

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	54 Rosebery Street, Lang Lang
The application is for a permit to:	Variation of a restricted covenant
The applicant for the permit is:	LMK Building Services
The application reference number is:	T160760
You may look at the application and any documents that support the application at the office of the Responsible Authority:	<p>Cardinia Shire Council 20 Siding Avenue Officer 3809</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website www.cardinia.vic.gov.au.</p>

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

- An objection must
- * be sent to the Responsible Authority in writing, at Cardinia Shire Council, PO Box 7, Pakenham, Vic, 3810 or email at mail@cardinia.vic.gov.au
 - * include the name and address of the objector/ submitter
 - * include the application number and site address
 - * include the reasons for the objection, and
 - * state how the objector would be affected.

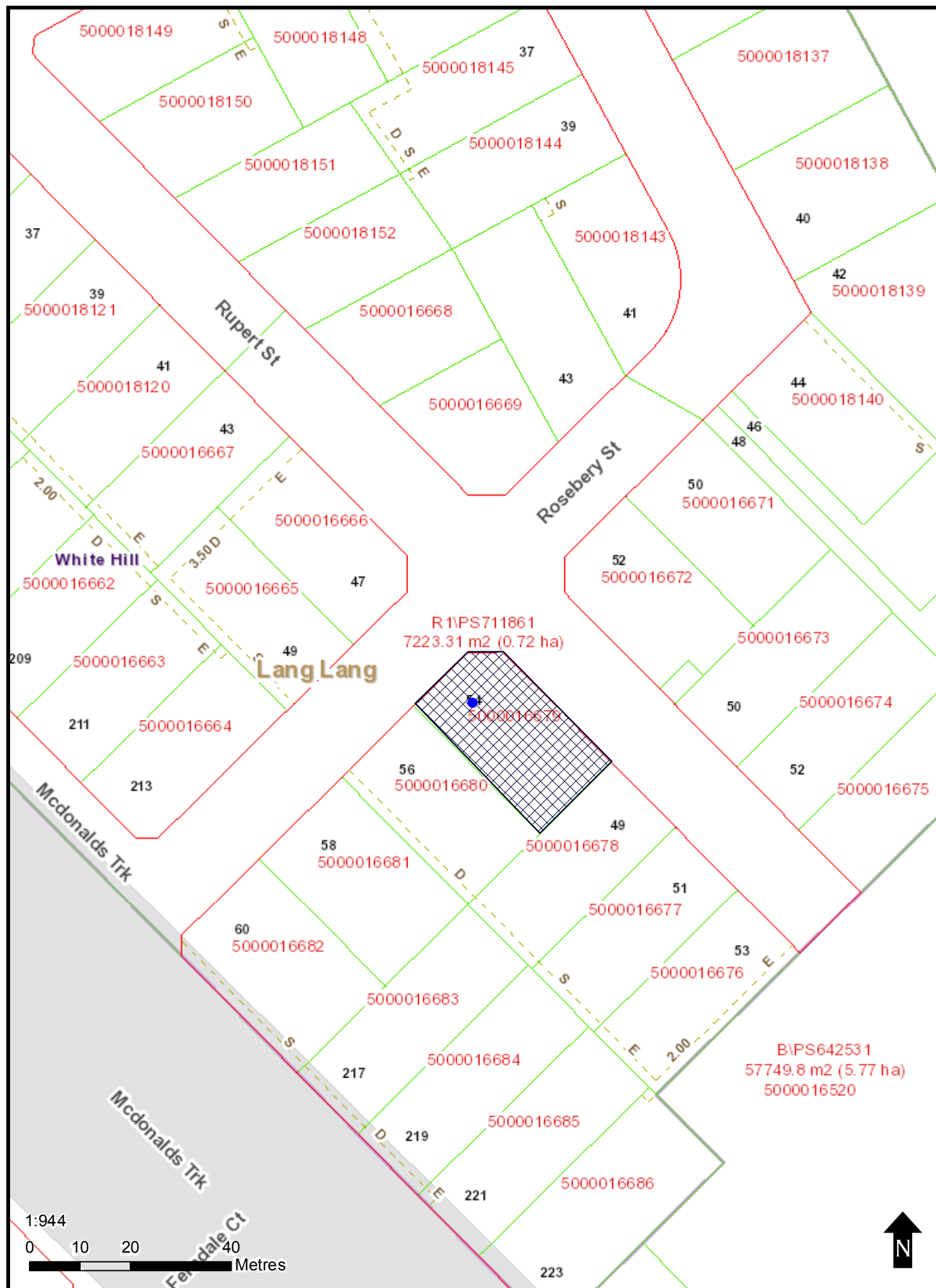
The Responsible Authority will not decide on the application before:	19 January 2017
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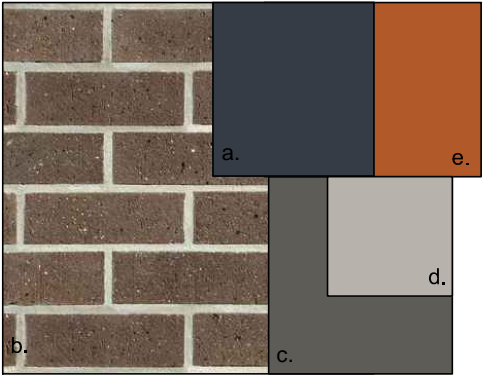
If you object, the Responsible Authority will advise you of its decision.

