change in grade.
8. **Upgrade the sports field to include two junior soccer pitches and a new cricket pitch**
The two proposed soccer pitches are each of dimensions compliant for junior soccer matches (90m x 50m), and the existing floodlighting at the reserve will need to be re-configured (refer Appendix 3 for proposed floodlighting scheme prepared by HK Solutions). The use of the reserve for soccer will not impact the continued use of the reserve as an overflow cricket oval in summer for junior cricket matches and lower grade senior matches. The existing cricket pitch needs to be removed to enable the eastern soccer field to be clear of the hard wicket. The proposed new location for the cricket pitch is situated between the two proposed soccer pitches.
9. **Potential spectator shelter**
The proposed shelter will provide shelter for spectators watching training or matches on the proposed new western soccer pitch. It will also be a valuable facility for non-sports users as a place of congregation. As a guide, an open shelter of dimensions 8m x 4m is suggested.
10. **Install ball catching fences**
The installation of fences will improve player safety by ensuring most soccer balls kicked towards the goals at the southern end of the pitches do not reach Old Princes Highway. The fences will also enhance the functionality and usability of the pitches from a players' perspective, ie. players will not need to chase soccer balls kicked past the goal nets. As a guide, black PVC chain-mesh fences should be installed, with the dimensions of the western fence (setback from the goals) suggested to be 35m wide x 2m high, and the eastern fence (directly behind the goals) to be 25m wide x 5m high.
11. **New sealed car park (76 spaces)**
A new eastern reserve car park is required to accommodate the expected higher volumes of traffic using the reserve with the decision to allocate winter tenancy to a junior soccer club. With the high numbers of children expected, it is important that a safe and efficient car parking scheme is introduced. The car park layout provides for two separate but connected car parks: one behind the proposed new sports pavilion; and a second adjacent to the sports ground. It will be important to offset the impact of the new sealed car park with tree planting, both within and around the car park, which will also provide shade.
12. **Vehicle-free area for players/ spectators (paved or grass)**
An area large enough for players, families and spectators to congregate safely between matches and before and after training is proposed, and will be important for the functionality of the

reserve when being used for soccer. The space also provides separation between the pavilion and the main car park.

13. New sports pavilion (approx. 600sqm)

The pavilion footprint and spatial allowance of 600sqm is consistent with the directions for a 'District' standard soccer/ cricket pavilion (ref. Council's *Recreation Reserves Facility Standards Policy*).

14. Future road layout plan

Council's Traffic Engineers have prepared road layout plans for this area of Beaconsfield that extends to the new housing subdivision at Pink Hill Rise. The master plan has included these proposed new road layout plans, including a proposed new roundabout with which the reserve access will be linked. This proposal will eliminate the need for a reserve entry off Janet Bowman Boulevard.

The road works also include the future signalisation of the corner of Old Princes Highway and O'Neil Road, as part of the Officer Precinct Structure Plan. It is likely that these works will be undertaken when Pink Hills Boulevard is connected through from O'Neil Road to Whiteside Road.

15. Install interpretive signage telling the story of the Bowman Track

The Bowman Track is significant to Cardinia Shire because it provides both symbolic and actual evidence of early exploration and pioneering surveys of the area, and of the development of transport networks across the district. Its construction was by local woman, Janet Bowman. Bowman Track starts at the Beaconsfield Central Hotel at Cardinia Creek, and runs northeast for about 50 miles to the Jordan goldfields (later the town of Jericho south of Woods Point), via part of O'Neil Road, Hughendon Road and Telegraph Road. The first track marker is at the corner O'Neil Road and Old Princes Highway³.

An opportunity exists to install interpretive signage at the reserve as part of the celebration of the history and local significance of the Bowman Track.

16. Remove the Lomandra shrubs and construct a new pedestrian path along Janet Bowman Boulevard

The removal of the Lomandra shrubs will open-up the reserve along Janet Bowman Boulevard, and the new path will service as a pedestrian path along the road and will also link the east and west ends of the reserve.



Other directions

- The master plan supports a new internal path network to be constructed that links the sub-precincts within the reserve, and which will also provide opportunities for the path network to become part of a circuit for walkers and joggers.
- The master plan supports additional tree plantings to strengthen existing boundary planting and to frame other infrastructure.