Please be aware that copies of objections/submissions received may be made available to any person for the purpose of consideration as part of the planning process.

For additional information or advice contact Cardinia Shire Council, Planning Department on 1300 787 624 or mail@cardinia.vic.gov.au

Your objection/ submission and personal information is collected by Cardinia Shire Council for the purposes of the planning process as set out in the *Planning and Environment Act 1987*. If you do not provide your name and address, Council will not be able to consider your objection/ submission. Your objection/ submission will be available free of charge at the Council office for any person to inspect and copies may be made available on request to any person for the relevant period set out in the *P&E Act*. You must not submit any personal information or copyright material of third parties without their informed consent. By submitting the material, you agree that the use of the material as detailed above does not breach any third party's right to privacy and copyright.

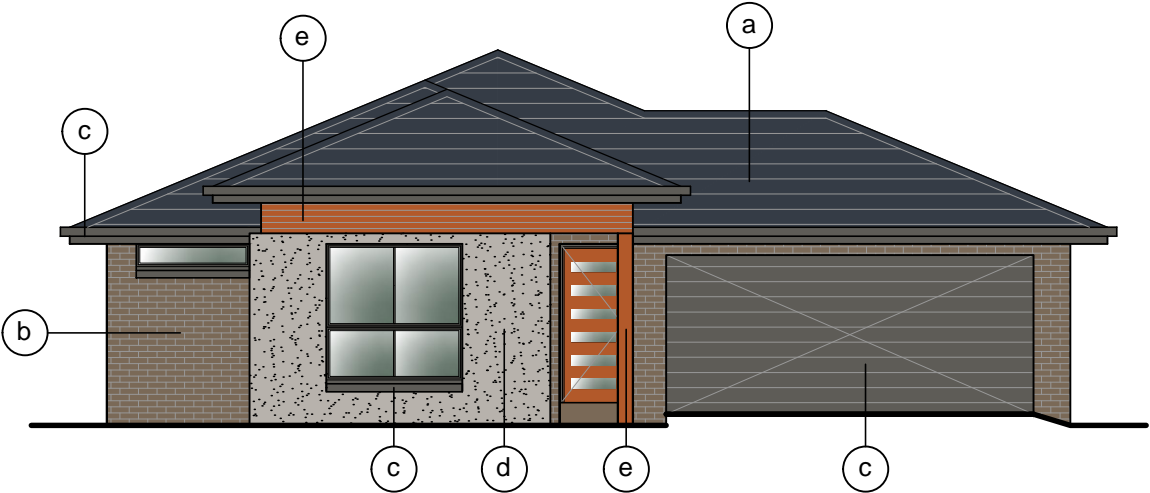




COLOUR & MATERIALS SCHEDULE

- a) Boral Roof Tile 'Macquarie Twilight'
- b) Face Brickwork: Boral 'Glenfern'
- c) Gutters, Downpipes, Fascia, Garage Doors & Window Frames: COLORBOND 'Woodland Grey'
- d) Render: Colorbond 'Dune'
- e) Timber Slats, Feature Post, Entry Door: Stained in 'Merbau'

PLEASE NOTE:
All colours are AutoCAD derived and only indicative of the manufacturers product.
Please refer to manufacturer specification for exact colour match.
Where colour and manufacturers' specified not available, a similar match is to be substituted



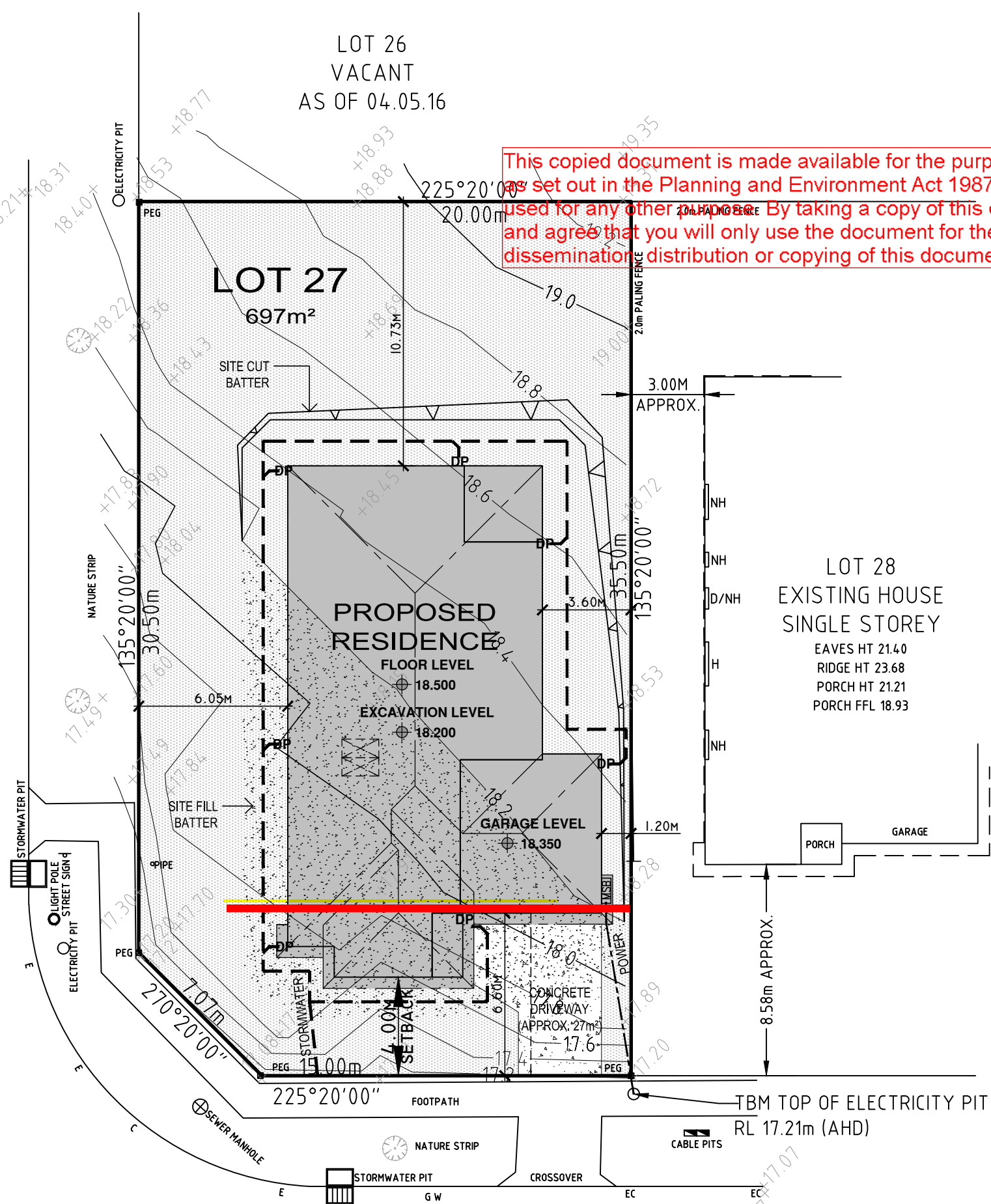
COLOURS AND MATERIALS
SCALE 1:100

SITE ANALYSIS:	
SITE AREA:	697sqm.
RESIDENCE:	170.33sqm.
GARAGE:	36.34sqm.
OUSIDE LIVING:	9.83sqm.
PORCH:	3.22sqm.
HARD PAVING:	27sqm.
SITE COVERAGE	219.72sqm. 31%
PERMEABILITY	442.28sqm. 64%