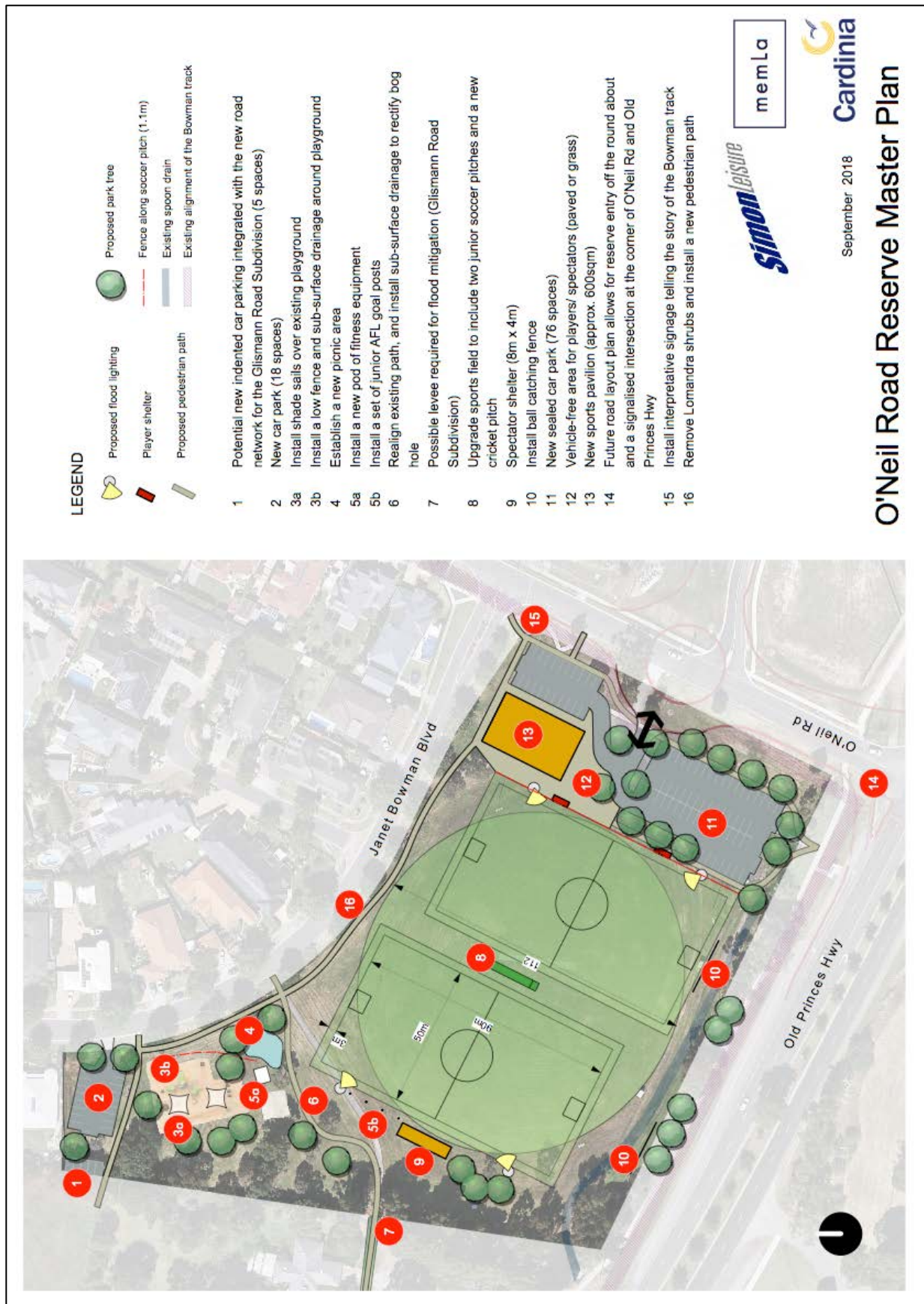
³ Reference: Victorian Heritage Database Report

O'Neil Road Recreation Reserve Features and Survey Plan



Appendix 2

O'Neil Road Recreation Reserve Master Plan



Appendix 3

O'Neil Road Recreation Reserve Soccer Floodlighting Scheme