BUILDING REGULATIONS:	
Single Dwelling (Building Permit)	
A3. Setback.	Adjoining dwelling is setback 8.58. The report & consent from local authorities is required for the proposed 4m front setback.
A4. Building Height.	Building height is 4.97m which does not exceed the maximum standard of 9.0m.
A5. Site Coverage.	Site coverage of 31% does not exceed the maximum standard of 60%.
A6. Permeability.	Permeable area 64% exceeds the minimum standard of 20%.
A9. Parking.	2 car spaces provided within allotment. Both within garage and meet the standard required measurements of 6.0m deep by 5.5m wide.
A10. Side and Rear Setbacks.	Proposed dwelling setbacks concur with design guidelines in this standard.
A11. Walls on Boundaries.	No portion of the proposed dwelling to be constructed right on the title boundary, this regulation is not affected.
A12. Daylight to Existing Windows.	All habitable room windows on existing dwellings is setback adequately. This allows 1.0M clear to sky to all habitable room windows.
A13. North Facing Windows.	Adjoining properties setback adequately from proposed to have no affect on existing north facing windows.
A14. Overshadowing Open Spaces.	Single storey application. Not applicable.
A15. Overlooking.	Proposed dwelling on slab and does not exceed 0.8m above the natural ground line, therefore no overlooking issues.
A16. Daylight to New Windows.	All internal living rooms are provided with windows that face open areas with natural daylight all with a min. of 3sqm and min dim of 1.0m to natural daylight.
A17. Private Open Space.	Rear Private Open Space exceeds the minimum standard of 25sqm with a minimum dimension of 3.0m. Also note that fences to be greater than 1.8m high and erect prior to occupancy of dwelling.

RUPERT STREET



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SITE PLAN NOTE:	
BUILDER TO VERIFY ALL BOUNDARY DIMENSIONS PRIOR TO SETTING OUT.	
NO BUILDING WORKS ARE TO ENCROACH OVER THE TITLE BOUNDARY INCLUSIVE OF ANY EQUIPMENT USED ON, OVER, UNDER OR IN AIR SPACE OF THE ADJOINING PROPERTIES WITHOUT OBTAINING ADJOINING OWNERS CONSENT VIA PROTECTION WORKS NOTICES PURSUANT TO PART 7 OF THE BUILDING ACT 1993 AND & BUILDING REGULATION 602.	
DRAINER MUST REFER TO START WORK NOTICE FOR SEWER POINT LOCATION.	
SEWERAGE AND SULLAGE TO CONNECT TO SEWERAGE MAIN AS DIRECTED BY LOCAL AUTHORITIES.	
SITE TO BE SCRAPPED LEVEL OVER PROPOSED BUILDING AREA WITH FINISHED GROUND TO BE GRADED AWAY FROM BUILDING.	
BEFORE & DURING CARRYING OUT OF BUILDING WORK & ESCAVATIONS, THE ALLOTMENT SHOULD BE FENCED OR OTHERWISE GUARDED AGAINST BEING A DANGER TO LIFE OR PROPERTY.	
THE MAXIMUM GRADIENT OF THE DRIVEWAY SHALL NOT EXCEED 1:5.	

STORMWATER DRAIN NOTE:	
PROVIDE 90mm DIAMETER P.V.C STORMWATER PIPE WITH MINIMUM FALL OF 1:100.	
STORMWATER DRAIN LAYOUT IS INDICATIVE ONLY & WILL BE LAID AT THE DRAINERS' DISCRETION.	
PROVIDE SELECTED DOWNPIPES AT 12.0m MAXIMUM CENTRES.	
DISCHARGE TO LEGAL POINT OF DISCHARGE (LPD), UNABLE TO VERIFY EXACT LOCATION OF LPD. ASSUMED LOCATION N/W CORNER. TO BE ADVISED.	

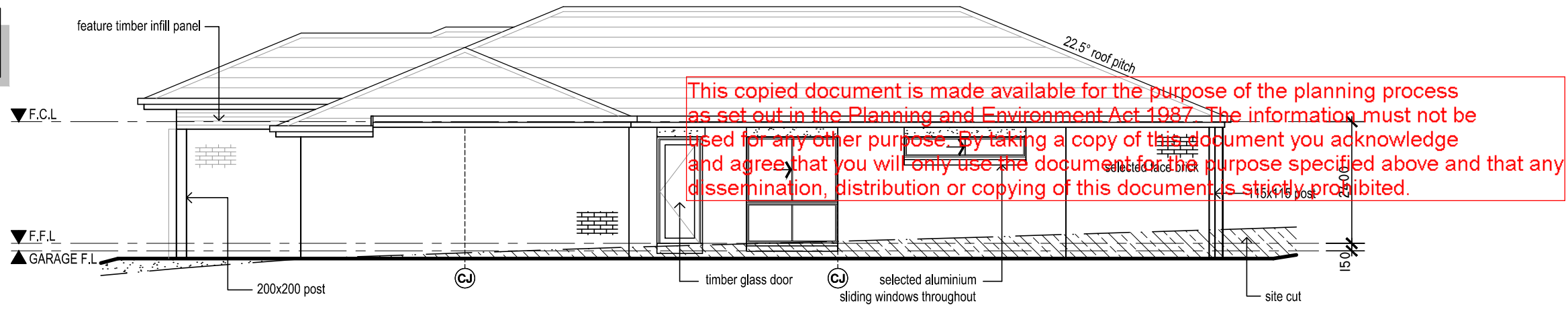
CUT TO RL18.200 AND FILL FROM RL18.200	
CUT TO BE 1.0m MINIMUM FROM EDGE OF BUILDING AND BATTERED BACK AT 45° MAX. UNLESS OTHERWISE INDICATED.	
CUT OUTSIDE HOUSE LINE TO FALL AWAY FROM HOUSE TO TOE OF BATTER BY 75mm MIN.	
AG DRAIN TO BASE OF CUT AND CONNECTED TO SILT PIT =	
SILT PIT TO BE CONNECTED TO STORMWATER.	

ROSEBERY STREET

01	BUILDER: ELITE BUILDING SERVICES PO BOX 634 PAKENHAM VIC 3810 PH: 0419 346 299	CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.	<p>© COPYRIGHT IN WHOLE OR IN PART</p>	JOB ADDRESS: LOT 27 ROSEBERY STREET LANG LANG, VIC, 3984	CLIENT: TRISTAN & ADELE OLDFIELD		PLANS APPROVED: CLIENT SIGNATURE: _____ DATE: _____	
				DRAWN: W.G.	SHEET: 01	CODE: IB	DESIGN TYPE: CARDINIA OP3.	
				CHECKED: DPAD15038	TIME: 2:15PM	TYPE: NH	REVISION:	JOB No:
				DATE: 27/05/2016	SCALE: 1:200	DRAFT No: FINAL	ISSUE: BI	16341

TIMBER FRAMING NOTE:
ALL TIMBER FRAMING TO BE IN ACCORDANCE
WITH BCA 2015 AND COMPLY WITH AS1684 – 2010

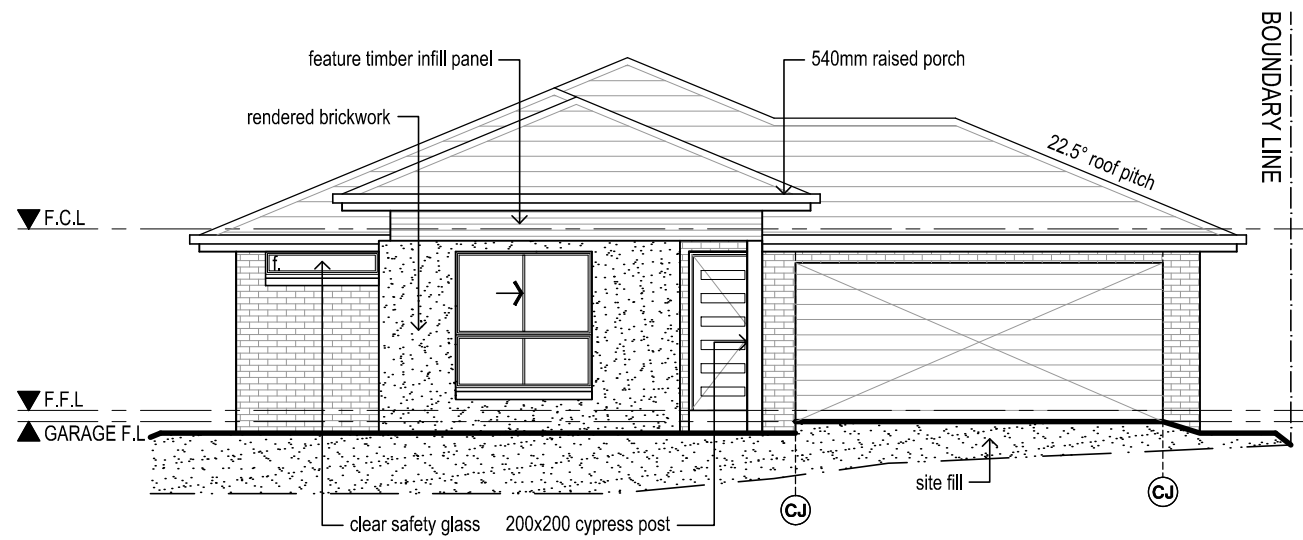
WINDOW SIZE NOTE:
WINDOWS AND DOOR SIZES SHOWN
ARE NOMINAL. BUILDER TO USE WINDOW
MANUFACTURERS NEAREST STOCK SIZES.



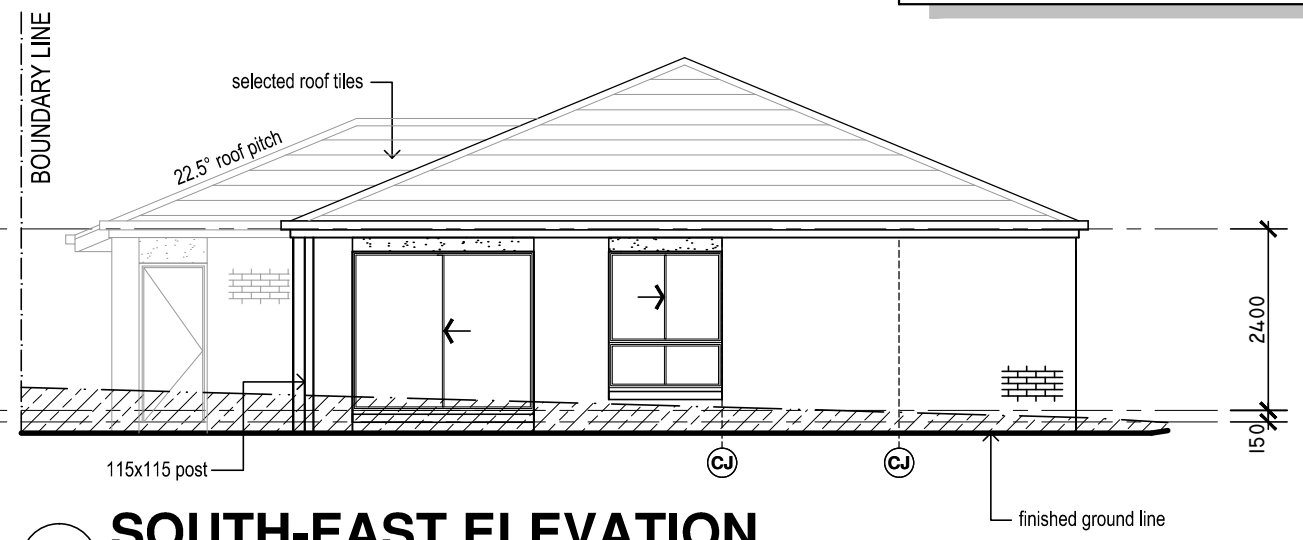
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SOUTH-WEST ELEVATION
SCALE 1:100

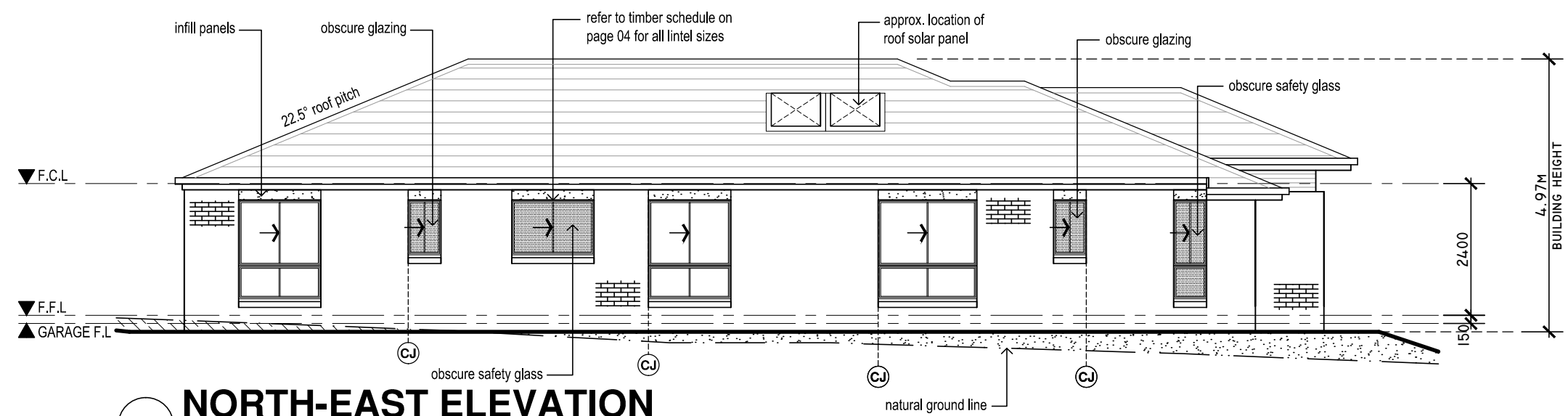
VERTICAL CONSTRUCTION JOINTS
(CJ) TO BE CONSTRUCTED IN ACCORDANCE
WITH BCA VOLUME 2, PART 3.3



NORTH-WEST ELEVATION
SCALE 1:100



SOUTH-EAST ELEVATION
SCALE 1:100



NORTH-EAST ELEVATION
SCALE 1:100

03

BUILDER:
ELITE BUILDING SERVICES
PO BOX 634
PAKENHAM VIC 3810
PH: 0419 346 299

CONTRACTOR MUST VERIFY ALL DIMENSIONS
AND LEVELS AT THE JOB PRIOR TO COMMENCING
ANY WORK OR MAKING ANY SHOP DRAWINGS.
DO NOT SCALE DRAWINGS.
ALWAYS USE WRITTEN DIMENSIONS.


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JOB ADDRESS: LOT 27 ROSEBERY STREET LANG LANG, VIC, 3984			CLIENT: TRISTAN & ADELE OLDFIELD		PLANS APPROVED: CLIENT SIGNATURE: DATE:	
DRAWN: W.G.		SHEET: 03		CODE: IB	DESIGN TYPE: CARDINIA OP3.	
CHECKED: DPAD15038		TIME: 2:15PM		TYPE: NH	REVISION:	JOB No:
DATE: 27/05/2016	SCALE: 1:100	DRAFT No: FINAL		ISSUE: BI	16341	

Signed by Cardina Shire Council, Council Ref: S12/125, taking effect on 10/09/2014. Registration: M04/2014, SAC: 25/09/2014

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PLAN OF SUBDIVISION

BY USE ONLY
EDITION 1

PLAN NUMBER

PS 711861F

LOCATION OF LAND

PARISH: LANG LANG

TOWNSHIP: ---

SECTION: ---

CROWN ALLOTMENT: 13^A (PART)

CROWN PORTION: ---

TITLE REFERENCE: VOL 11365 FOL 845

LAST PLAN REFERENCE: PS 642531L, LOT A

POSTAL ADDRESS: 32 RUPERT STREET

(AT TIME OF SUBDIVISION) LANG LANG 3984

MGA CO-ORDINATES: E 374 700 ZONE: 55

(OF APPROX. CENTRE OF PLAN) N 5 783 400 GDA 84

CERTIFYING AUTHORITY

CARDINIA SHIRE COUNCIL

REF: S12/125

NOTATIONS

DEPTH LIMITATION - DOES NOT APPLY

THIS IS NOT A STAGED SUBDIVISION

PLANNING PERMIT No. T110189

THIS PLAN IS BASED ON SURVEY IN PS 6425312L.

VESTING OF ROADS OR RESERVES

IDENTIFIER

COUNCIL/BODY/PERSON

ROAD R1
RESERVE No. 1

CARDINIA SHIRE COUNCIL
SPI ELECTRICITY PTY. LTD.

CREATION OF RESTRICTION

LAND TO BENEFIT: LOTS 1 TO 34 (BOTH INCLUSIVE) ON THIS PLAN.

LAND TO BURDENED: LOTS 1 TO 34 (BOTH INCLUSIVE) ON THIS PLAN.

DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF A LOT ON THIS PLAN OF SUBDIVISION SHALL NOT, WITHOUT THE WRITTEN CONSENT OF THE CARDINIA SHIRE COUNCIL, CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OTHER THAN IN ACCORDANCE WITH THE BUILDING DESIGN GUIDELINES APPROVED BY THE CARDINIA SHIRE COUNCIL UNDER PLANNING PERMIT No. T110189.

THE RESTRICTION AFFECTING EACH OF THE LOTS 1 TO 34 (BOTH INCLUSIVE) SHALL EXPIRE TWO YEARS AFTER THE ISSUE OF THE CERTIFICATE OF OCCUPANCY FOR A DWELLING ON THE RESPECTIVE LOT.

SEE SHEET 5 FOR THE FURTHER RESTRICTION CREATED ON REGISTRATION OF THIS PLAN.

EASEMENT INFORMATION

A - APPURTENANT EASEMENT

E - ENCUMBERING EASEMENT

R - ENCUMBERING EASEMENT (ROAD)

EASEMENT REFERENCE	PURPOSE	WIDTH (METRES)	ORIGIN	LAND BENEFITED OR IN FAVOUR OF
E-1	SEWERAGE	2.50	PS 642531L	SOUTH EAST WATER CORPORATION
E-2	SEWERAGE	SEE PLAN	THIS PLAN	SOUTH EAST WATER CORPORATION
E-2	DRAINAGE	SEE PLAN	THIS PLAN	CARDINIA SHIRE COUNCIL



Speedie Development Consultants Pty. Ltd.
SURVEYORS, ENGINEERS, PLANNERS AND
DEVELOPMENT CONSULTANTS
55 Marine Parade Hastings VIC 3615 (03) 5979 5000
info@speediedev.com.au

DIGITALLY SIGNED BY LICENSED SURVEYOR:
ANDREW M LOVELOCK

REF: 8825531

VERSION 5

SHEET 1 OF 5 SHEETS

ORIGINAL SHEET SIZE A3

PLAN REGISTERED

TIME: 12:32pm

DATE: 15/6/2014

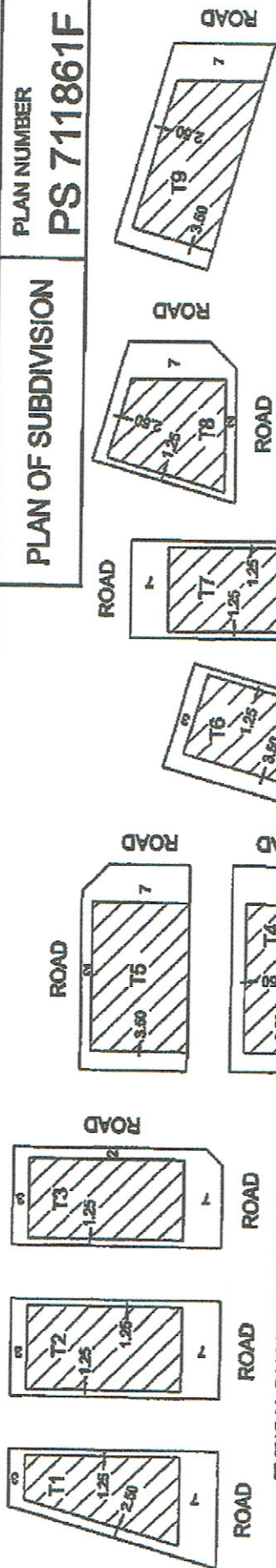
Roger Mellor
Assistant Registrar of Titles

and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



PLAN NUMBER
PS 711861F

PLAN OF SUBDIVISION



TYPICAL BUILDING ENVELOPE
(SCALE 1:800)

CREATION OF RESTRICTION

LAND TO BENEFIT: LOTS 1 TO 34 (BOTH INCLUSIVE) ON THIS PLAN.
LAND TO BURDENED: LOTS 1 TO 34 (BOTH INCLUSIVE) ON THIS PLAN.

DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF A LOT ON THIS PLAN OF SUBDIVISION SHALL NOT, WITHOUT THE WRITTEN CONSENT OF THE CARDINIA SHIRE COUNCIL, CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING ON THE RESPECTIVE LOT.

(A) OUTSIDE THE AREA SHOWN HATCHED ON THIS PLAN; AND
(B) THAT EXCEEDS 50% SITE COVERAGE OF THE RESPECTIVE LOT

THE RESTRICTION AFFECTING EACH OF THE LOTS 1 TO 34 (BOTH INCLUSIVE) SHALL EXPIRE TWO YEARS AFTER THE ISSUE OF A CERTIFICATE OF OCCUPANCY FOR A DWELLING ON THE RESPECTIVE LOT.

STREET			
18	19	20	21
T9	T10	T11	T2
17	22	23	T2
T6	T2	T2	T2
16	24	25	26
T5	T7	T7	T12
15	27	28	29
T7	T13	T14	T10
14	30	31	32
T5	T15	T2	T2
13	33	34	T16
T4	T2	T2	T2
12	T3	T2	T2
11	T2	T2	T2
10	T2	T2	T2
9	T2	T2	T2
8	T2	T2	T2
7	T2	T2	T2
6	T2	T2	T2
5	T2	T2	T2
4	T2	T2	T2
3	T2	T2	T2
2	T2	T2	T2
1	T1	T2	T2

TYPICAL BUILDING ENVELOPE
(SCALE 1:800)

TRACK

MCDONALDS



ORIGINAL SCALE 1:1500

Specific Development Consultants Pty. Ltd.
SURVEYOR, ENGINEER, PLANNER AND
DESIGN-TEAM CONSULTANTS
65 Malabar Parade Hastings, Vic 3155 (03) 5976 0000
info@specificdev.com.au



DIGITALLY SIGNED BY LICENSED SURVEYOR:
ANDREW M LOVELOCK

REF: 982551

VERSION 5

REF: S12/125

SHEET 5
ORIGINAL SHEET SIZE A3
CERTIFYING AUTHORITY
CARDINIA SHIRE
COUNCIL